

Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item

**Rapid Plans**  
Building Design and Architectural Drafting  
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**bd&a** BUILDING DESIGNERS AUSTRALIA NSW

**NOTES**  
6 Eileen Street, North Balgowlah is zoned R2 - Low Density Residential.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.  
6 Eileen Street, North Balgowlah is not considered a heritage item.

**Construction**  
Timber Framed, Cladded Framed Walls.  
Roof Timber Framed Sheet Metal to have R1 Insulation.  
Insulation to External Cladded Framed Walls R1.7 Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basix**  
Basix Certificate Number A347421  
All Plans to be read in conjunction with Basix Certificate.  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Shannon & Kevin Morell  
Project Name: **Alterations & Additions**  
6 Eileen Street, North Balgowlah 2093  
Lot 17 D.P.11915

Drawing Title: Site Plans - Demolition Roof	
Scale: A3 as noted	Date: 20-9-2019
Status: DA Rev1	Checked By: GBJ
Project No: RP0418MOR	Drawing No: DA1007

Site Information	Proposed	Compliance
Site Area	464.40m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m <sup>2</sup> )	317.88m <sup>2</sup>	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

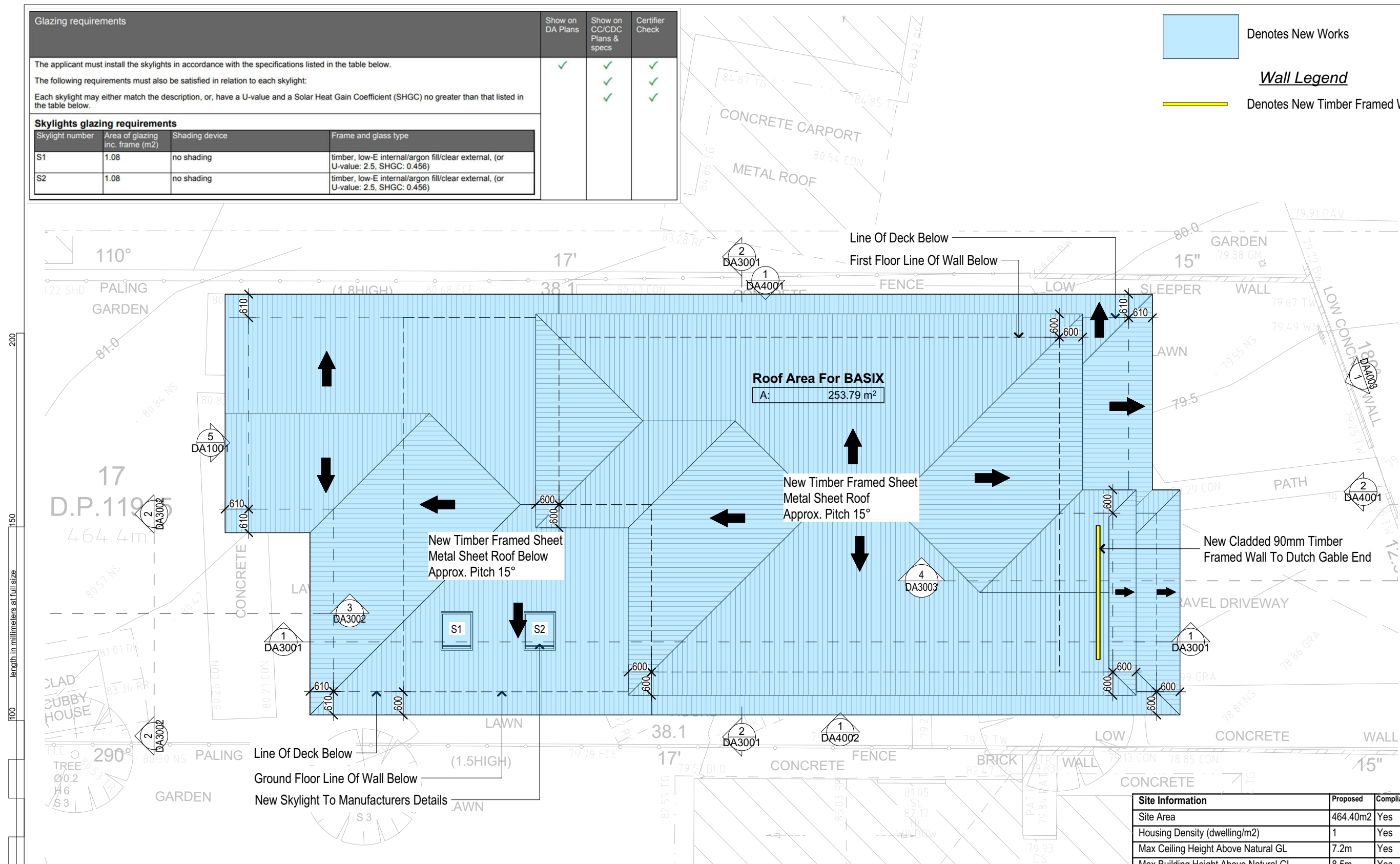
All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	1.08	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	1.08	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			



Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1079 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 42 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).		✓	✓

Site Information	Proposed	Compliance
Site Area	464.40m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m <sup>2</sup> )	317.88m <sup>2</sup>	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

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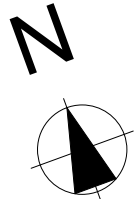
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 <b>BUILDING DESIGNERS AUSTRALIA NSW</b>	
<b>NOTES</b> 6 Eileen Street, North Balgowlah is zoned R2 - Low Density Residential. All Plans to be read in conjunction with Basix Certificate. New Works to be constructed shown in Shaded/Blue. 6 Eileen Street, North Balgowlah is not considered a heritage item	
<b>Construction</b> Timber Framed, Cladded Framed Walls. Roof Timber Framed Sheet Metal to have R1 Insulation. Insulation to External Cladded Framed Walls R1.7 Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.	
<b>Certifying</b> The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans	
<b>Basix</b> Basix Certificate Number A347421 All Plans to be read in conjunction with Basix Certificate The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,	
Project North 	
<h1 style="margin: 0;">DA APPLICATION</h1> <h2 style="margin: 0;">ONLY</h2> <h3 style="margin: 0;">NOT FOR CONSTRUCTION</h3>	
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.	
Client <b>Shannon &amp; Kevin Morell</b> Project Name <b>Alterations &amp; Additions</b> 6 Eileen Street, North Balgowlah 2093	
Lot 17 D.P. 11915 Drawing Title: <b>Plans - Roof Plan</b> <b>Roof Plan</b> Scale: A3 as noted    Date: 20-9-2019 Status: DA Rev1    Checked By: <b>GBJ</b> Project No: <b>RP0418MOR</b> Drawing No: <b>DA2004</b>	



A  
D.P.392530



- Existing Timber Floor Frame
- Built-in Fire Place & Cabinetry
- Existing Cladded Stud Wall To Be Demolished
- New Handrail To BCA & Aust. Stds.

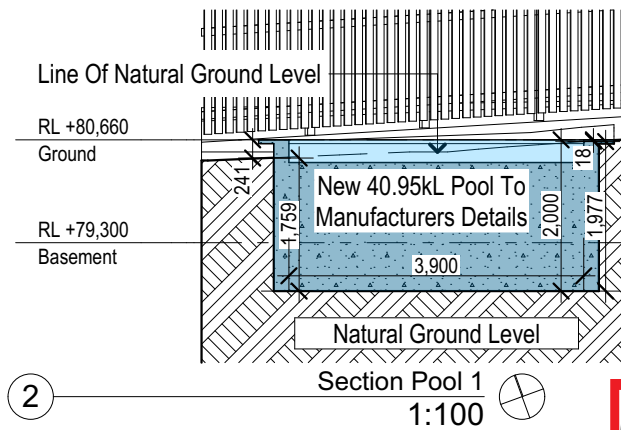
- New Timber Post
- New Gyrock Clad 90mm Timber Framed Handrail To BCA & Aust. Stds.
- New Min. 1200 High Pool Barrier To BCA & Aust. Stds.

New Deck  
A: 28.26 m<sup>2</sup>

New Pool To Manufacturers Details

Ground Floor Plan  
1:100

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1079 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 42 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).		✓	✓



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

DA2019/0450

New Timber Framed Sheet Metal  
Roof. Pitch Approx 15°

RL +83,760  
First Floor

New Timber Post

New Min. 1200 High Pool  
Barrier To BCA & Aust. Stds.

RL +80,660  
Ground

RL +79,300  
Basement

New 40.95kL Pool To  
Manufacturers Details

Natural Ground Level

Section Pool 2  
1:100

Site Information	Proposed	Compliance
Site Area	464.40m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
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Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m <sup>2</sup> )	317.88m <sup>2</sup>	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

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**bda** BUILDING  
DESIGNERS  
AUSTRALIA NSW

**NOTES**  
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New Works to be constructed shown in Shaded/Blue  
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Roof Timber Framed Sheet Metal to have R1 Insulation  
Insulation to External Cladded Framed Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

**DA APPLICATION  
ONLY**  
**NOT FOR CONSTRUCTION**

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Client  
Shannon & Kevin Morell  
Project Name  
**Alterations & Additions**  
6 Eileen Street, North Balgowlah  
2093

Lot 17 D.P.11915  
Drawing Title:

Sections - Sections Pool

Section Pool 1, Section Pool 2, Ground Floor Plan

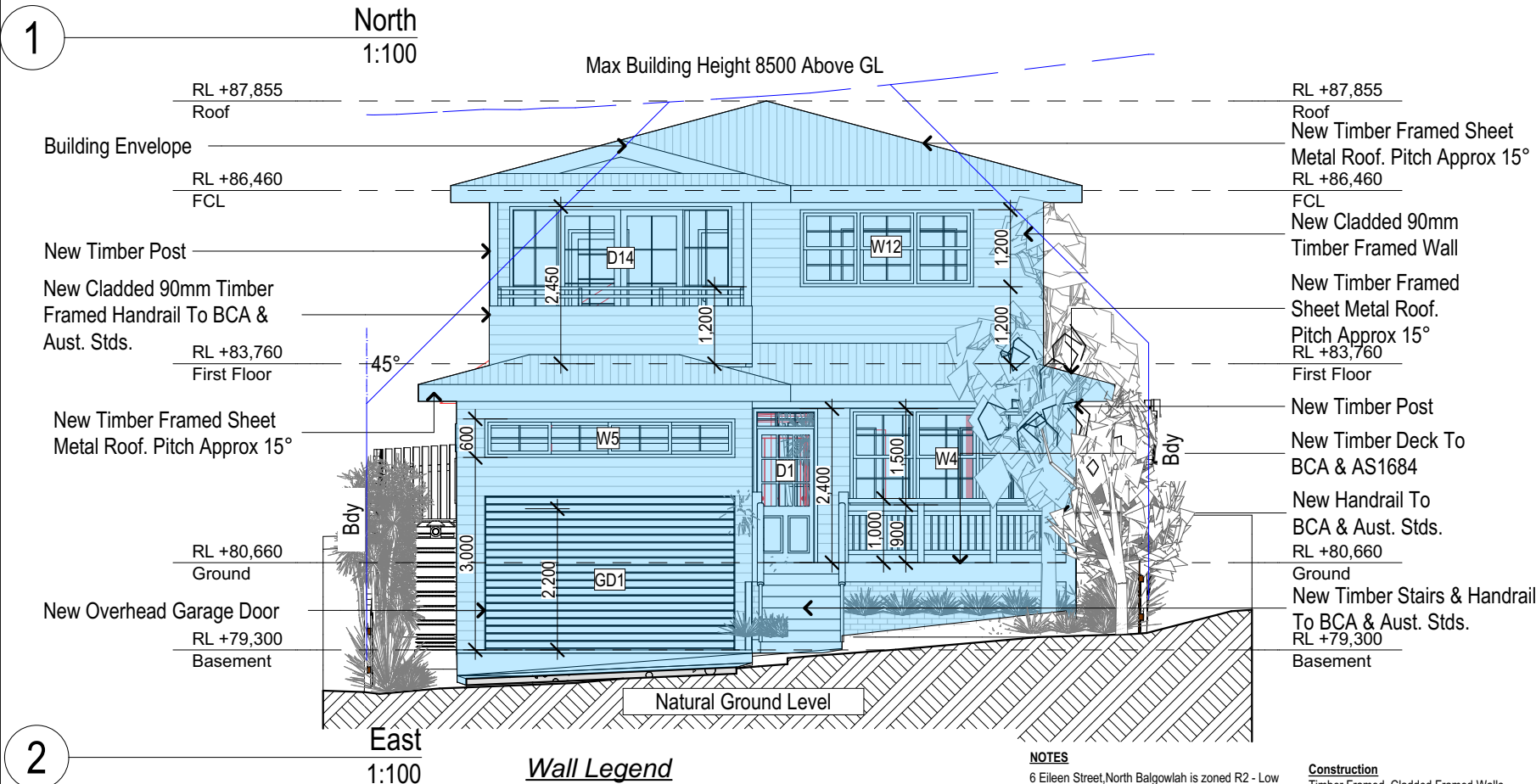
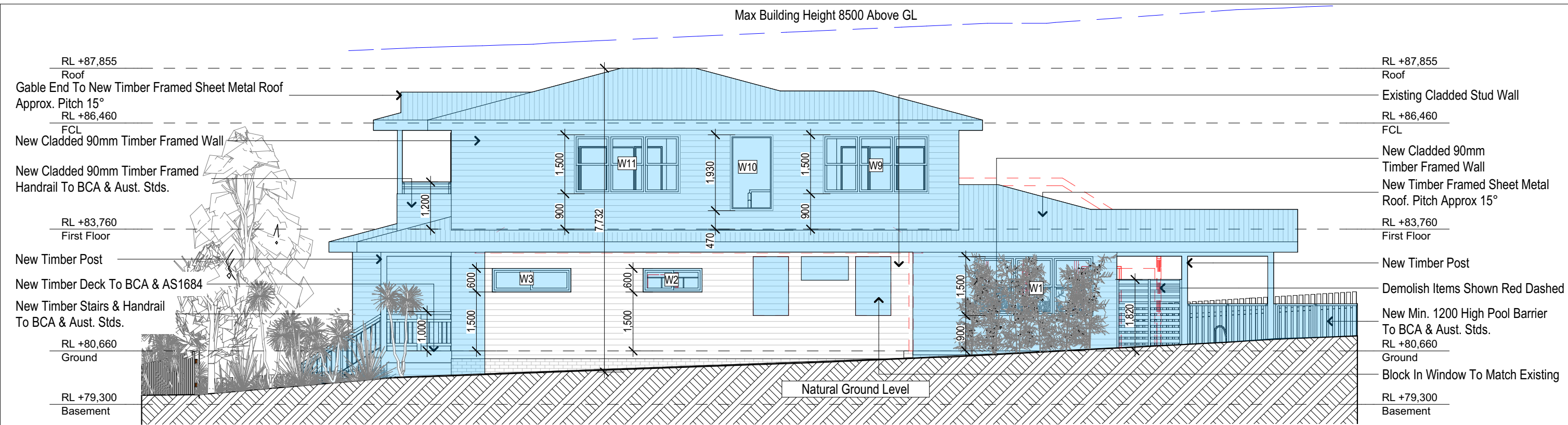
Scale: A3 as noted Date: 20-9-2019

Status: DA Rev1 Checked By: GBJ

Project No: Drawing No:

RP0418MOR DA3002





### Glazing requirements

#### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

#### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	4.5	0	0	eave/verandah/pergola/balcony >=750 mm	Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	1.2	0	0	eave/verandah/pergola/balcony >=750 mm	Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	4.5	0	0	eave/verandah/pergola/balcony >=900 mm	Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	2.34	0	0	eave/verandah/pergola/balcony >=750 mm	Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.45)



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/0450**

#### Basix

Basix Certificate Number A347421

All Plans to be read in conjunction with Basix Certificate

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b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	464.40m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m <sup>2</sup> )	317.88m <sup>2</sup>	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

Denotes New Works

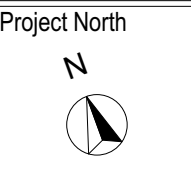
Denotes Demolished Item

Denotes New Concrete Driveway

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



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Client:  
Shannon & Kevin Morell

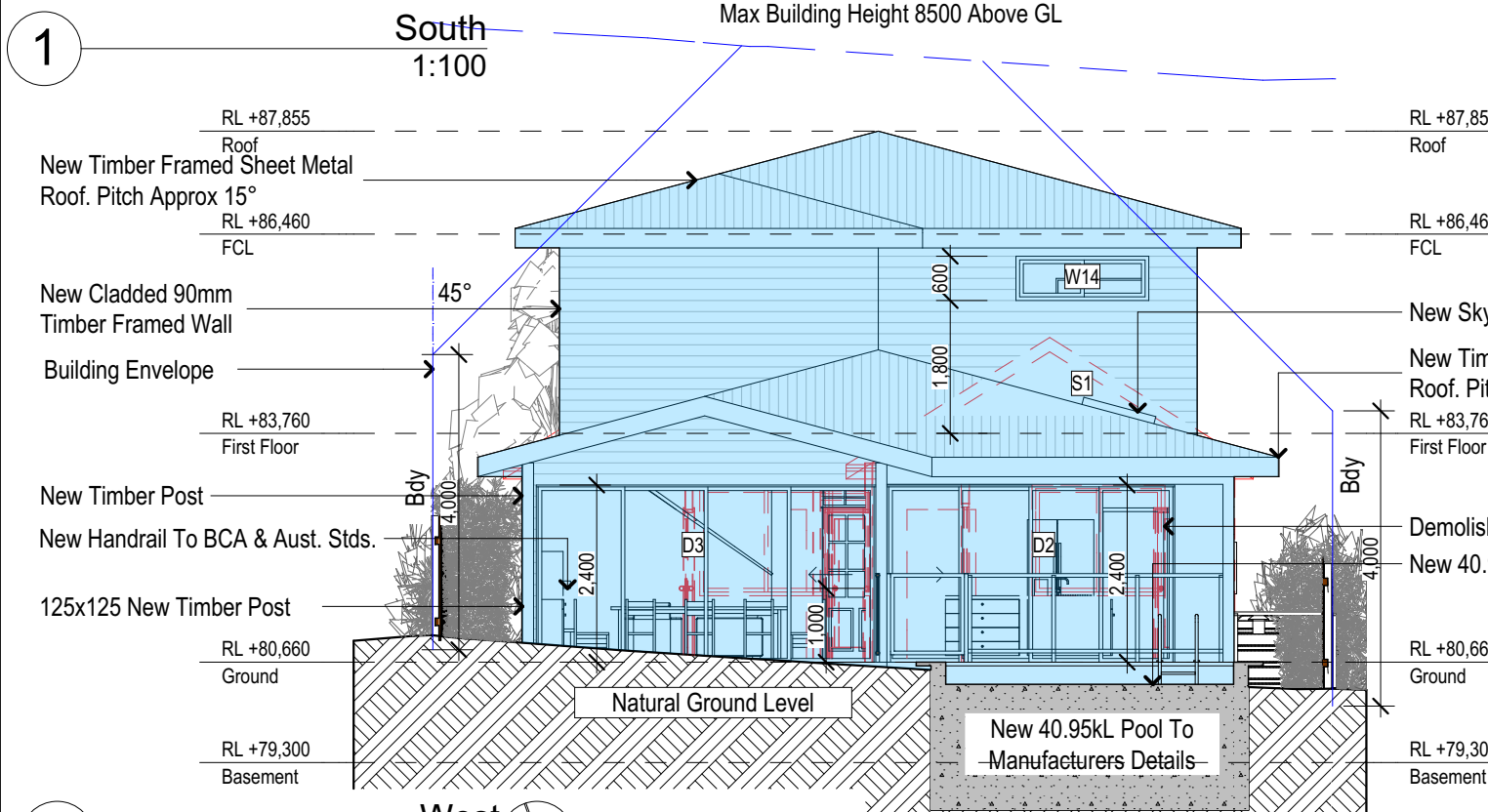
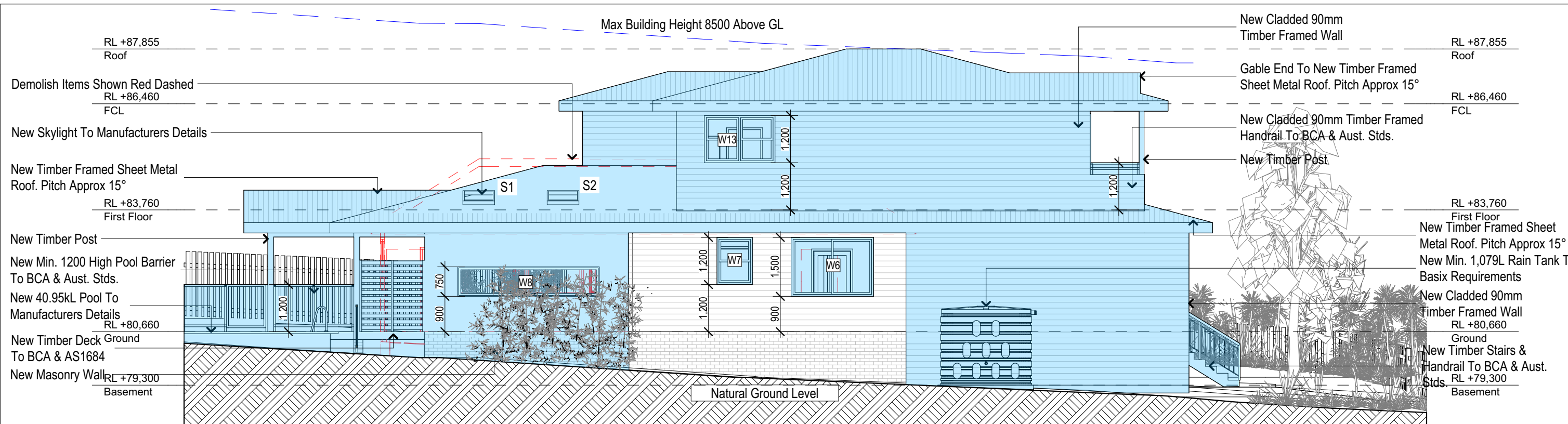
Client  
Shannon & Kevin Morell  
Project Name  
**Alterations & Additions**  
6 Eileen Street, North Balgowlah  
2093

Lot 17 D.P.11915  
Drawing Title:  
Elevations - Elevations 1  
North, East

Scale: A3 as noted  
Status: DA Rev1  
Project No.  
RP0418MOR

Date: 20-9-2019  
Checked By: GBJ  
Drawing No.  
**DA4001**





Denotes New Works

Denotes Demolished Item

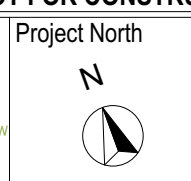
Denotes New Concrete

Pool Shell

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Shannon & Kevin Morell  
Project Name  
**Alterations & Additions**  
6 Eileen Street, North Balgowlah  
2093

Lot 17 D.P.11915  
Drawing Title:  
Elevations - Elevations 2  
South, West

Scale: A3 as noted  
Status: DA Rev1  
Project No.  
RP0418MOR

Date: 20-9-2019  
Checked By: GBJ  
Drawing No.  
**DA4002**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0450**

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W6	S	3.15	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	S	2.7	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	N	4.05	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	N	2.09	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	N	4.05	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	E	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W13	S	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	W	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	W	9.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D3	W	11.04	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	E	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

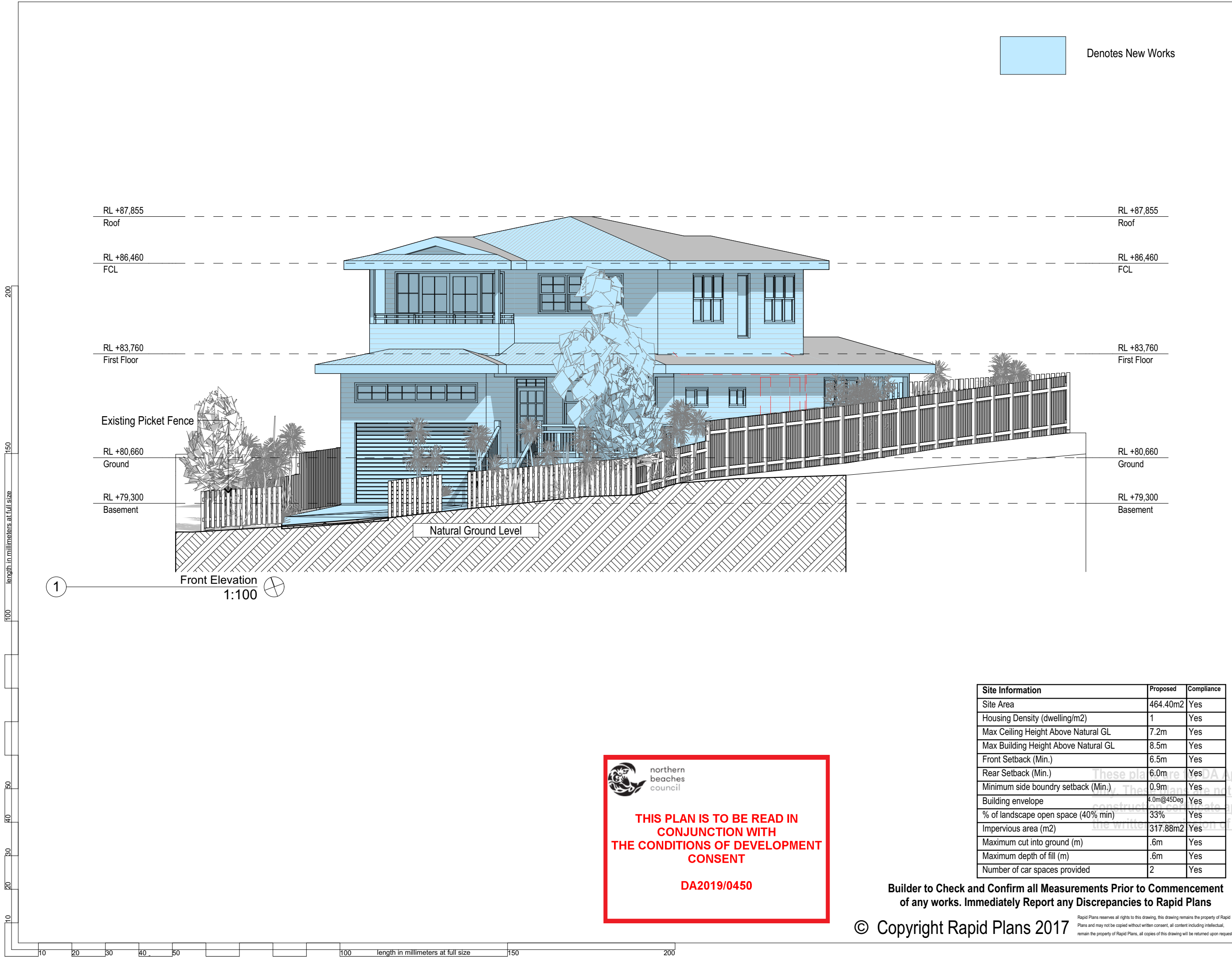
Site Information		
Site Area	464.40m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m2)	317.88m2	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes


**NOTES**  
6 Eileen Street, North Balgowlah is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
6 Eileen Street, North Balgowlah is not considered a heritage item  
**Certifying**  
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**Construction**  
Timber Framed, Cladded Framed Walls  
Roof Timber Framed Sheet Metal to have R1 Insulation  
Insulation to External Cladded Framed Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2,  
b) insulation specified is not required for parts of altered construction where insulation already exists.


The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.





Rapid Plans  
Building Design and Architectural Drafting

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Email : gregg@rapidplans.com.au




**BUILDING  
DESIGNERS  
AUSTRALIA NSW**

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**Basix**  
Basix Certificate Number A347421.  
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Project North 

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client  
Shannon & Kevin Morell  
Project Name  
**Alterations & Additions**  
6 Eileen Street, North Balgowlah  
2093  
Lot 17 D.P.11915  
Drawing Title:  
**Elevations - Elevation Front Fence**  
**Front Elevation**

Scale: A3 as noted	Date: 20-9-2019
Status: DA Rev1	Checked By: GBJ
Project No: <b>RP0418MOR</b>	Drawing No: <b>DA4003</b>

Site Information	Proposed	Compliance
Site Area	464.40m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundry setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m2)	317.88m2	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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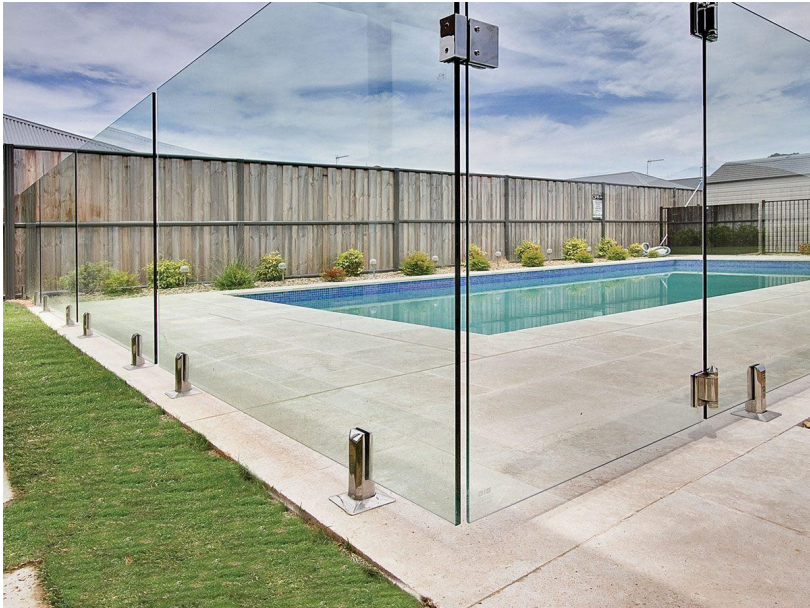
Denotes Sheet Metal Roofing (Typical). Owner To Decide Type & Colour



Denotes Timber Deck (Typical). Owner To Decide Type & Colour



Denotes Horizontal Cladding (Typical). Owner To Decide Type & Colour



Denotes Glass Pool Barrier (Typical). Owner To Decide Type & Colour



Denotes Aluminium Stacking Doors (Typical). Owner To Decide Type & Colour



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/0450**

Site Information	Proposed	Compliance
Site Area	464.40m2	Yes
Housing Density (dwelling/m2)	1	Yes
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Max Building Height Above Natural GL	8.5m	Yes
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**BUILDING DESIGNERS AUSTRALIA NSW**

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Project North 

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Client  
Shannon & Kevin Morell  
Project Name  
**Alterations & Additions**  
6 Eileen Street, North Balgowlah  
2093  
Lot 17 D.P.11915  
Drawing Title:  
**Sunstudy - Material & Colour Sample Board**

Scale: A3 as noted	Date: 20-9-2019
Status: DA Rev1	Checked By: GBJ
Project No: <b>RP0418MOR</b>	Drawing No: <b>DA5002</b>