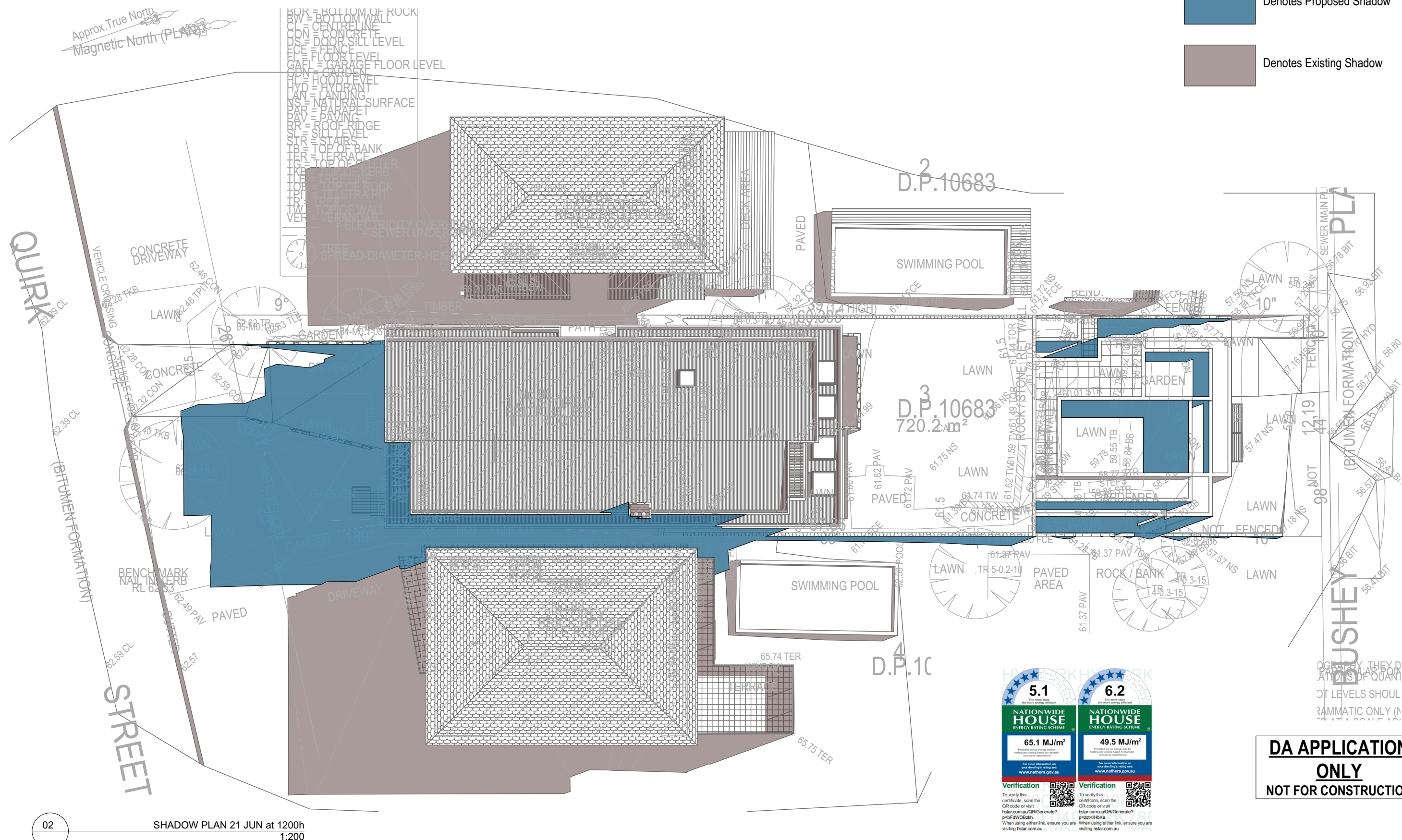


10

10/10



SHADOW PLAN 21 JUN at 1200h
1:200



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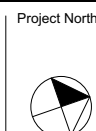
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BUILDING DESIGNERS

ACCREDITED

**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked	GBJ
Plot Date:	30/07/2020
Project NO.	RP0520CLU
Project Status	DA

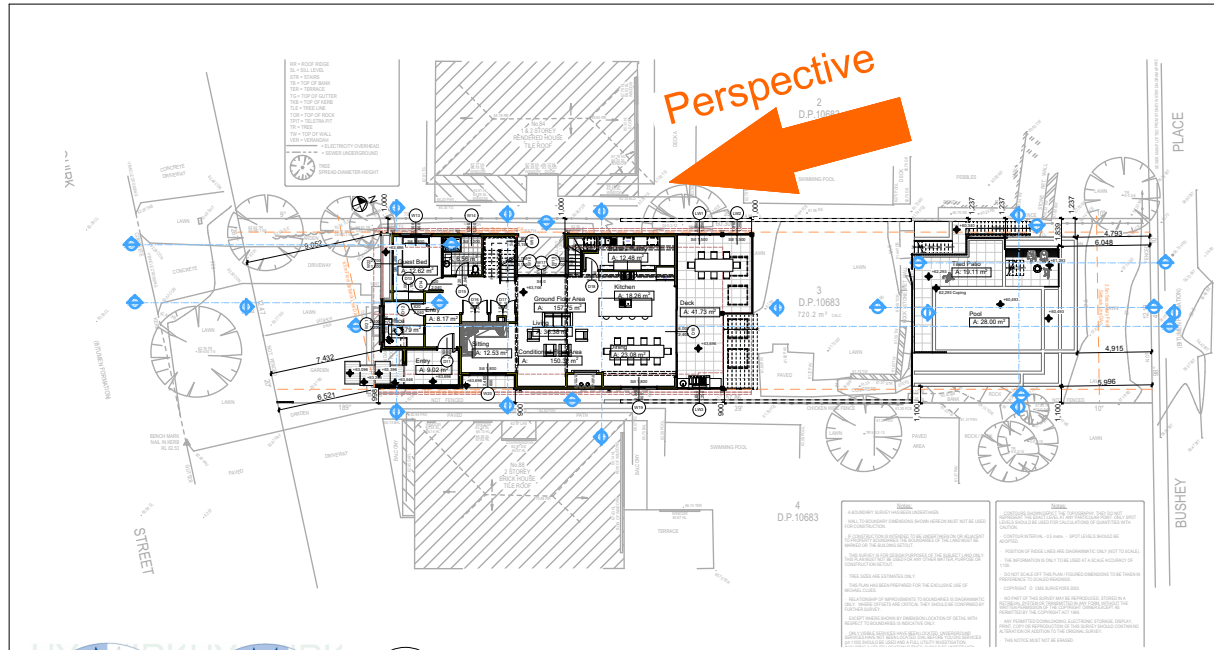
Client	Mick & Patrice Clues
Site:	86 Quirk Street Dee Why

Sheet Size: A3

DRAWING TITLE : **SHADOW PLANS**
SHADOW PLAN 21st June
12pm

PROJECT NAME : **New Primary & Secondary Dwellings**

REVISION NO.
-
DATE.
16-7-2020
DRAWING NO.
DA5006



5.1
This score shows the more energy efficient.

NATIONWIDE HOUSE ENERGY RATING SCHEME

65.1 MJ/m²

For more information on your building's rating visit www.nathers.gov.au

Verification
To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate?pr&P=002&h. When using either link, ensure you are visiting hstar.com.au

6.2
This score shows the more energy efficient.

NATIONWIDE HOUSE ENERGY RATING SCHEME

49.5 MJ/m²

For more information on your building's rating visit www.nathers.gov.au

Verification
To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate?pr&P=002&h. When using either link, ensure you are visiting hstar.com.au

2
-

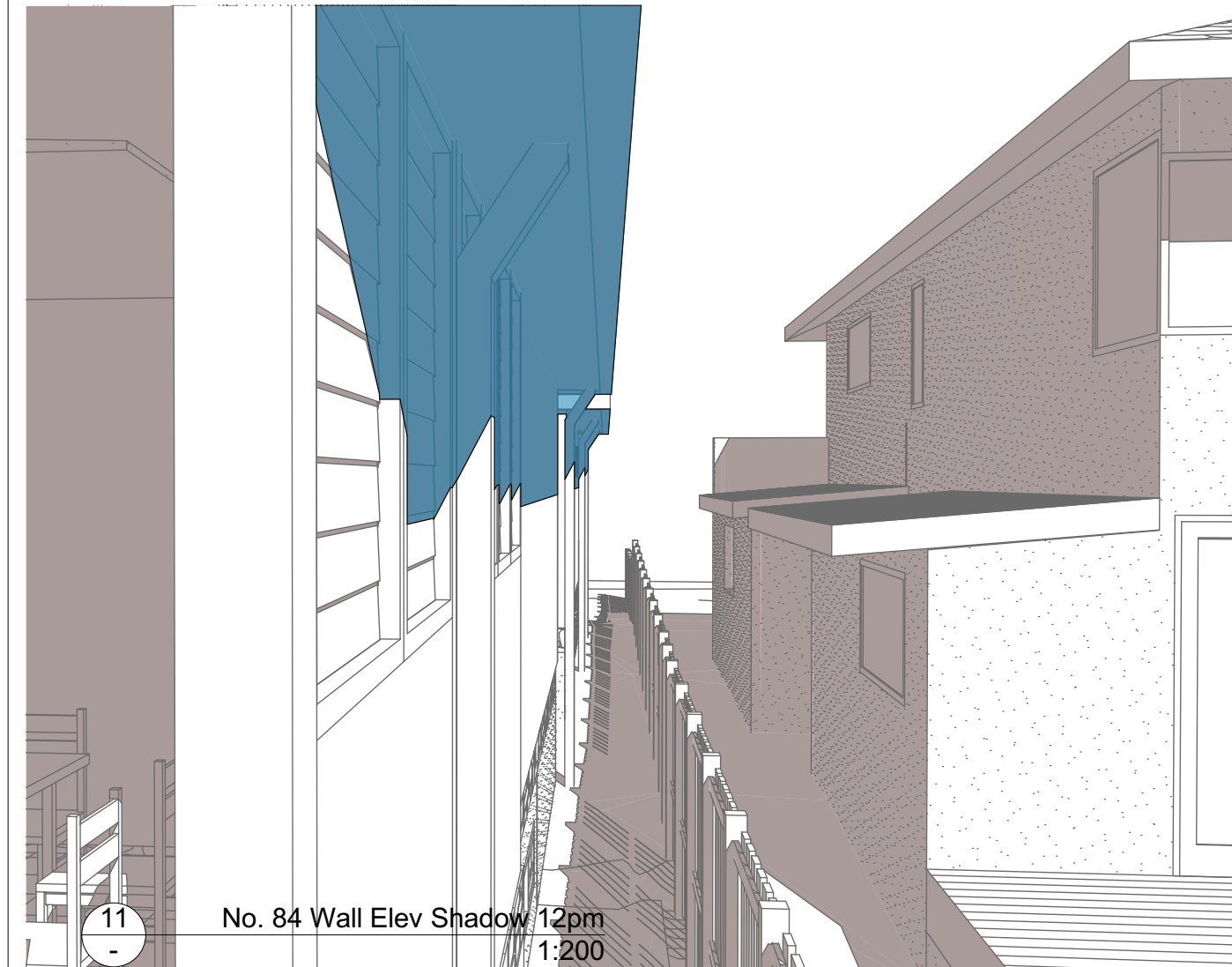
SITE PLAN
1:500

Denotes Proposed Shadow

Denotes Existing Shadow

10
-

No. 84 Wall Elev Shadow 9am
1:200



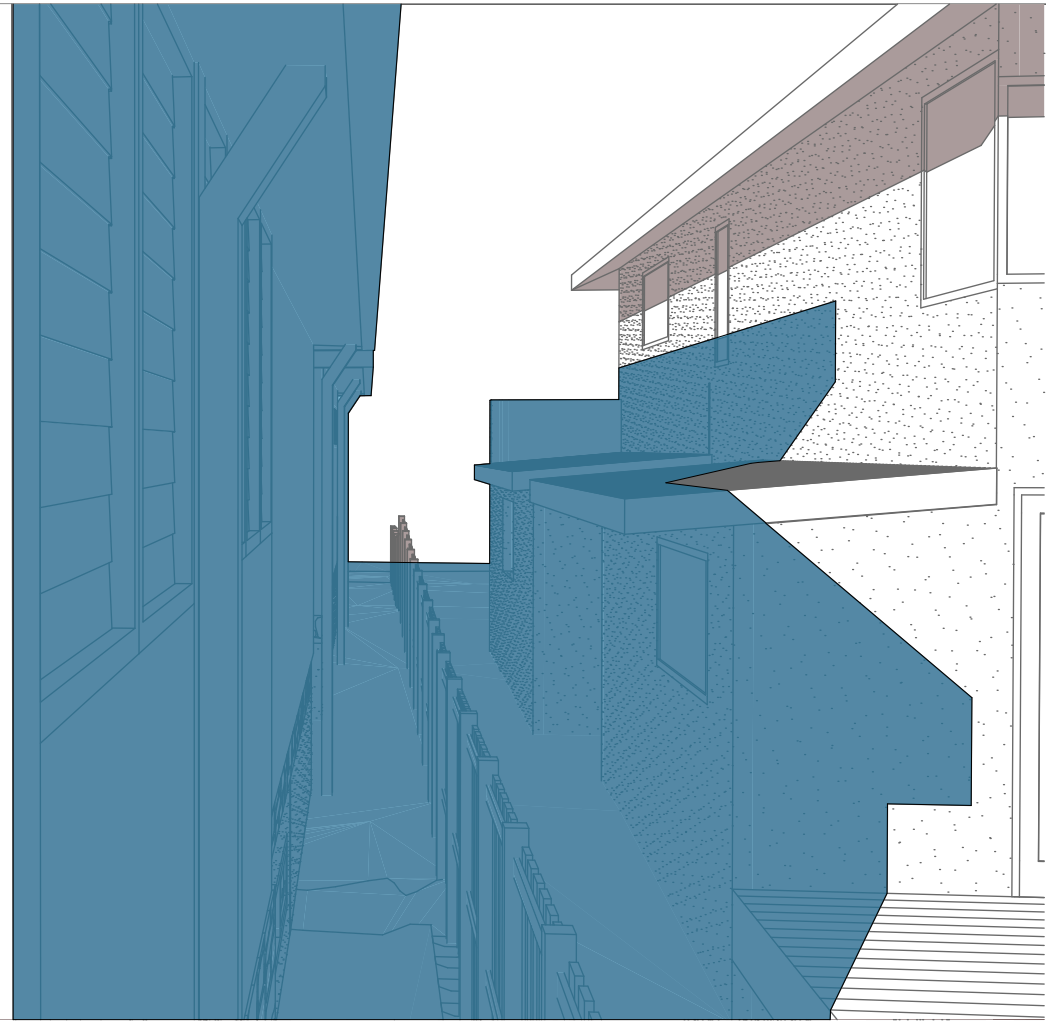
11
-

No. 84 Wall Elev Shadow 12pm
1:200



12
-

No. 84 Wall Elev Shadow 3pm
1:200



Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Vic 3122
Tel: (03) 9358-8845 Mobile: 0414-945-024
Email: info@rapidplans.com.au

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NOTES
86 Quirk Street Dee Why is zoned R2 Low Density Residential
86 Quirk Street Dee Why is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue

Construction
Concrete & Timber Floors, Driwall & Unilex Walls
Roof Steel Metal to have R5 insulation
Insulation to External Driwall & Unilex Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a certified Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Numbers 11152585, 02 & 11156285
Nathers Certificate Numbers 4978060 & 4978078
All Plans to be read in conjunction with Basic & Nathers Certificates
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Street Setback (Min.)	3.5m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	5m@ 45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	4.5m	Yes
Maximum depth of fill (m)	1.6m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 30/07/2020
Project NO.: RP05202CLU
Project Status DA

Client Mick & Patrice Clues

Site: 86 Quirk Street Dee Why

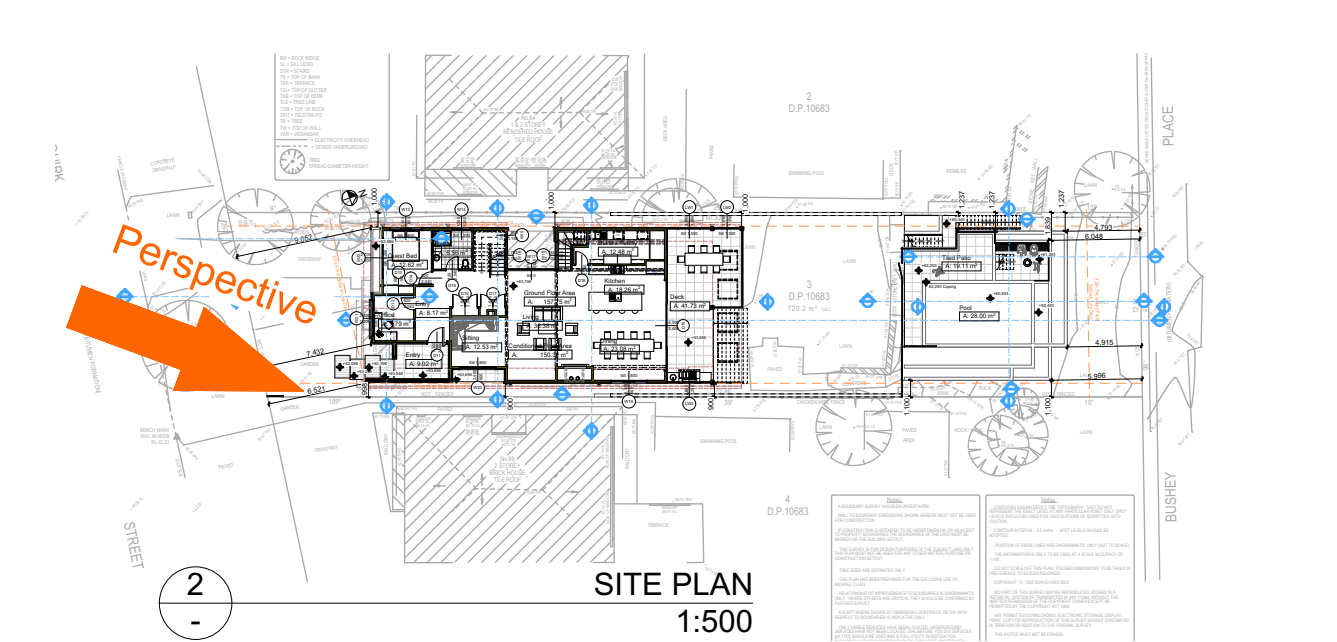
DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS No.84

PROJECT NAME:
New Primary & Secondary Dwellings

REVISION NO. REVISION NO.
- 16-7-2020

DRAWING NO.
DA5008

Plot Date: 30/07/2020
Sheet Size: A3



5.1

Best energy efficient

NATIONWIDE HOUSE

ENERGY RATING SCHEME

65.1 MJ/m²

Projected annual energy use for heating and cooling based on standard conditions and assumptions

For more information on your dwelling's rating see: www.nathers.gov.au

Verification

To verify this certificate, scan the QR code or visit: nethar.com.au/QR/Generator?pr=BfWOBzh

When using either link, ensure you are visiting nethar.com.au

6.2

Best energy efficient

NATIONWIDE HOUSE

ENERGY RATING SCHEME

49.5 MJ/m²

Projected annual energy use for heating and cooling based on standard conditions and assumptions

For more information on your dwelling's rating see: www.nathers.gov.au

Verification

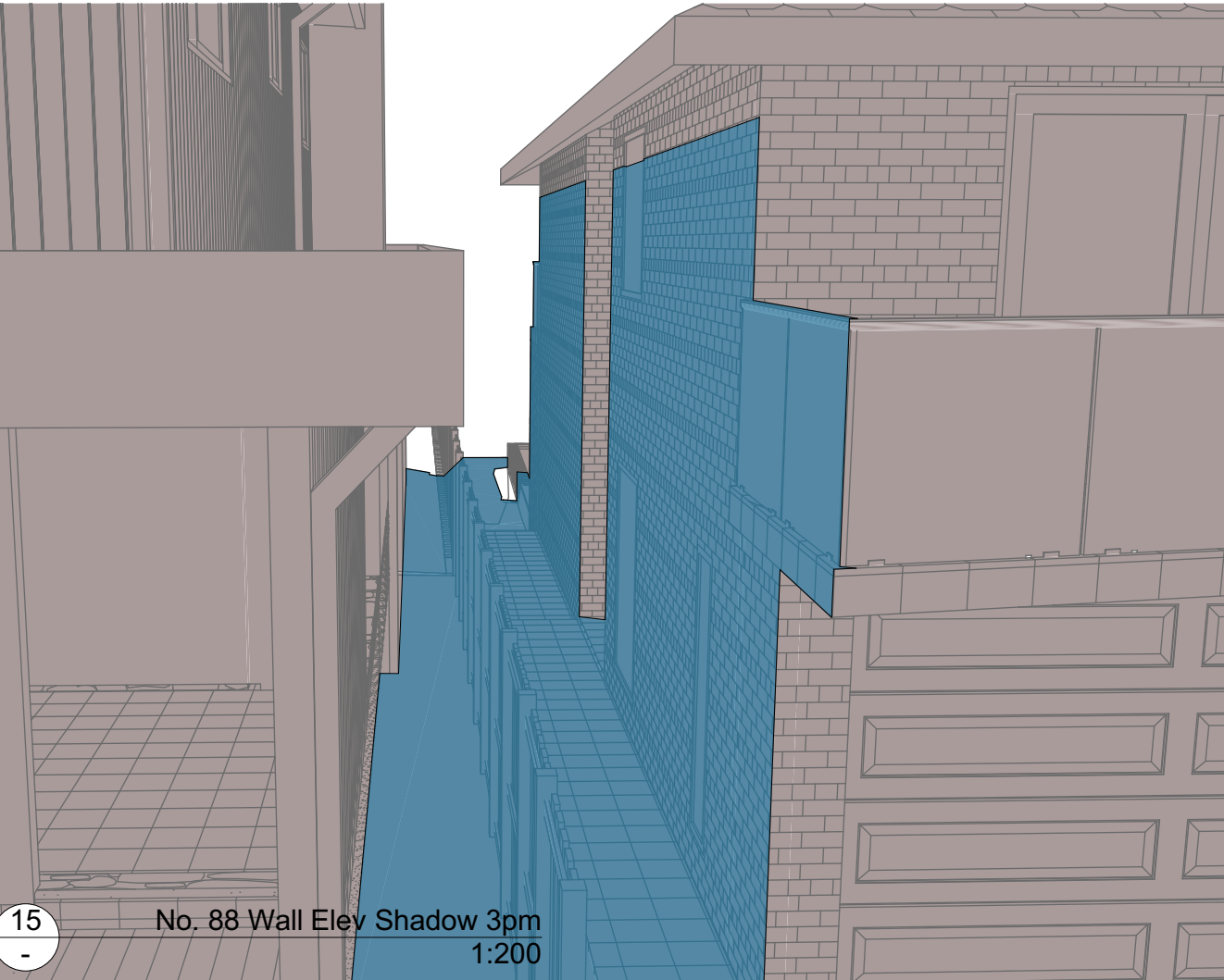
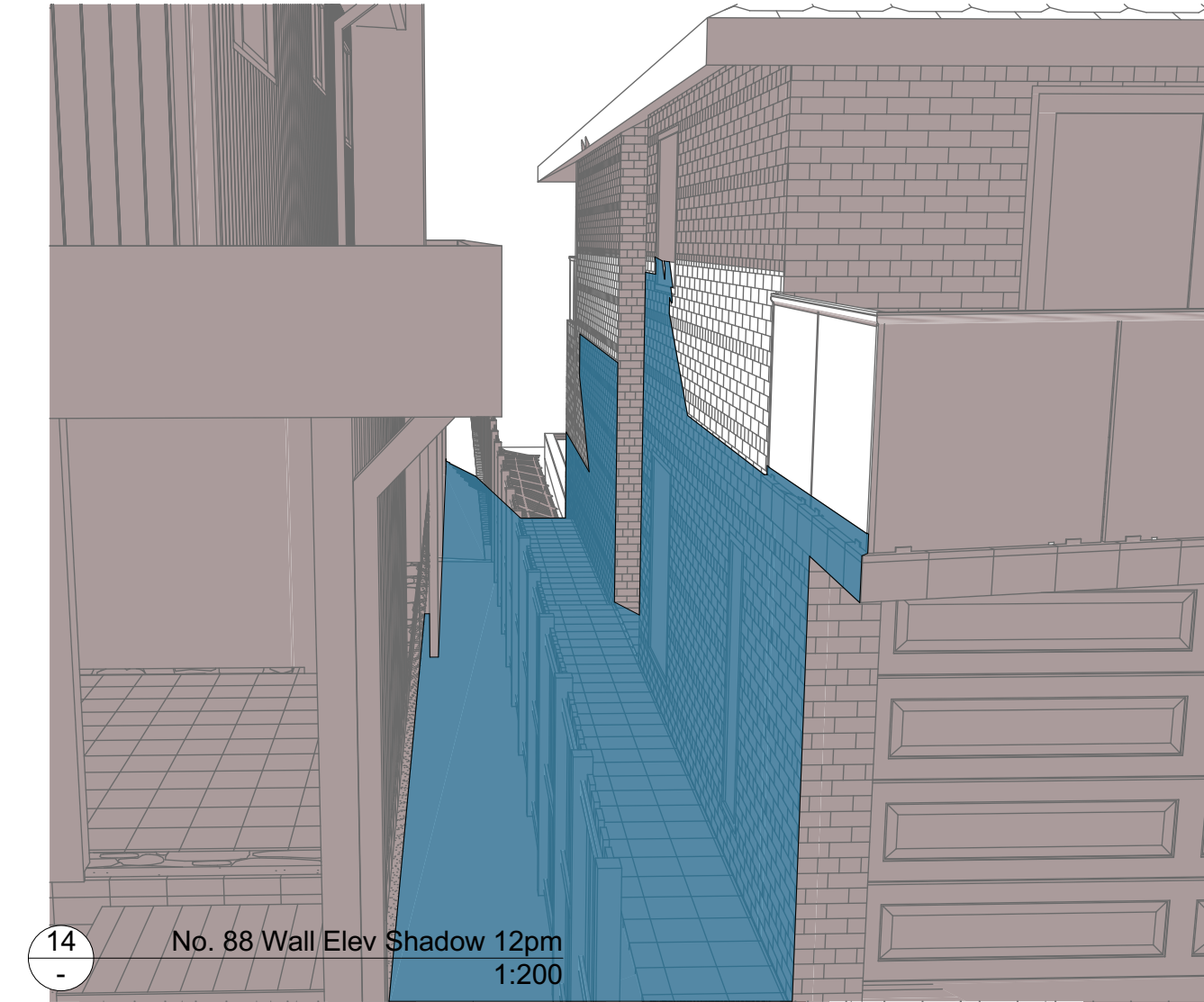
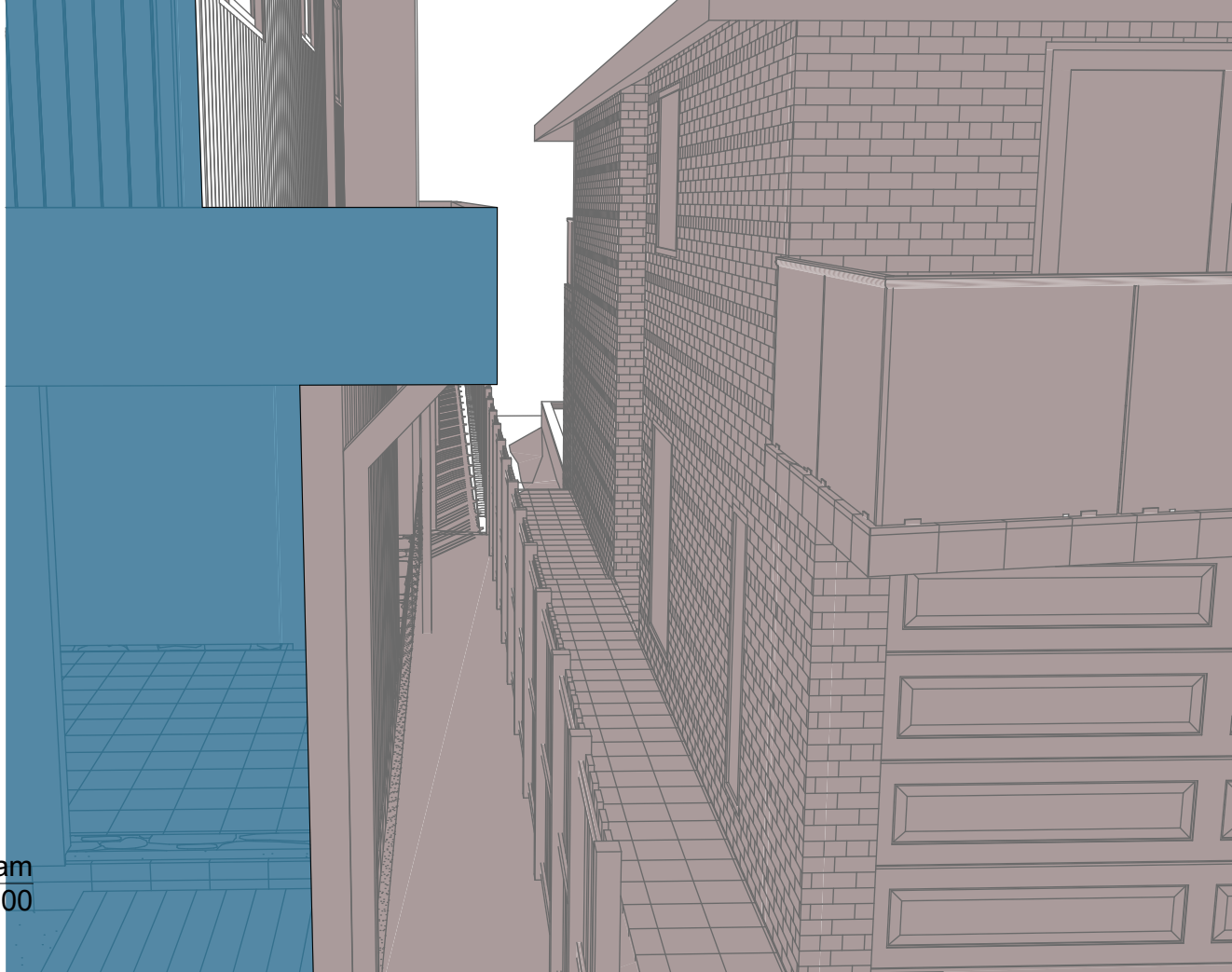
To verify this certificate, scan the QR code or visit: nethar.com.au/QR/Generator?pr=zkKHkKa

When using either link, ensure you are visiting nethar.com.au

Denotes Proposed Shadow

Denotes Existing Shadow

13 - No. 88 Wall Elev Shadow 9am 1:200





Rapid Plans

Building Design and Architectural Drafting

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86 Quirk Street Dee Why is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Concrete & Timber Floors, Durock & Unilex Walls

Road Street Metal to have R2.7 insulation

Insulation to External Durock & Unilex Walls R2.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Numbers 115526S, 02 & 115628S

Nathers Certificate Numbers 4978060 & 4978078

All Plans to be read in conjunction with Basic & Nathers Certificates

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Project North



Drawn | Checked GBJ
Plot Date: 30/07/2020
Project NO.: RP052020CLU
Project Status DA

Client Mick & Patrice Clues

Site: 86 Quirk Street Dee Why

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS No.88

PROJECT NAME: New Primary & Secondary Dwellings

REVISION NO. REVISION NO.
- 16-7-2020

DRAWING NO. DA5009

Plot Date: 30/07/2020
Sheet Size: A3