

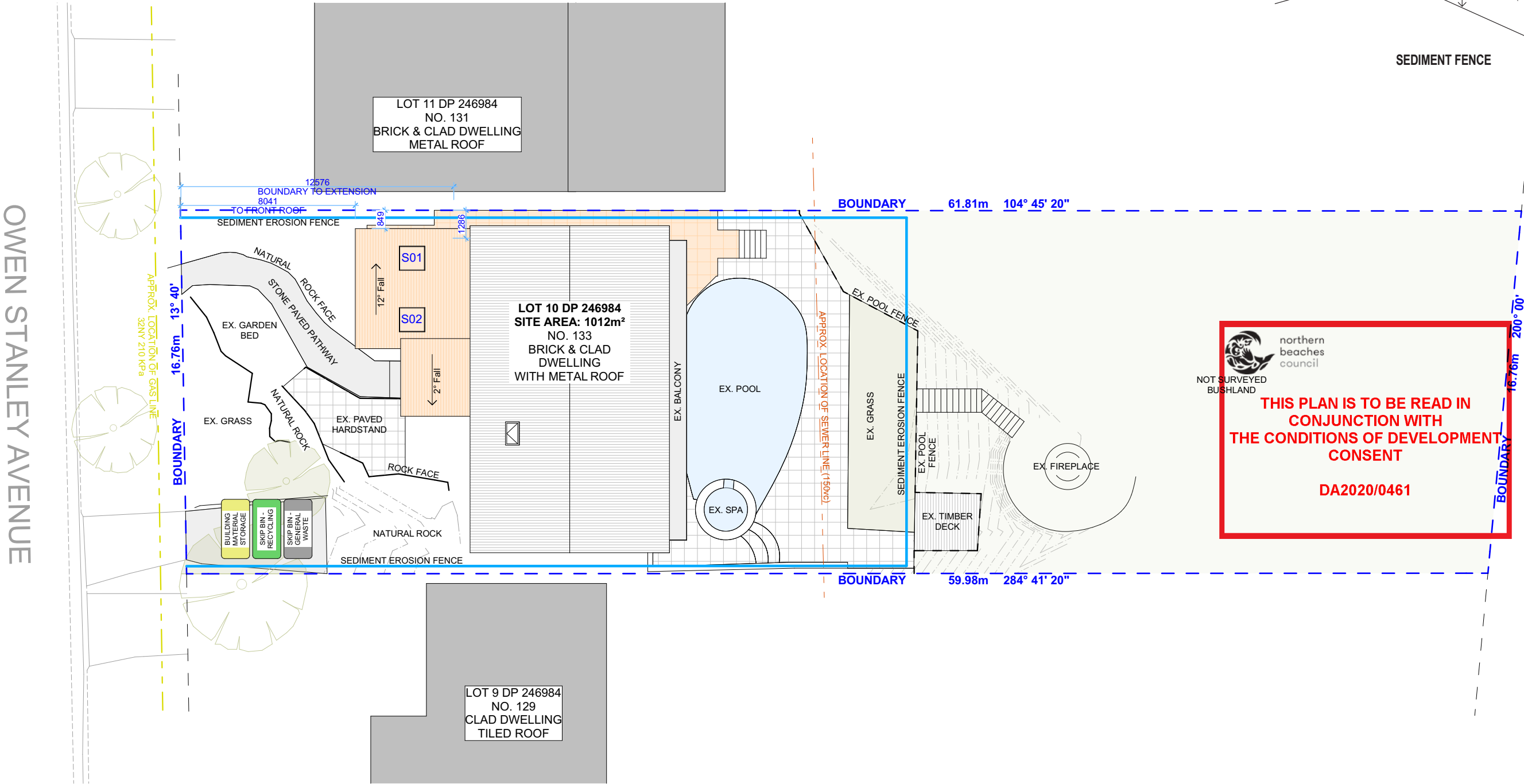
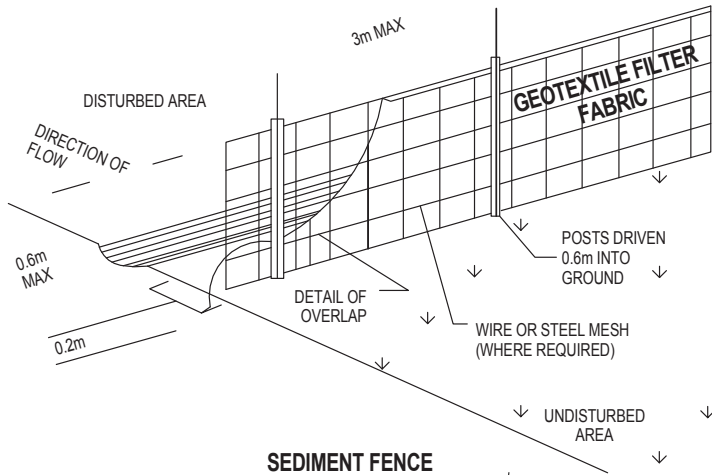
GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

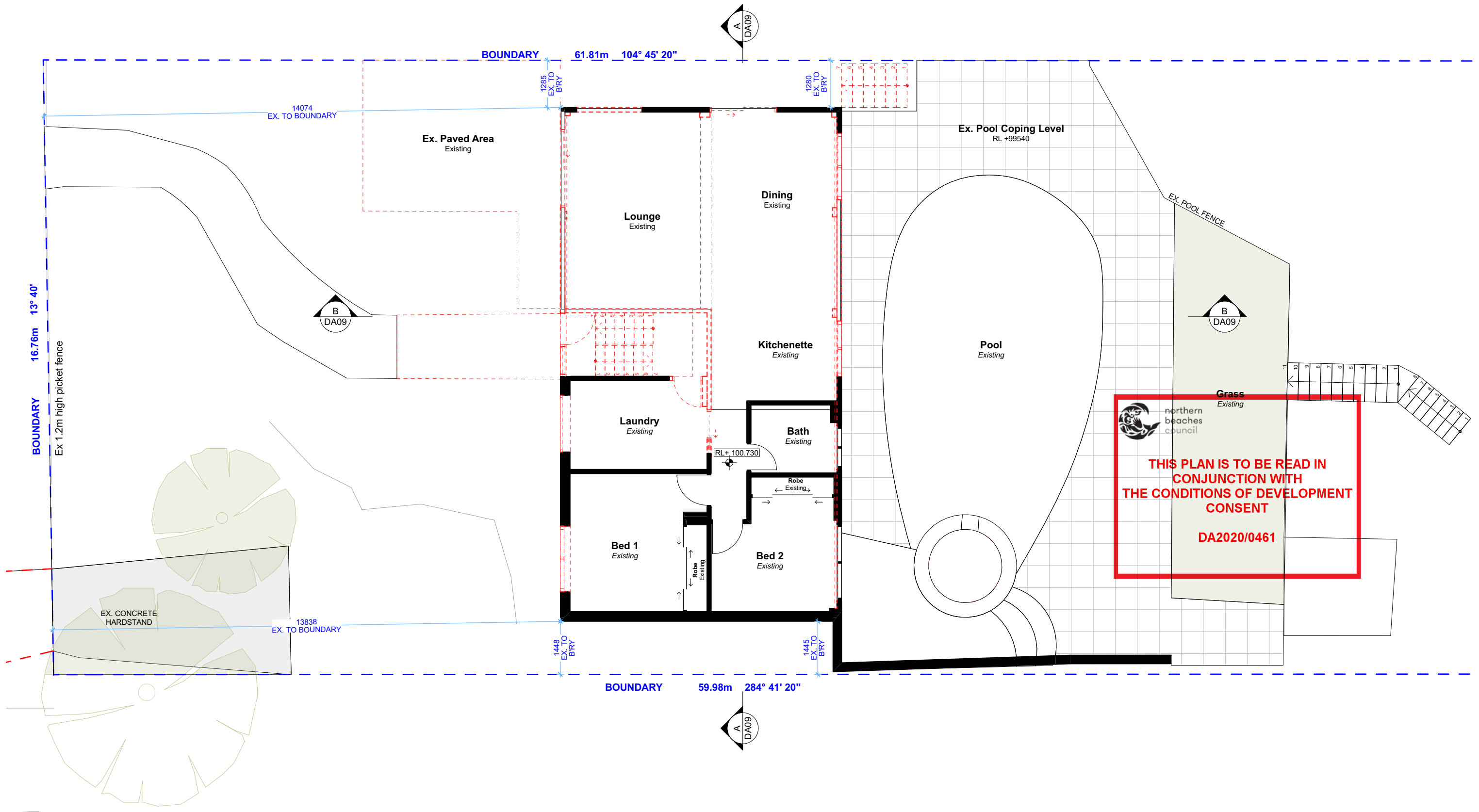
STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES



1 SITE / ROOF / SEDIMENT EROSION / WASE MANAGEMENT / STORMWATER CONCEPT PLANT 1:200



NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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REV.	DATE	COMMENTS	DRWN
A	18/02/2020	DEVELOPMENT APPLICATION	AL

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LEGEND
EXISTING
PROPOSED
DEMOLISHED

CLIENT
Katrina & Con O'Kelly

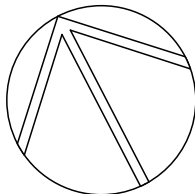
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133 OWEN STANLEY AVENUE, ALLAMBIE HEIGHTS, 2100

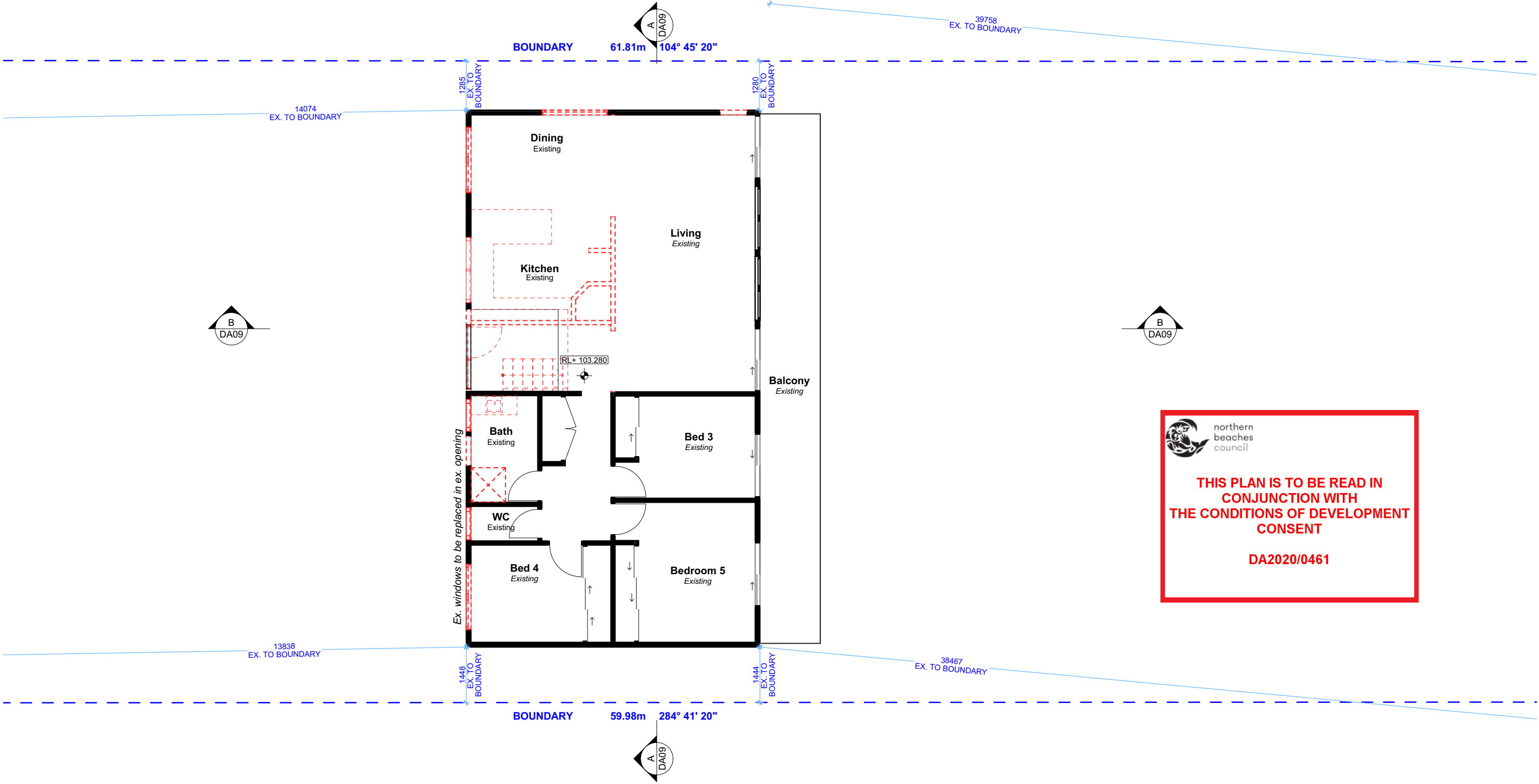
DRAWING NO.
DA03

DATE
18 February 2020

DRAWING NAME
EXISTING GROUND FLOOR PLAN

SCALE
1:100 @A3



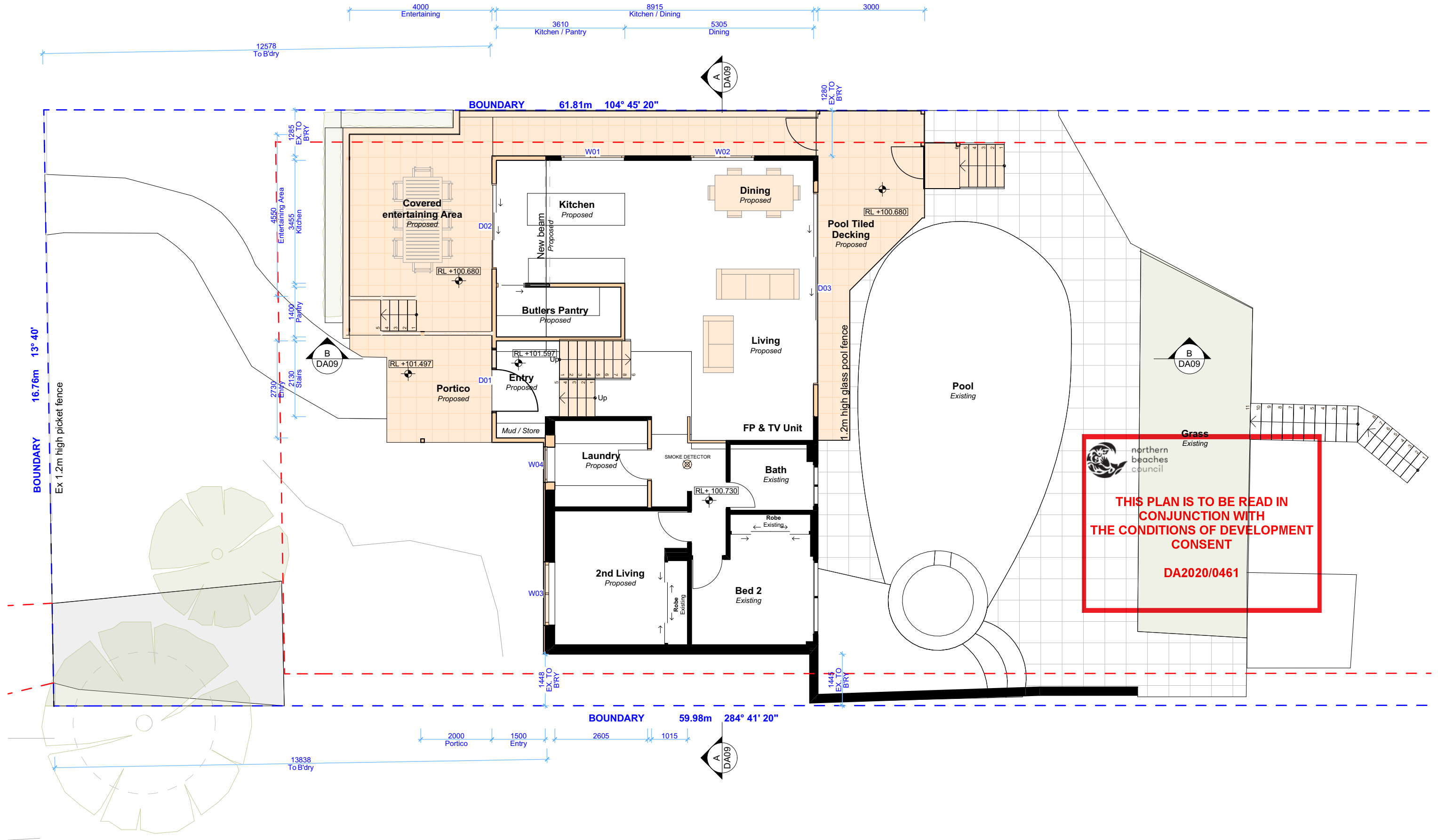


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LEGEND
■ EXISTING
■ PROPOSED
- - - DEMOLISHED

CLIENT
Katrina & Con O'Kelly

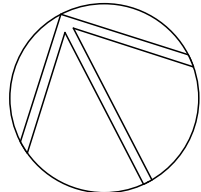
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133 OWEN STANLEY AVENUE, ALLAMBIE HEIGHTS, 2100

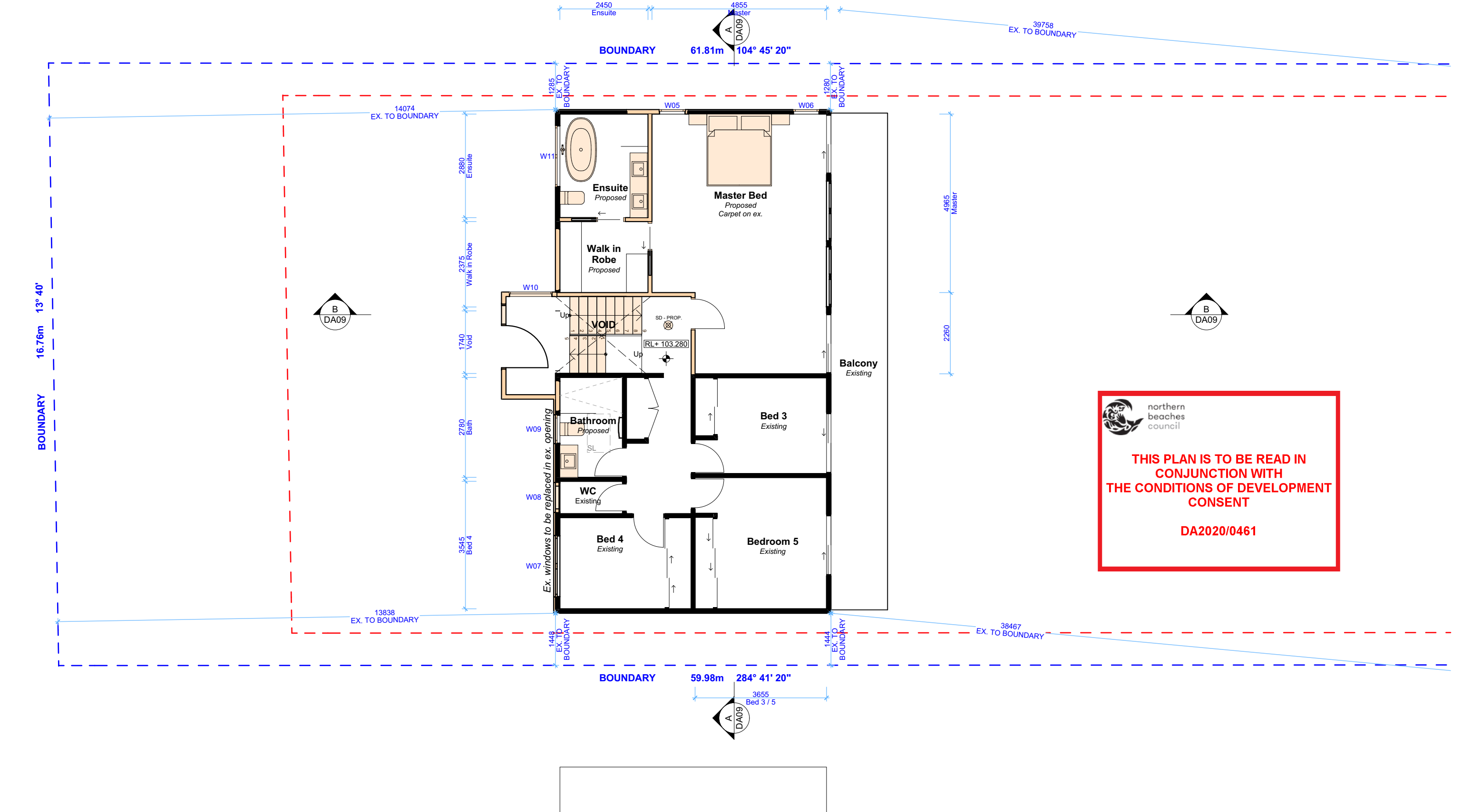
DRAWING NO.
DA05

DATE
18 February 2020

DRAWING NAME
PROPOSED GROUND FLOOR PLAN

SCALE
1:100 @A3





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LEGEND
■ EXISTING
■ PROPOSED
--- DEMOLISHED

CLIENT
Katrina & Con O'Kelly

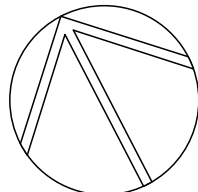
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133 OWEN STANLEY AVENUE, ALLAMBIE HEIGHTS, 2100

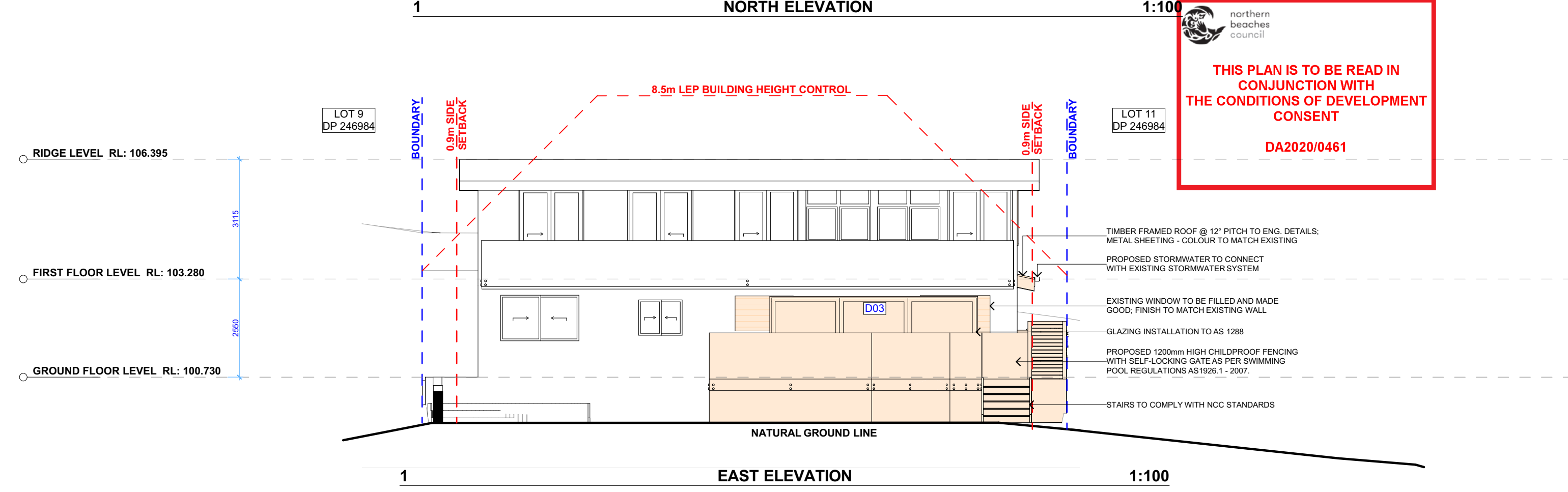
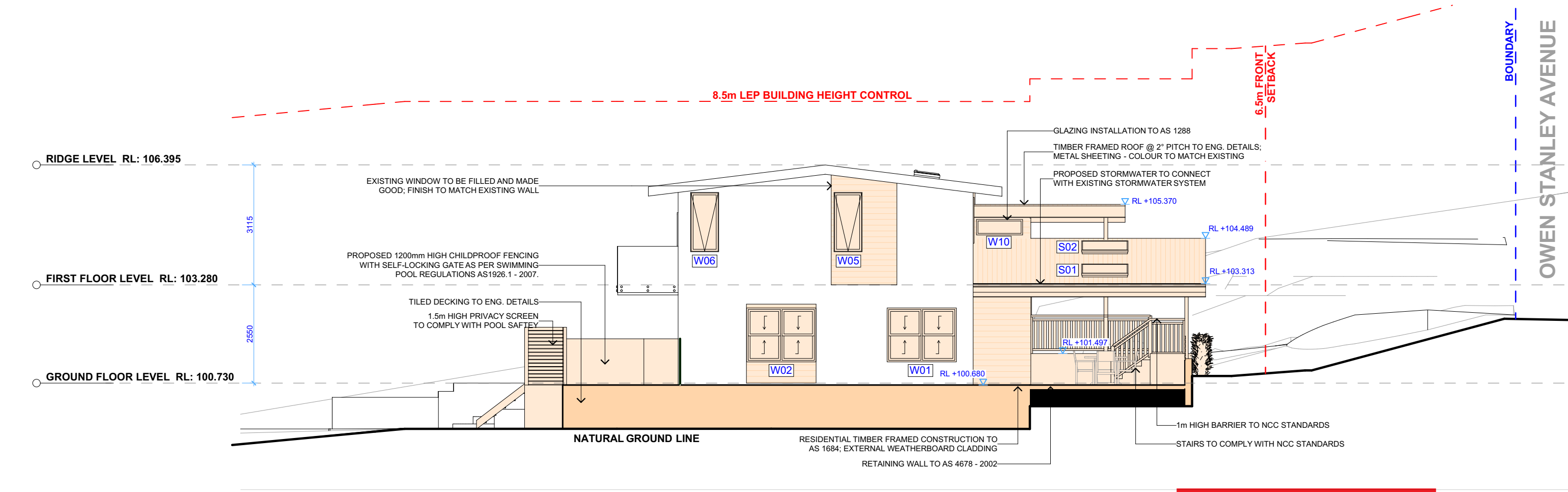
DRAWING NO.
DA06

DATE
18 February 2020

DRAWING NAME
PROPOSED FIRST FLOOR PLAN

SCALE
1:100 @A3






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LEGEND

EXISTING

PROPOSED WORKS

CLIENT

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DA07

DATE

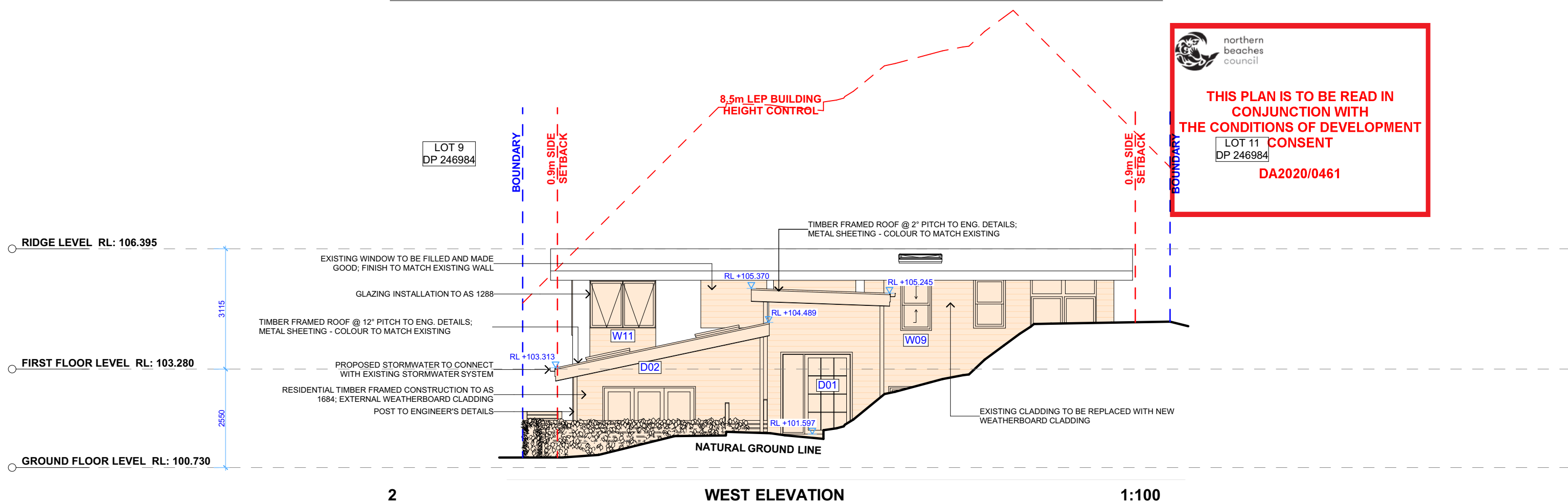
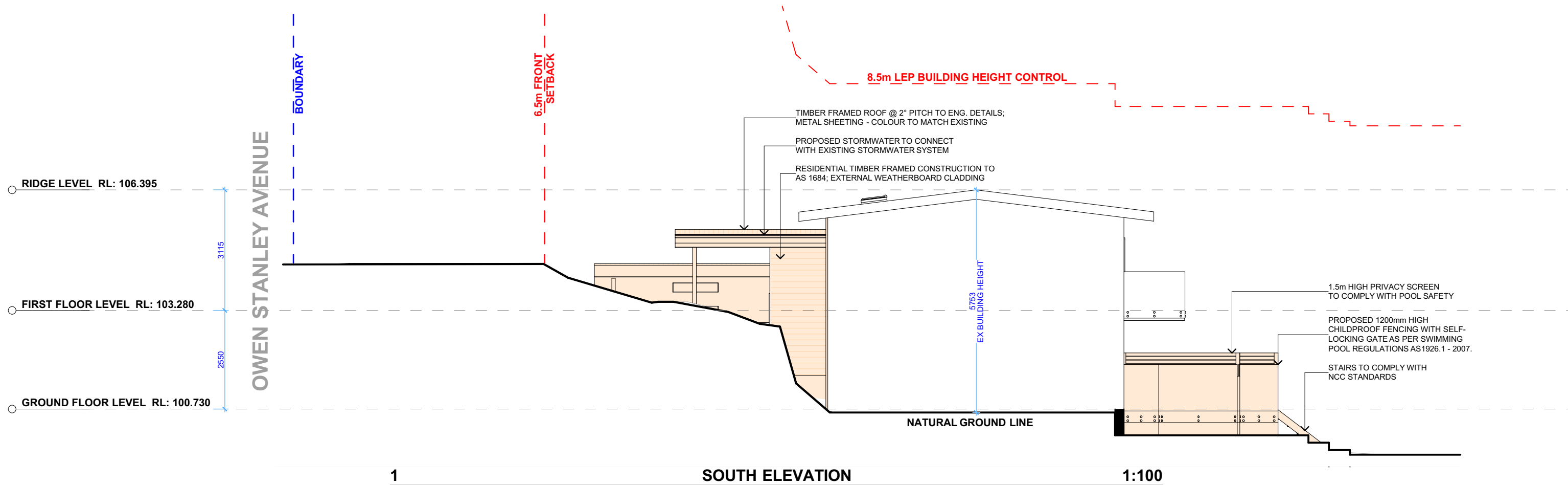
18 February 2020

DRAWING NAME

NORTH / EAST ELEVATION

SCALE

1:100 @A3



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LEGEND

	EXISTING
	PROPOSED WORKS

CLIENT

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DRAWING NO.

DA08

DATE

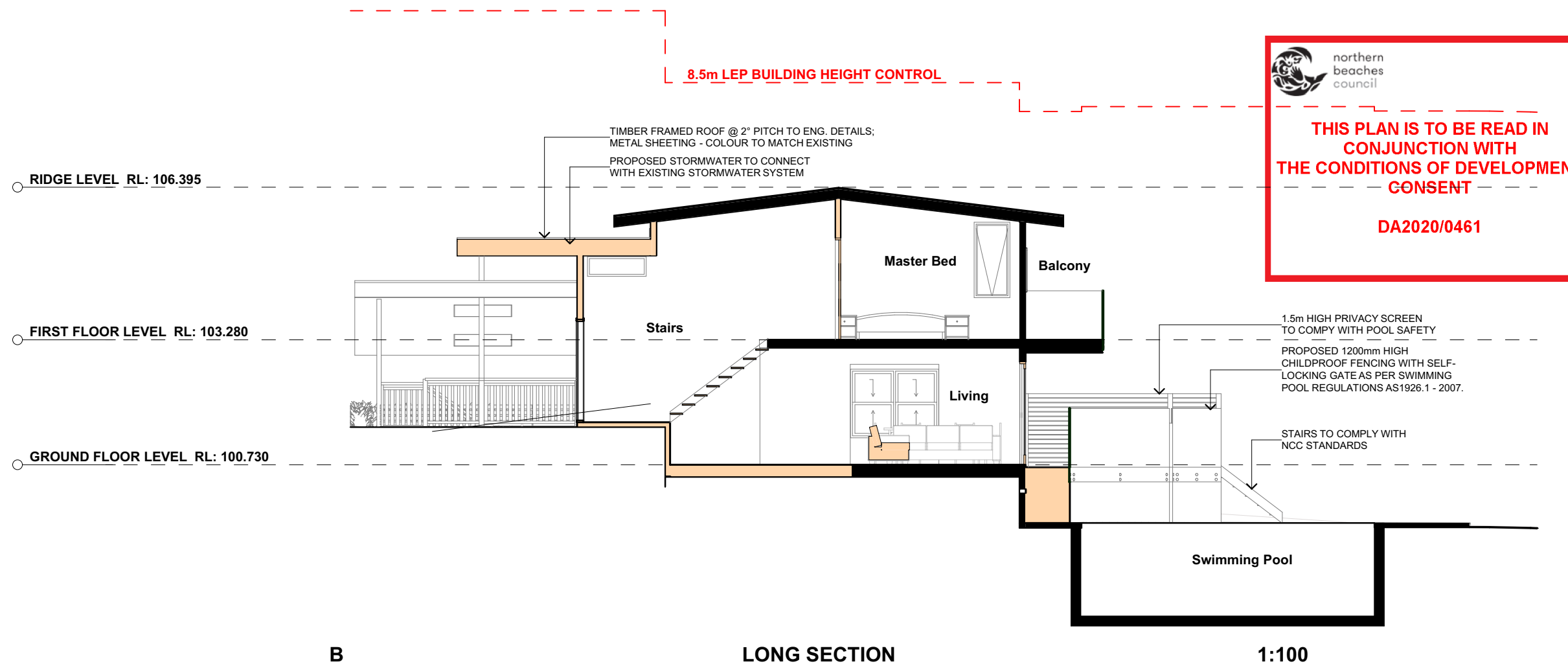
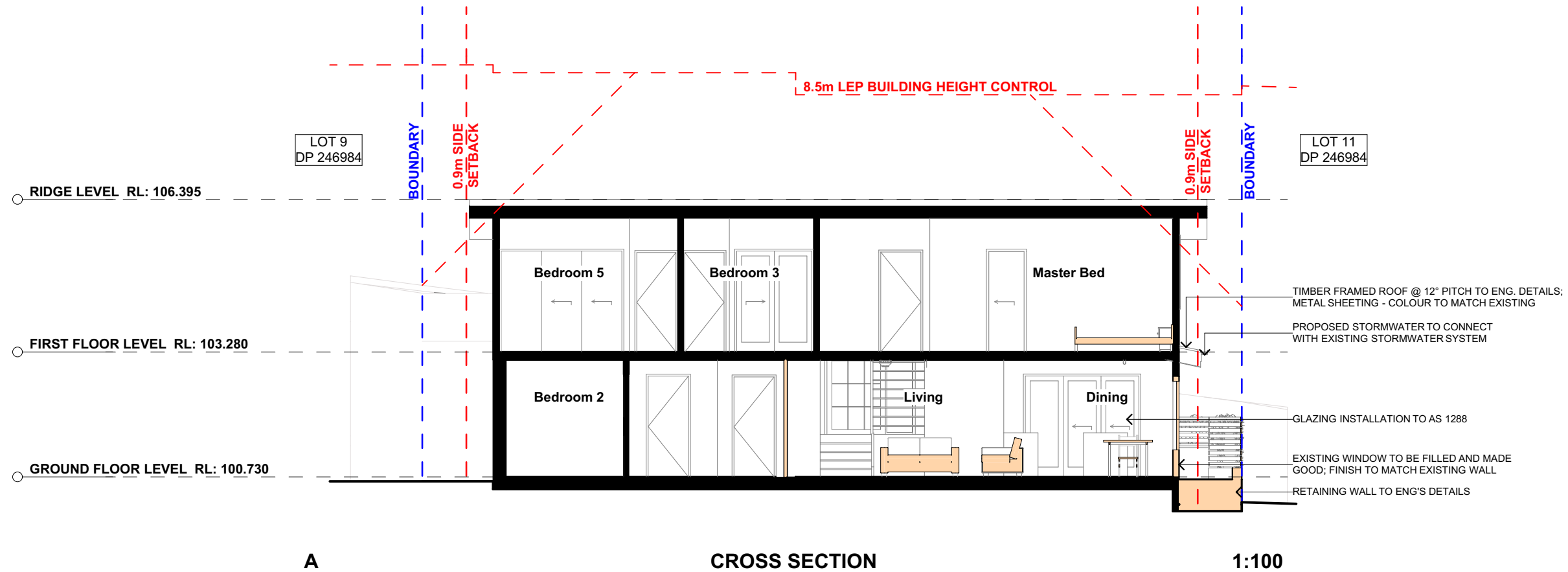
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DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

1:100 @A3



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LEGEND	
	EXISTING
	PROPOSED WORKS

CLIENT

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DRAWING NO.

DA09

DATE

18 February 2020

DRAWING NAME

LONG / CROSS SECTION

SCALE

1:100 @A3



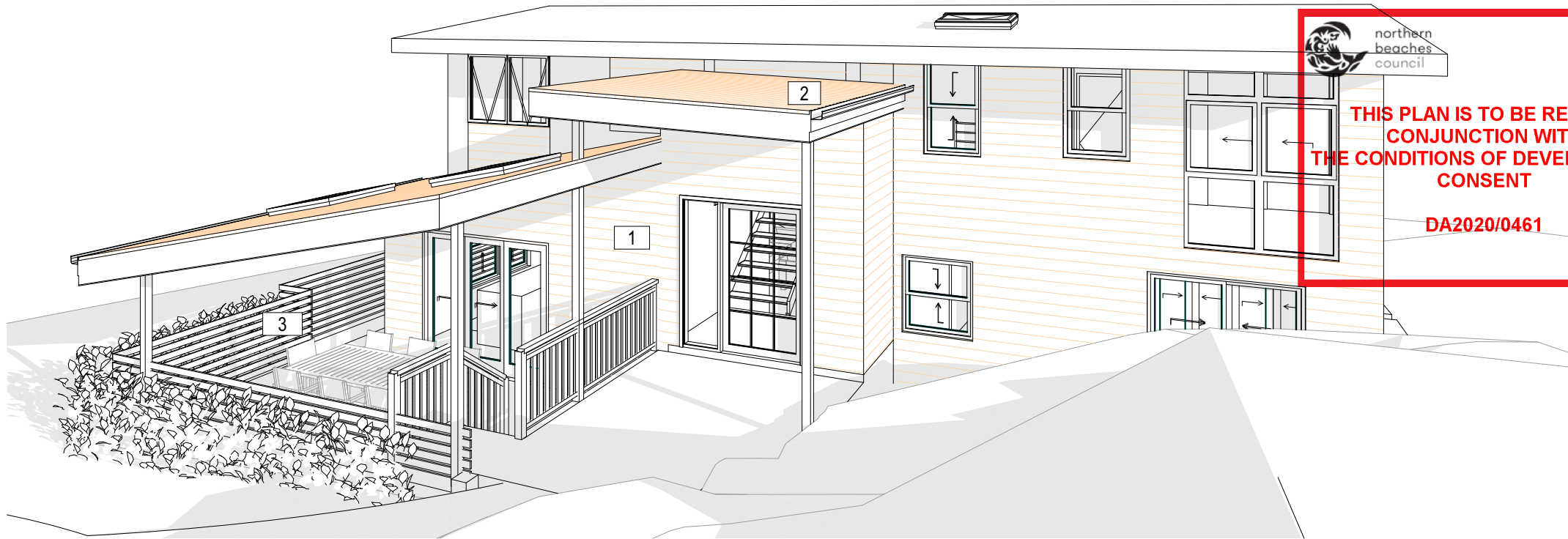
(3) METAL COLOURBOND ROOFING -
COLOUR TO MATCH EXISTING




(1) EXTERNAL WEATHERBOARD CLADDING -
COLOUR TO MATCH EXISTING



(2) TIMBER SCREENING -COLOUR TO
BE CONFIRMED BY CLIENT





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133 OWEN STANLEY
AVENUE, ALLAMBIE
HEIGHTS, 2100

DRAWING NO.

DA10

DATE

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DRAWING NAME

SAMPLE BOARD

SCALE

1:200 @A3