



ACTION PLANS

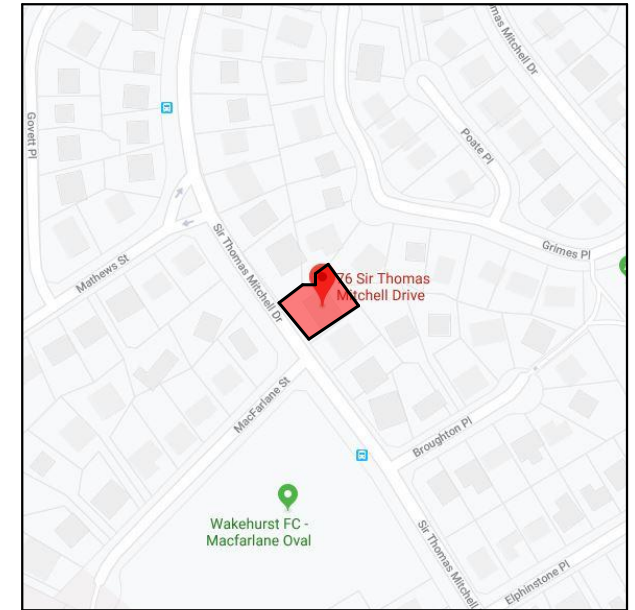
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76 SIR THOMAS MITCHELL DR DAVIDSON, NSW
2085

DEVELOPMENT APPLICATION

These plans are for Development Approval only.

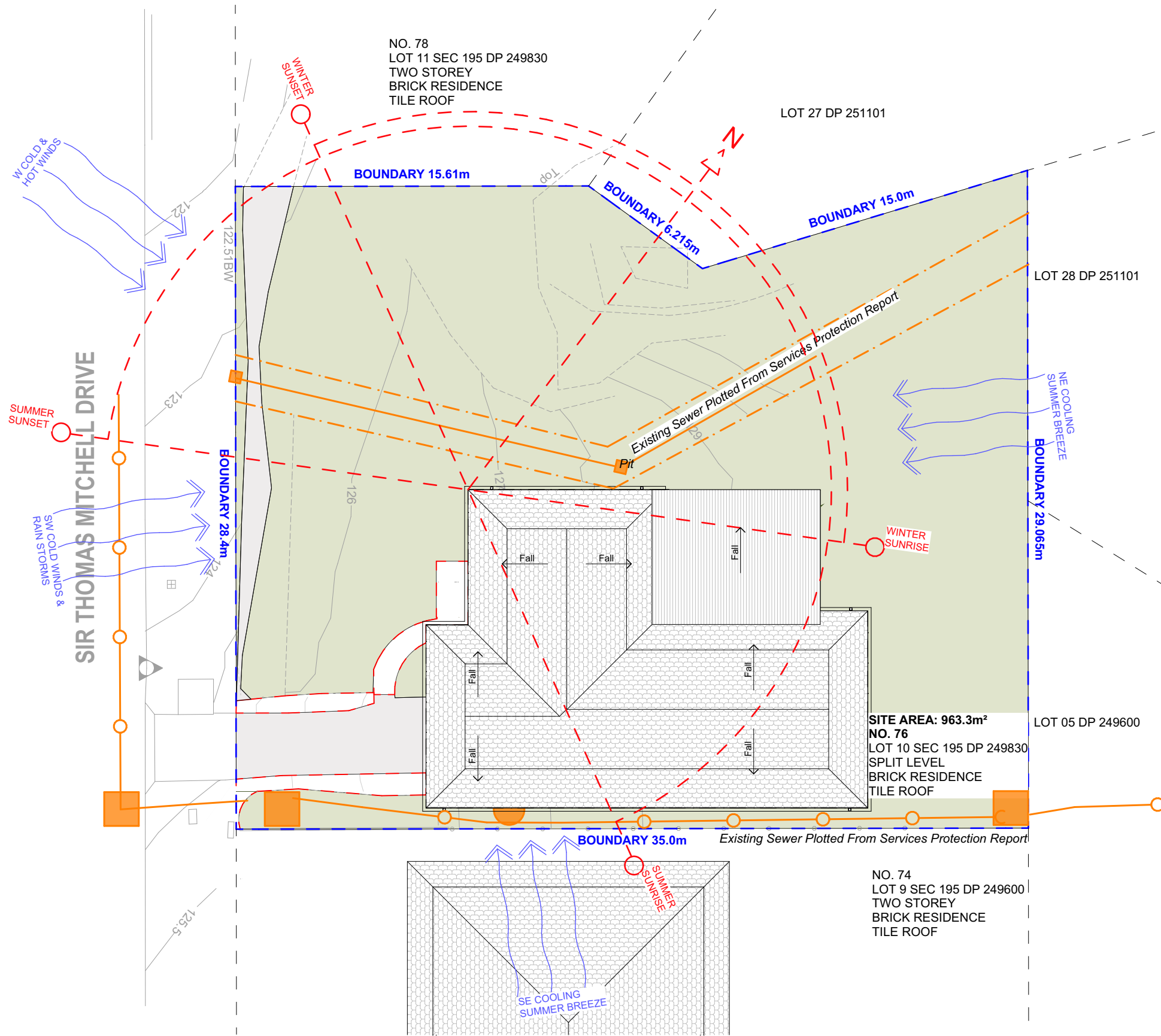
SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	30/09/2019
DA01	SITE ANALYSIS	30/09/2019
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	30/09/2019
DA03	EXISTING GARAGE FLOOR PLAN	30/09/2019
DA04	EXISTING GROUND FLOOR PLAN	30/09/2019
DA05	EXISTING ROOF PLAN	30/09/2019
DA06	PROPOSED GARAGE FLOOR PLAN	30/09/2019
DA07	PROPOSED GROUND FLOOR PLAN	30/09/2019
DA08	PROPOSED GROUND FLOOR PLAN 2	30/09/2019
DA09	PROPOSED ROOF PLAN	30/09/2019
DA10	NORTH ELEVATION	30/09/2019
DA11	EAST ELEVATION	30/09/2019
DA12	SOUTH ELEVATION	30/09/2019
DA13	WEST ELEVATION	30/09/2019
DA14	PROPOSED FRONT FENCE	30/09/2019
DA15	LONG / CROSS SECTION	30/09/2019
DA16	AREA CALCULATIONS / SAMPLE BOARD	30/09/2019
DA17	WINTER SOLSTICE 9 AM	30/09/2019
DA18	WINTER SOLSTICE 12 PM	30/09/2019
DA19	WINTER SOLSTICE 3 PM	30/09/2019
DA20	BASIX COMMITMENTS	30/09/2019



NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	76 SIR THOMAS MITCHELL DRIVE, DAVIDSON, NSW 2085			
LOT & DP/SP	LOT 10 SECTION 195 DP 249830			
COUNCIL	NORTHERN BEACHES COUNCIL (WARRINGAH)			
SITE AREA	963.3m ²			
FRONTAGE	28.4m			
CONTROLS	PERMISSIBLE / REQUIRED m / m ² / %	EXISTING m / m ² / %	PROPOSED m / m ² / %	COMPLIANCE
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m ²	963.3m ²	UNCHANGED	YES
MAXIMUM BUILDING HEIGHT	8.5m	6.43m	UNCHANGED	YES
HAZARDS				
DEVELOPMENT ON SLOPING LAND	AREA B – FLANKING SLOPES 5 TO 25°, AREA C – SLOPES GREATER THAN 25°	YES	YES	YES
DCP				
WALL HEIGHT	7.2m	4.94m	UNCHANGED	YES
SIDE BOUNDARY ENVELOPE	4m @ 45°	YES	UNCHANGED	YES
SIDE BOUNDARY SETBACKS	0.9m	N: 12.81m S: 1.53m	UNCHANGED	YES
FRONT BOUNDARY SETBACK	6.5m	8.89m	UNCHANGED FENCE: 2.9m	YES N/A
REAR BOUNDARY SETBACK	6.0m	7.69m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (385.3m ²)	67.7% (652.23m ²)	63.9% (616.36m ²)	YES
PRIVATE OPEN SPACE	60m ²	206.51m ²	UNCHANGED	YES



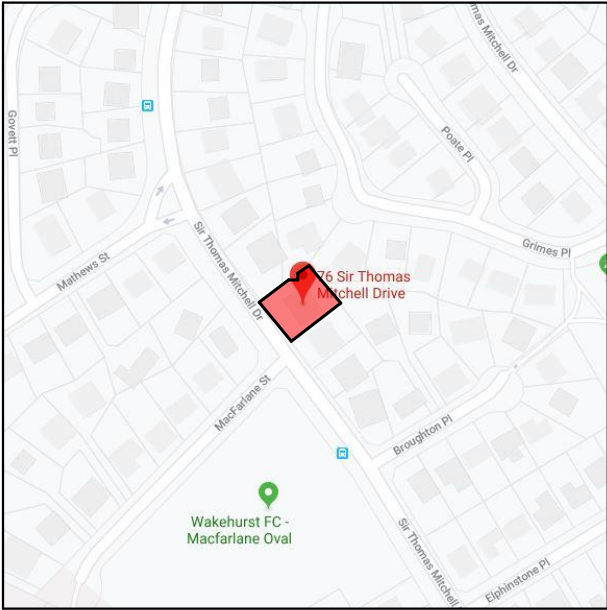
NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



STREET VIEW



LOCATION VIEW



AERIAL MAP



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REV.	DATE	COMMENTS	DRWN
A	30/09/19	DOCUMENTATION	SM

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LEGEND
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PROPOSED
DEMOLISHED

CLIENT
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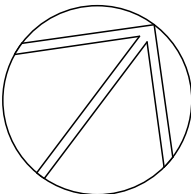
PROJECT ADDRESS
76 SIR THOMAS
MITCHELL DR
DAVIDSON, NSW 2085

DRAWING NO.
DA01

DATE
Monday, 30 September
2019

DRAWING NAME
SITE ANALYSIS

SCALE
1:200@ A3





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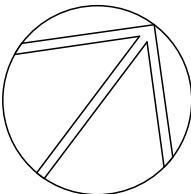
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DRAWING NO.
DA02

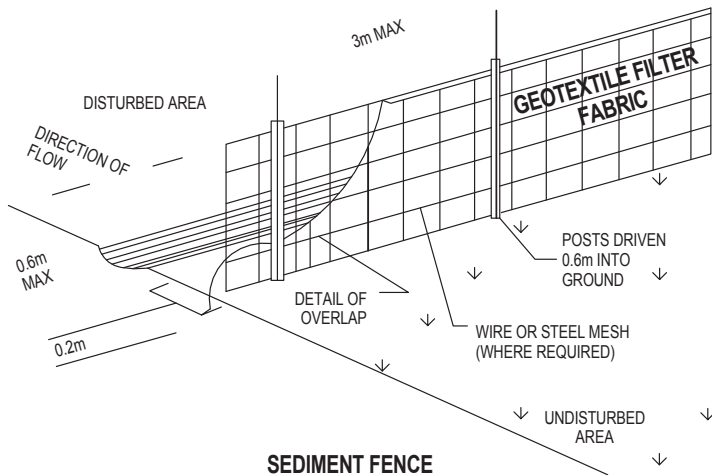
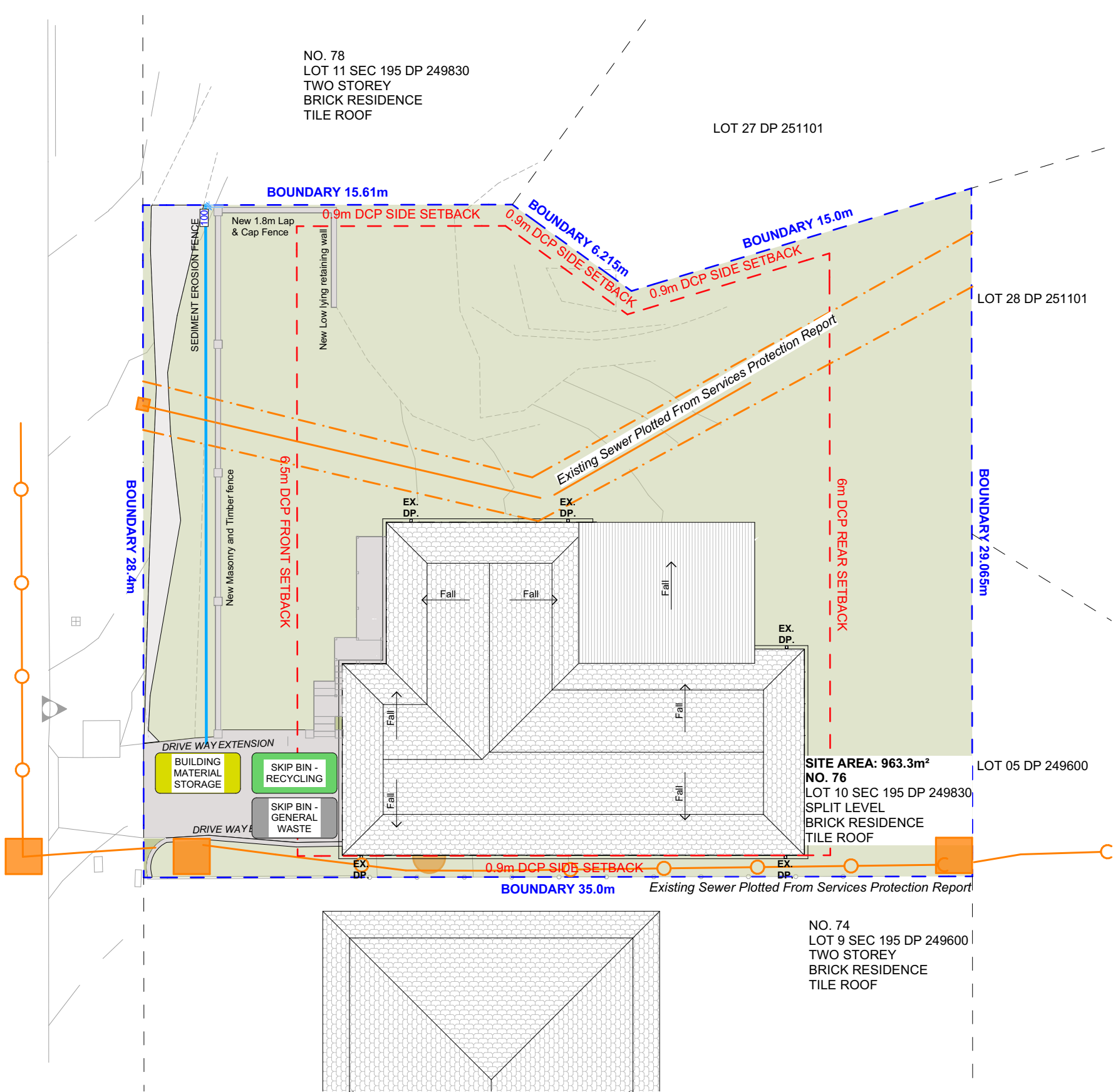
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Monday, 30 September 2019

DRAWING NAME
SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

SCALE
1:200 @A3



SIR THOMAS MITCHELL DRIVE



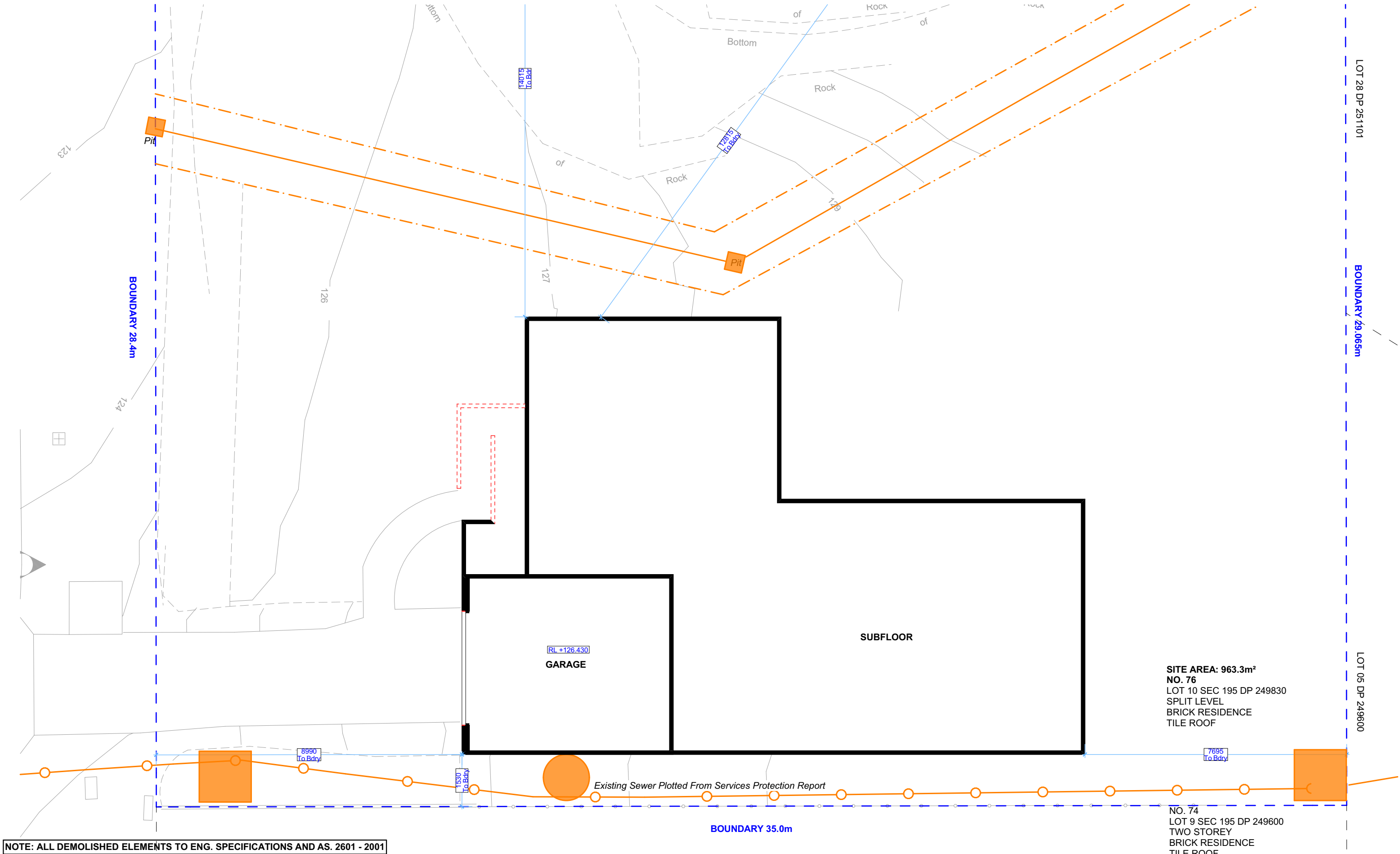
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



SITE AREA: 963.3m²
NO. 76
LOT 10 SEC 195 DP 249830
SPLIT LEVEL
BRICK RESIDENCE
TILE ROOF

NO. 74
LOT 9 SEC 195 DP 249600
TWO STOREY
BRICK RESIDENCE
TILE ROOF




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LEGEND

 EXISTING

 PROPOSED

 DEMOLISHED

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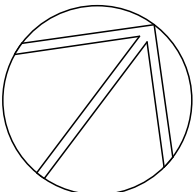
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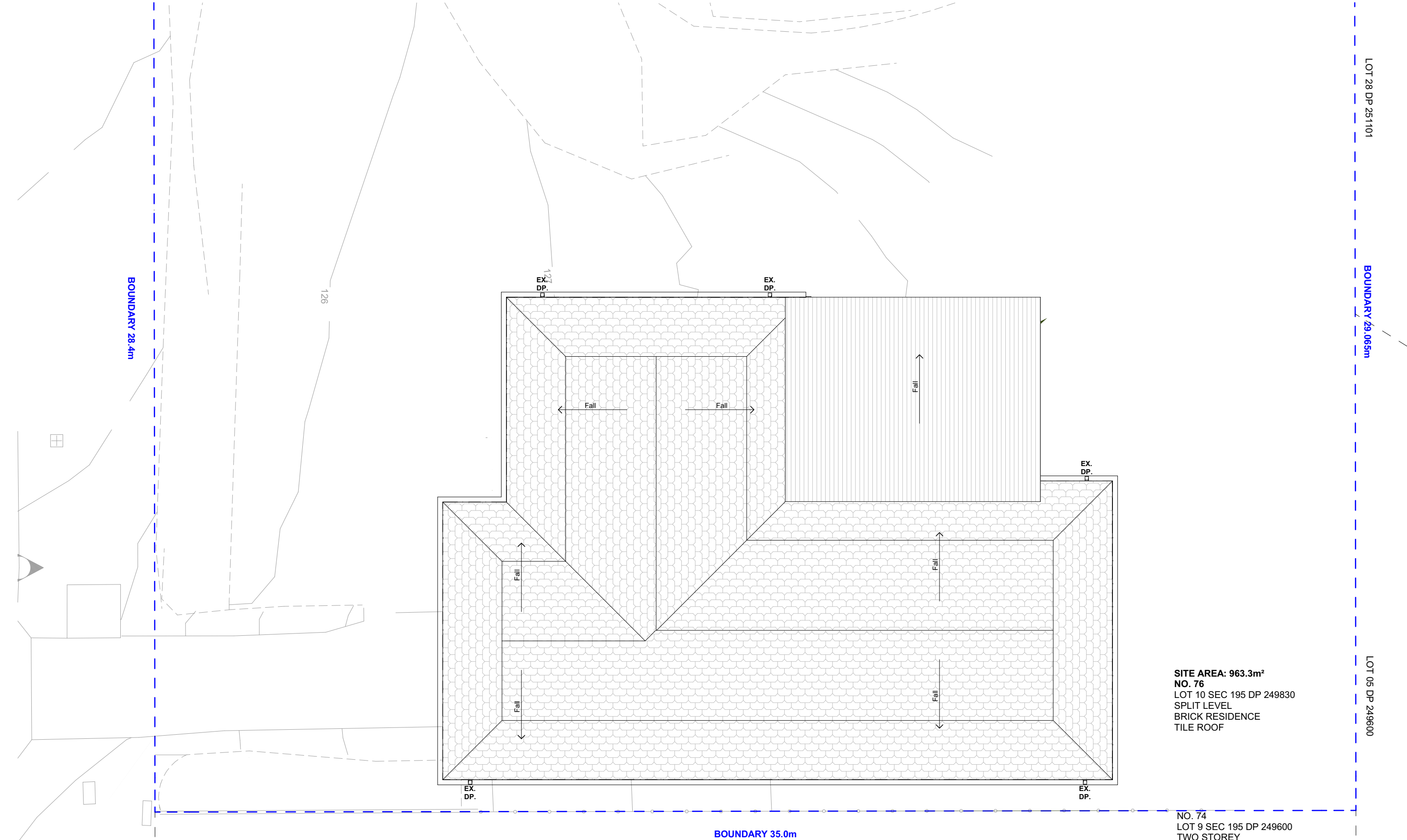
DRAWING NO.
DA03

DATE
Monday, 30 September
2019


DRAWING NAME
EXISTING GARAGE FLOOR
PLAN

SCALE
1:100 @A3





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EXISTING

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76 SIR THOMAS
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DAVIDSON, NSW 2085

DRAWING NO.

DA05

DATE

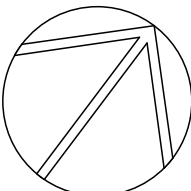
Monday, 30 September
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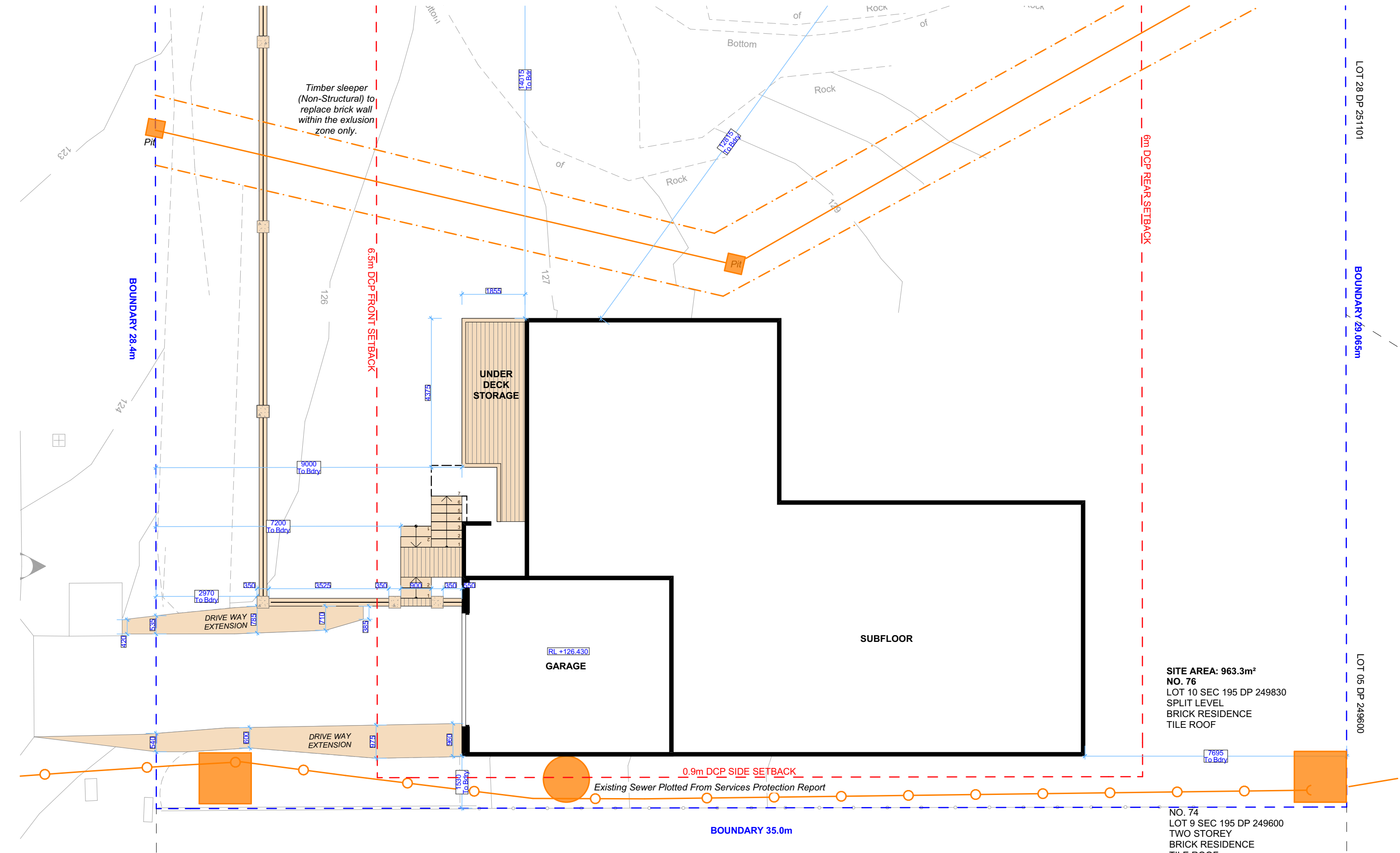
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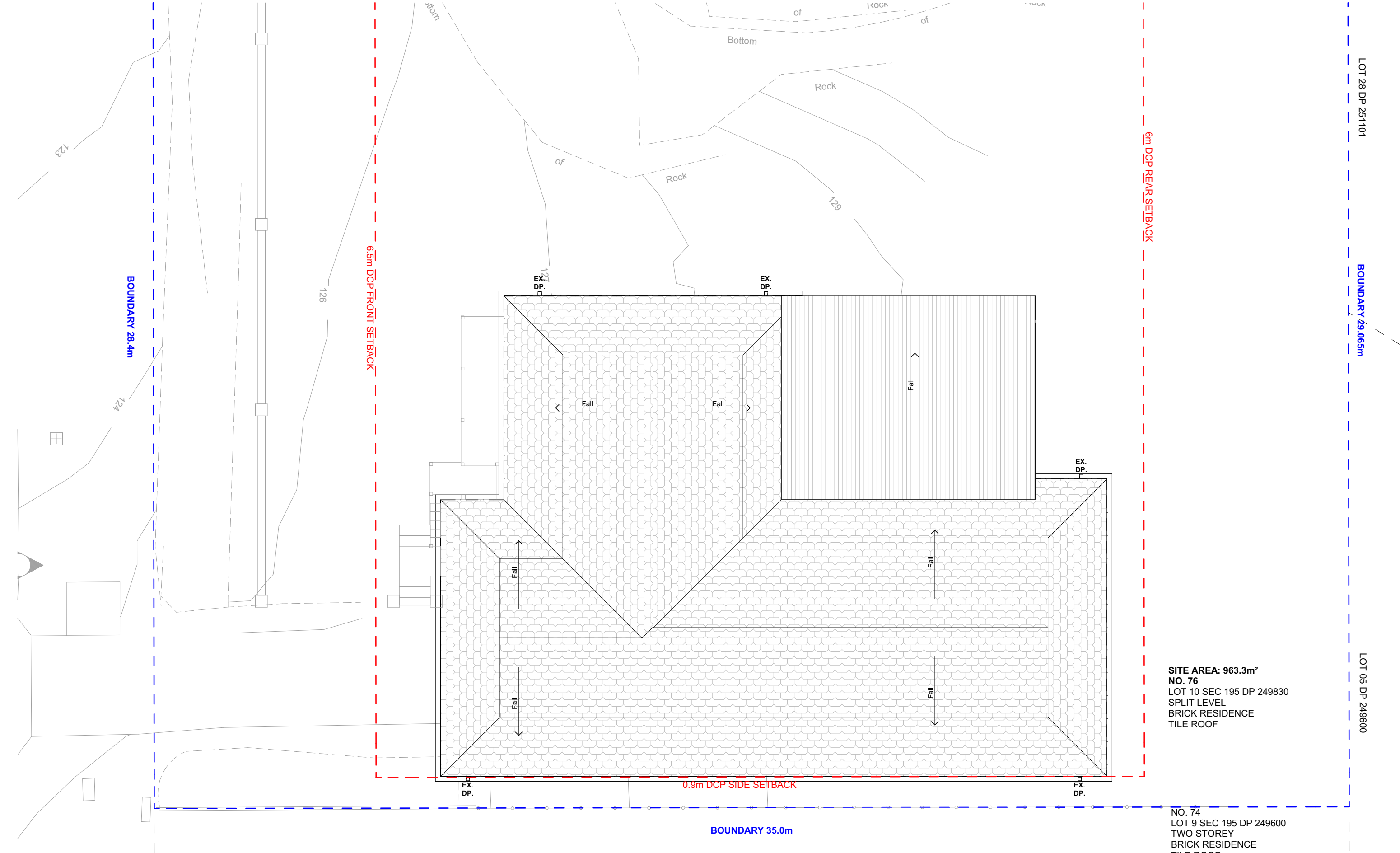
EXISTING ROOF PLAN


SCALE

1:100 @A3












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-  PROPOSED
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DRAWING NO.

DA09

DATE

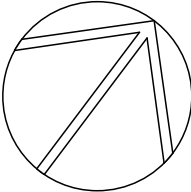
Monday, 30 September
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DRAWING NAME

PROPOSED ROOF PLAN

SCALE

1:100 @A3





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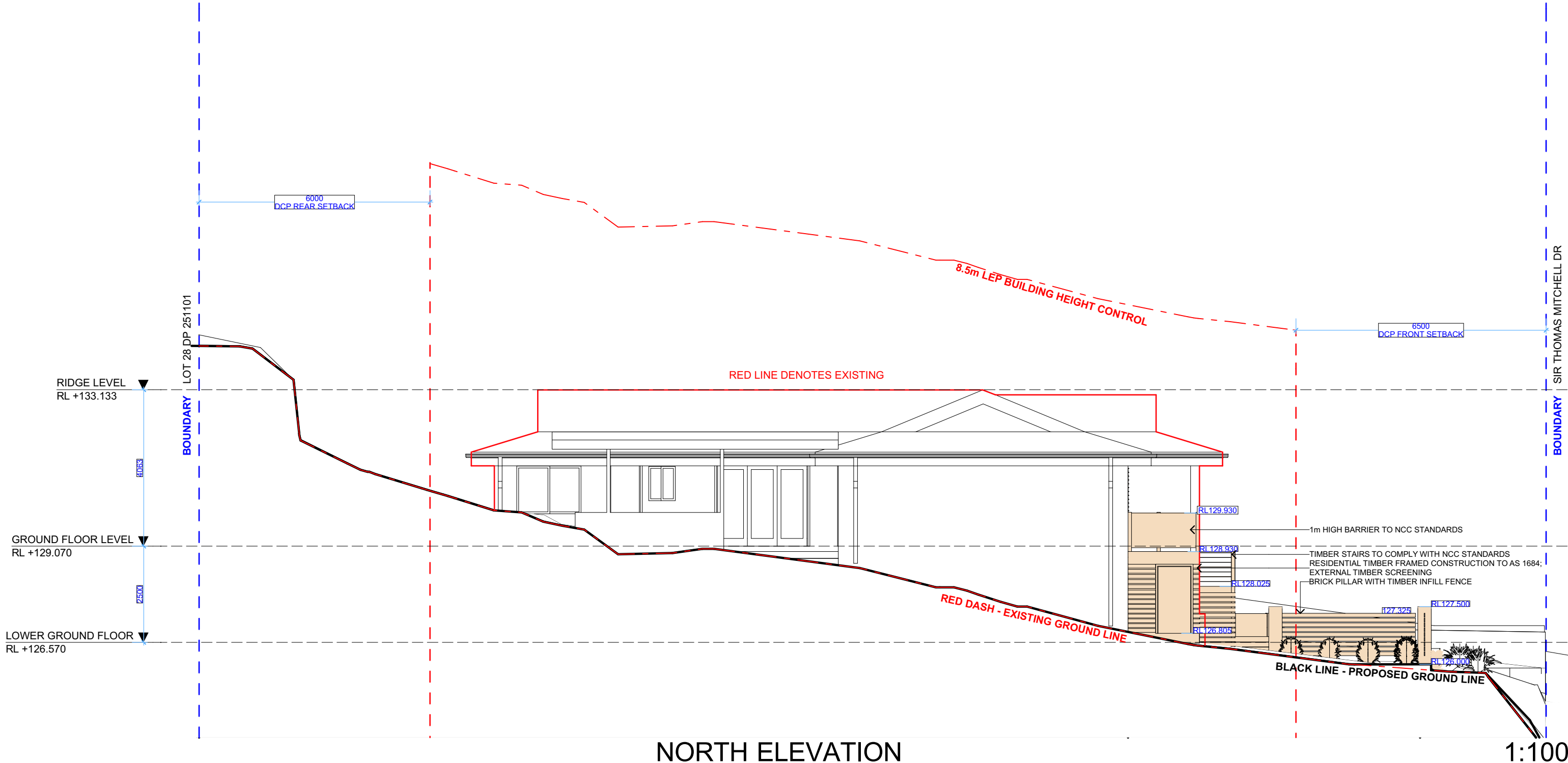
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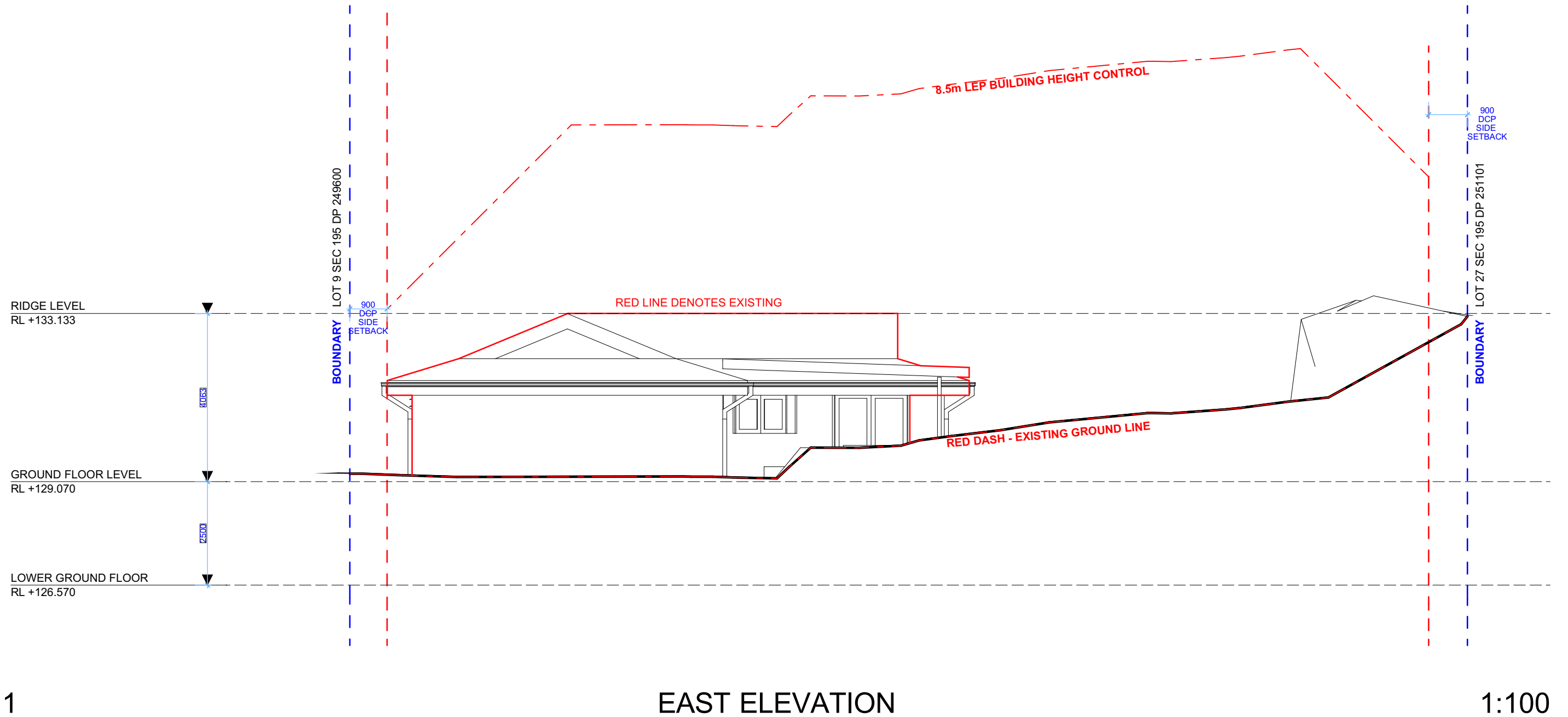
DRAWING NO.
DA10

DATE
Monday, 30 September
2019

DRAWING NAME
NORTH ELEVATION

SCALE
1:100 @A3





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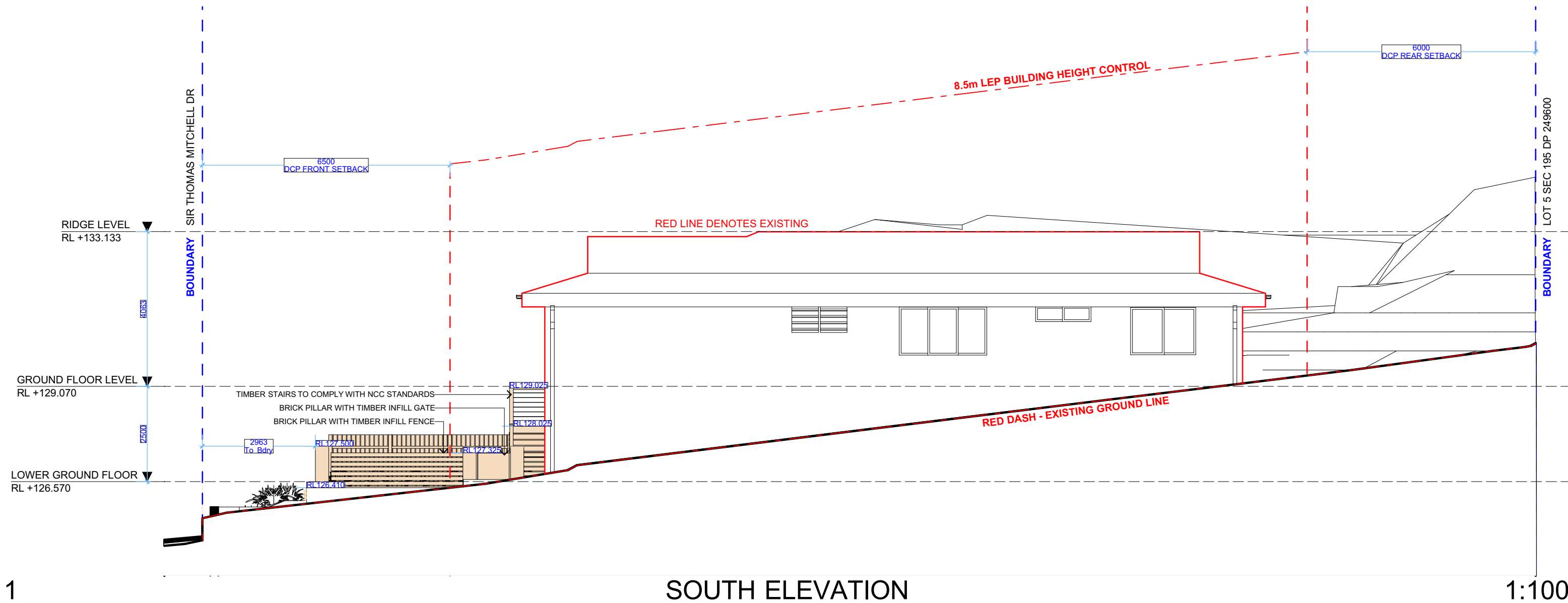
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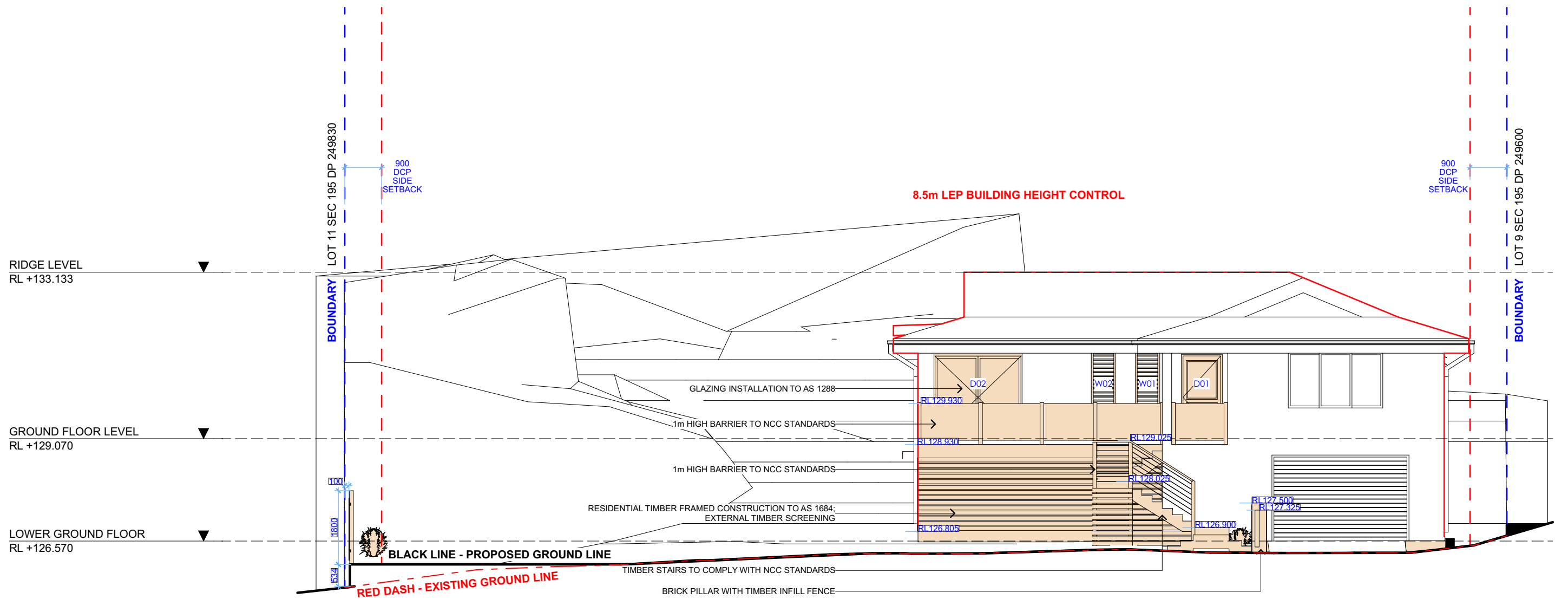
DRAWING NO.
DA11

DATE
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DRAWING NAME
EAST ELEVATION

SCALE
1:100 @A3





1

WEST ELEVATION

1:100



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DRAWING NO.

DA13

DATE

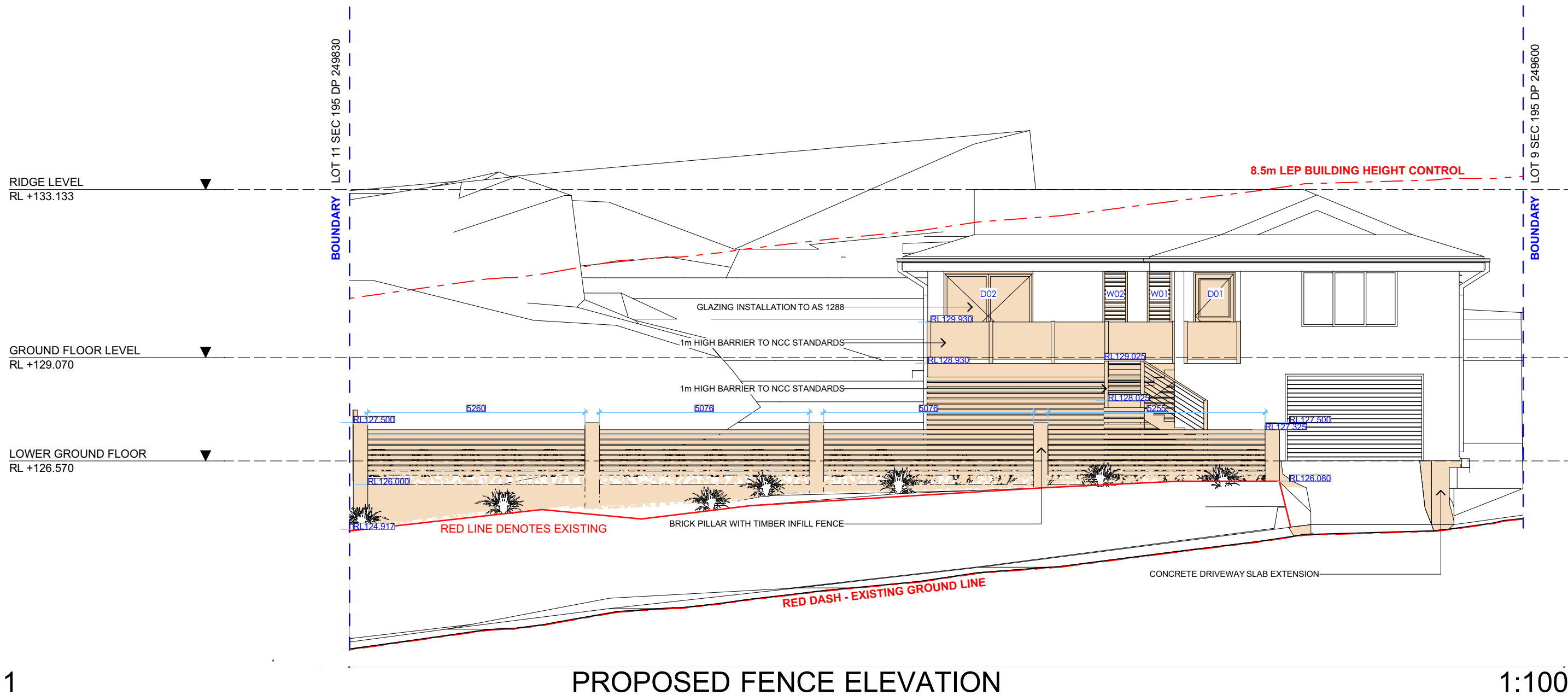
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DRAWING NAME

WEST ELEVATION

SCALE

1:100 @A3



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76 SIR THOMAS
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DRAWING NO.

DA14

DATE

Monday, 30 September
2019

DRAWING NAME

PROPOSED FRONT FENCE

SCALE

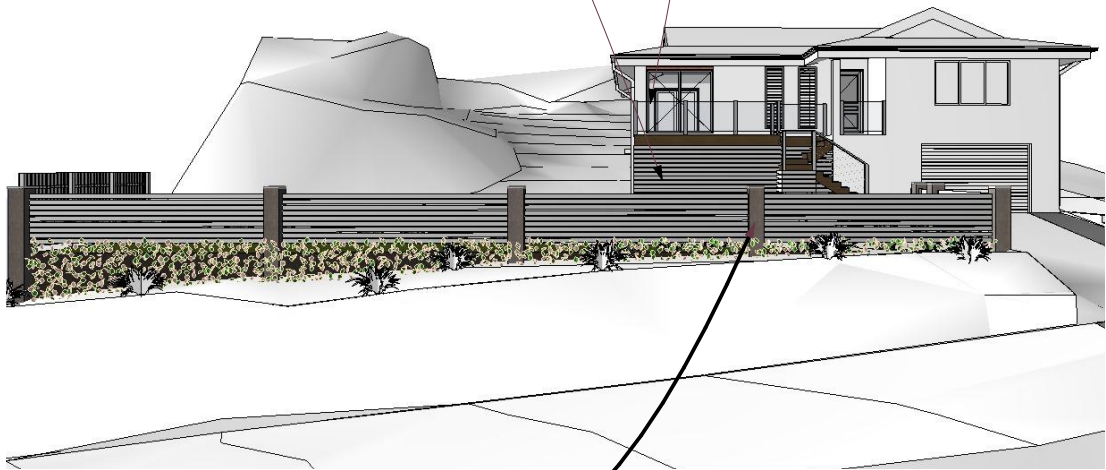
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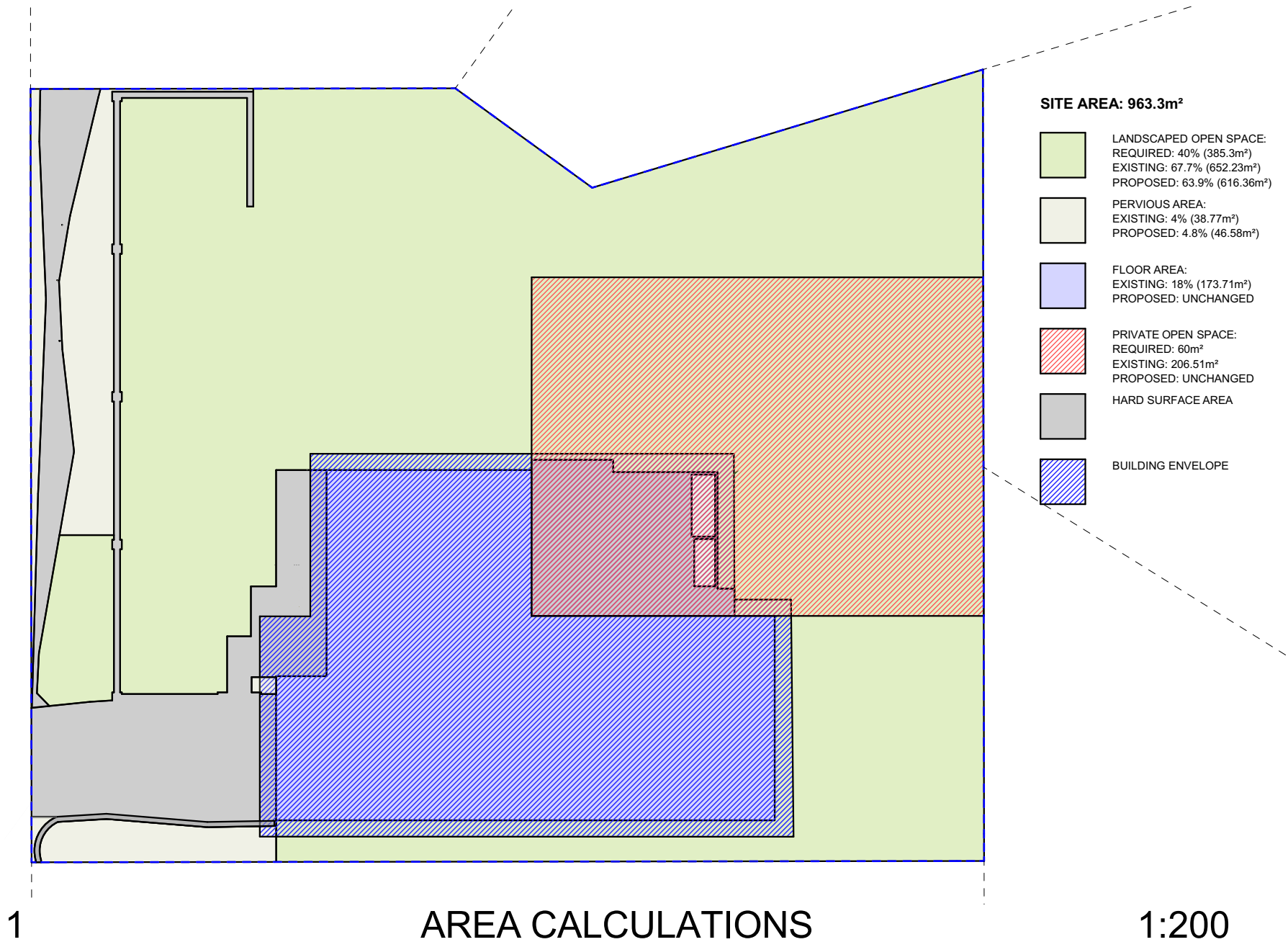
TIMBER PRIVACY SCREENING



GLASS BALUSTRADE TO DECK



SANDSTONE BLOCK PILLARS
TIMBER INFILL SLATS.



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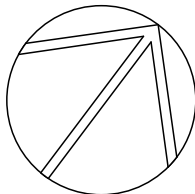
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DRAWING NO.
DA16

DATE
Monday, 30 September
2019

DRAWING NAME
AREA CALCULATIONS /
SAMPLE BOARD

SCALE



Alterations and Additions

Certificate number: A358813

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 18, September 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	76 SIR THOMAS MITCHELL DRIVE
Street address	76 SIR THOMAS MITCHELL Drive DAVIDSON 2085
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 249830
Lot number	10
Section number	195
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Planning & Environment

Building Sustainability Index www.basix.nsw.gov.au

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p>	✓	✓ ✓ ✓	✓ ✓ ✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W01	W	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W02	W	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D02	W	4.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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REV.	DATE	COMMENTS	DRWN
A	30/09/19	DOCUMENTATION	SM

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.
U value takes precedence over glazing type/colour in all cases.
all new glazing must meet the BASIX specified frame and glass type, **OR** meet the ecified U value and SHGC value.

CLIENT
SUZANNE & JORDAN
TELFER

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MITCHELL DR
DAVIDSON, NSW 2085

DRAWING NO.
DA20

DATE
Monday, 30 September
2019

DRAWING NAME
BASIX COMMITMENTS