

STATEMENT OF ENVIRONMENTAL EFFECTS

**PROPOSED ALTERATIONS AND ADDITIONS
TO AN EXISTING RESIDENCE
AT**

28 MARANUI AVE, DEE WHY 2099

LOT 8 DP 13020

Prepared By *JJ Drafting Australia P/L*
March 2023

1) Introduction

This Statement of Environmental Effects accompanies documents prepared by JJ Drafting Aust P/L, job number 1121/23, drawing numbers DA.01 to DA.14 dated JAN/23 to detail change of use & proposed carport at 28 Maranui Ave, Dee Why 2099.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. As a result of this assessment it is concluded that the development of the site in the manner proposed is acceptable and is worthy of support by Council.

In preparation of this document, consideration has been given to the following:

- # *The Environmental Planning and Assessment Act 1979 as amended*
- # *The Environmental Planning and Assessment regulation 2000*
- # *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- # *Warringah Local Environmental Plan 2011*
- # *Warringah Development Control Plan 2011*
- # *Warringah Local Environmental Plan Maps 2011: [Northern Beaches Mapping \(nsw.gov.au\)](http://www.nsw.gov.au)*
- # *Warringah Development Control Plan Maps 2011: [Northern Beaches Mapping \(nsw.gov.au\)](http://www.nsw.gov.au)*
- # *Northern Beaches Council Bushfire Prone Land Map, certified 7 August 2020:*
- # *Northern Beaches Council Flood Hazard Map, referred to on 3/2/2021:*

2) Site Characteristics and Description

The subject allotment is described as 28 Maranui Ave, Dee Why with a site area of 484.9sqm.

- The site has a R2 Low Density Residential zoning.
- The site is not listed as a heritage item or being in a conservation area.
- The site is not listed as being at risk on the Flood Hazard Map
- The site is not in a bushfire prone area as per Council's Bushfire Prone Land Map.
- The site is in Area A and Area B according to the Landslip Risk Area Map. Geo tech assessment report attached with this submission
- The property addresses Maranui Ave to the East.
- The site is currently developed with a single storey rendered dwelling with a tiled hip roof. There is a rendered brick garage in the North West rear corner.
- Driveway access is provided via an existing concrete driveway off Maranui Ave.
- The site falls from the rear boundary (West) down towards the front boundary (East) with a difference of approximately 2m.
- Vegetation consists of mixed endemic and introduced species that surround the property with areas of lawn to the front and rear of the property.

- Front, side and rear setbacks vary throughout the streetscape and that of adjoining dwellings.

3) The Proposal

Description

As detailed within the accompanying plans, the proposal seeks consent for alterations and additions to an existing dwelling. It provides compliance with the Warringah Development Control Plan 2011 and Warringah Local Environment Plan 2011.

The proposed additions and alterations are as follows:

Existing Garage:

- Existing garage to be converted into a secondary dwelling.
- Existing floor area to the secondary dwelling - 33.82sqm
- New kitchenette and bathroom to be provided within the existing building
- Existing roller door to be removed and replaced with sliding door and bifold window.

Site:

- New single carport with storage at the rear is proposed. The structure is to be built over an existing driveway.
- Portion of existing concrete slab to be removed and new timber deck to be provided
- New flat roof above portion of new timber deck.

There will be no affect on neighbouring properties due to the proposed additions.

Considerations has been given to bulk and form

4) Zoning & Development Controls

4.1 Warringah Local Environmental Plan 2011

The site is zoned R2 Low Density Residential under the provisions of the WLEP 2011. The proposed alterations and additions to the existing dwelling are permissible with the consent of council.

4.2 Height of Building (LEP 4.3)

The building height control for this site is a maximum of 8.5m.

The proposed additions and alterations **comply** with this control.

BUILDING HEIGHT

Main roof ridge	--- RL31.75----	6.5m	COMPLIES
Exist. Garage-to form a secondary dwelling	--RL30.34----	4.1 m	COMPLIES
Proposed Carport	----- RL29.20----	3.7m	COMPLIES

4.3 General Principles of Warringah Development Control Plan 2011

The proposed development responds to the characteristics of the site and the qualities of the surrounding neighbourhood in a sympathetic and positive manner.

4.4 Controls relating to miscellaneous permissible uses (Part 5- 5.4)

Secondary dwelling – the area of the converted garage into a secondary dwelling has a floor area of 33.82sqm - COMPLIES

BUILT FORM CONTROLS**Wall Heights (DCP B1)**

The wall height control for this site is a maximum of 7.2m

The proposed development **complies** with this control.

Side Boundary Envelope (DCP B3)

The side building envelope control is a height plane of 4 metres along the side boundary, projecting up at an angle of 45 degrees inside the side boundaries.

Wall heights to all side boundaries **comply** with this control.

The proposed additions **complies** with this control.

Refer to DA.06 – DA.07 Elevations.

Side Boundary Setbacks (DCP B5)

Side boundary setback control is a min. of 900mm.

The proposed development **complies** with this control.

SIDE BOUNDARY SETBACKS

Existing North side to converted garage to secondary dwelling----797mm

New north side to new courtyard -----900mm ---COMPLIES

New north side to new courtyard -----900mm ---COMPLIES

New Carport/garage – north side setback -----500mm

It is requested that this slight non compliance be supported as it follows the existing established driveway. It will not affect adjoining properties in solar loss, view loss or privacy.

Front Boundary Setback (DCP B7)

Front boundary setback control is a min. of 6.5m or an average of the adjoining properties.

The proposed development **complies** with this control.

FRONT BOUNDARY SETBACK.

Proposed carport -----8.4m----- ---COMPLIES

Rear Boundary Setback (DCP B9)

Rear boundary setback control is a min. of 6.0mThe proposed development **complies** with this control

REAR BOUNDARY SETBACK

Proposed carport-----11.401m -----COMPLIES

Existing Garage converted to a secondary dwelling ---- 522mm

It is requested that this slight non compliance be supported as it is an existing building structure.
No openings are provided to this end wall.

SITING FACTORS**Traffic , Access and safety - (DCP C2)**

There will be no changes to the existing vehicle access to the site, no changes to the existing concrete crossover and concrete layback

Parking Facilities – (DCP C3)

2 spaces per dwelling house required. Garages are not to dominate the façade. Parking is to be located within buildings or on site. Parking is to be located within buildings or on site. Parking to be in accordance with AS/NZS 2890.1

The proposed development **complies** with this control. The proposal will remain having 2 off street carparking spaces for the main dwelling.

The design provides for a single carport. It will not dominate the streetscape and is in character to the dwelling itself and surrounding. Given that the carport has been designed with a flat roof, it is therefore not envisaged it will dominate the streetscape. Landscaping remains along the north and south sides of the existing concrete to reduce any bulk to the streetscape.

There is plenty of available parking on the street for the secondary dwelling.

Stormwater – (DCP C4)

To be provided in accordance with councils stormwater drainage design guidelines.

The proposed development complies with this control.

The proposal provides a concept design for a stormwater drainage and collection for reuse. This is to be designed by a hydraulic engineer at a later stage.

Refer to *DA.10 Stormwater Concept Plan*.

DESIGN**Landscaped Open Space (DCP D1)**

The minimum landscaped open space required is 40% of the site area. With no areas less than 2.0m in any direction.

LANDSCAPED OPEN SPACE

Control minimum -----193.96m²---40% of site area (484.9m²)

Existing area -----125.97m² ---25.9%

Proposed area -----125.97m² ---25.9%

There will be no changes to the existing landscaped open space calculation planRefer to *DA.09 Landscaped Area Calculation Plan*.

Private Open Space (DCP D2)

Dwelling houses with 1 or 2 bedrooms require a total of 35m² with minimum dimension 3m.

Dwelling houses with 3 or more bedrooms require a total of 60m²

Private open space is to be directly accessible from a living area; located and designed to ensure privacy of occupants of adjacent buildings and the proposed development; shall not be located in the primary front building setback; located to maximise solar access.

The proposed development **complies** with this control.

PRIVATE OPEN SPACE

Primary Dwelling -----60m² ----- COMPLIES

Secondary Dwelling -----37m² ----- COMPLIES

Refer to *DA.09 Landscape Area Calculation Plan*.

Access to Sunlight (DCP D6)

Development should avoid unreasonable overshadowing any public open space.

At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.

The proposed development **complies** with this control.

No loss of daylight to main living areas in adjacent dwellings will be experienced as a consequence of this proposal. Adjoining properties will receive a minimum of 3 hours of solar access.

Views (DCP D7)

Development shall provide for the reasonable sharing of views.

The proposed development **complies** with this control.

No loss of significant views from neighbouring properties will be affected.

Privacy (DCP D8)

Building layout should be designed to optimise privacy for occupants of the development and adjoining properties. Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking. The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.

The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.

The proposed development **complies** with this control.

There will be no loss of privacy, due to the proposed additions.

THE NATURAL ENVIRONMENT**Preservation of Trees or Bushland Vegetation (DCP E1)**

Authority to clear a tree or other vegetation is regulated in this plan in accordance with State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017.

No trees will be affected by this proposal

The proposed development **complies** with this control.

Landslip Risk (DCP E10)

Geotechnical assessment is required for this site as portion of the site is located in Area B of the landslip map.

See report attached to this application.

5) Matters for Consideration Under Section 79c of The Environmental Planning and Assessment Act, 1979

5.1 The provisions of any environmental planning instrument

The proposal is subject to the provisions of the Warringah Development Control Plan 2011 and the relevant supporting Council Local plan. It is considered that the provisions of this environmental planning instrument have been satisfactorily addressed within this report and that the proposal achieves compliance with its provisions.

There are no other environmental planning instruments applying to the site.

5.2 Any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority

It is not considered that there are any draft environmental planning instruments applying to the site.

5.3 Any development control plan

The development has been designed to comply with the requirements of the locality and the general principles of the Warringah Development Control 2011.

It is considered that the proposed design respects the desired character objectives of the WDCP 2011 and WLEP 2011 in that it reinforces the existing and new residential character of the area and is compatible with the existing uses in the vicinity.

5.4 Any matter prescribed by the regulations that apply to the land to which the development relates

No matters of relevance area raised regarding the proposed development.

5.5 The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.

It is considered that the proposal, which seeks consent for a new carport and a change of use to an existing garage to a secondary dwelling will not unreasonably impact upon the amenity of adjoining properties or upon the character of the surrounding area. It is considered that the resultant development is compatible with and will complement the character of the area.

The proposal is well designed having regard to the relevant provisions of the Warringah Development Control Plan 2011

5.6 The suitability of the site for the development

The subject land is in the low density residential R2 and the proposed development is permissible as category 1 and 10 development. The site is considered suitable for the proposed development. The proposal will provide for alterations and additions to an existing dwelling without having a detrimental impact on the amenity of the adjoining properties or any impact on the streetscape.

5.7 Submissions made in accordance with this Act or the regulations

This is a matter for Council in the consideration of this proposal.

5.8 The public interest

The proposal will not impact upon the environment, the character of the locality or upon the amenity of adjoining properties and is therefore considered to be within the public interest.

6) Conclusion

The proposal which provides for a proposed carport and change of use to an existing garage to a secondary dwelling will not have any detrimental impact on the adjoining properties or the locality. The proposal is in keeping with Council's aims and objectives for this locality. There will be no effect on local fauna and flora.

In scale, form and finishes, the proposal will have a positive effect on the lifestyle of its inhabitants and the visual amenity of its neighbours.

As the proposal will not have any significant impact on the environment, scenic quality of the area or the amenity of the adjoining allotments, the issue of Development Consent under the delegation of Council is requested.

SCHEDULE OF EXTERIOR FINISHES

29 Carawa Road, Cromer

WALLS

Existing Garage No change

New Carport Lightweight framing. Selected cladding colour to match existing dwelling/

ROOF

Colorbond roof, medium – dark grey finish. To match existing.

WINDOW & DOOR FRAMES

Powder-coated aluminum in colour to match existing.

TRIMS

White



Photo 1

Looking west from site entry on Maranui Ave showing front of building, including existing garage which is proposed to become secondary dwelling and existing concrete driveway.

Location of proposed carport in front of existing garage.

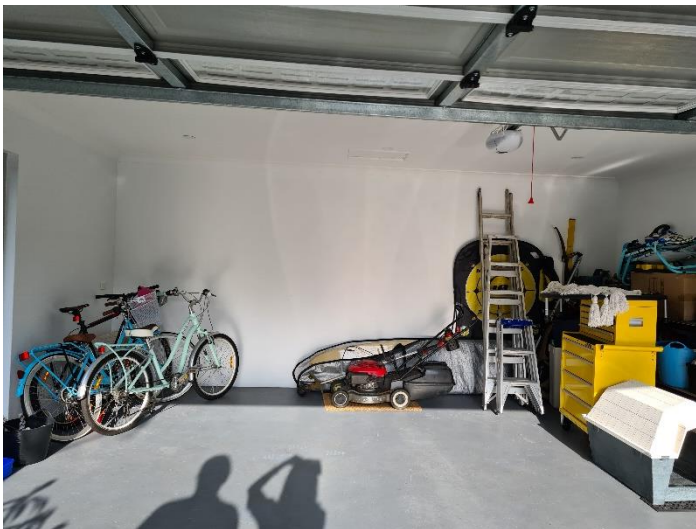


Photo 2

Looking west showing the existing internal structure of the garage which is proposed to become a secondary dwelling.



Photo 3

Looking north across rear yard showing existing garage and side sliding door access.

