

- SEDIMENT NOTE :**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
  2. MINIMISE DISTURBED AREAS. REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
  3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
  4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS
  5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

**DUST CONTROL :**  
 TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

**NOTE:**  
 MINIMAL ADDITIONAL STORMWATER LOADING. STORMWATER TO BE DIRECTED TO EXISTING AND WORKING DISCHARGE POINT

**NOTE:**  
 FRAMING TO AS 1685 - 2010  
 CONCRETE FOOTING TO AS 2870 - 2011  
 PLUMBING TO AS 3500 - 2003  
 MASONRY TO AS 4773 & 3700  
 TERMITE CONTROL TO AS2049  
 DOORS AND WINDOWS TO AS 2047

**NOTE:**  
 STORMWATER DISPOSAL AS PER HYDRAULICS ENGINEER'S DESIGN No.24956-C2 PREPARED BY NASTASI & ASSOCIATES

**NOTE:**  
 EASEMENT FOR SUPPORT - 5m WIDE (REFER TO 88b INSTRUMENT - in the 2nd referred Clause)

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**bda** Full Member No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	PROPOSED SITE PLAN	DA SUBMISSION		
16/02/2021	working drawings	4	AW					
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT	DRAWN BY	DATE	SCALE
18/03/2021	development application plans	6	PC			AW	09/07/21	1:200 @ A2
21/05/2021	additional shadows & landscape calcs added	7	PC	Uday and Kavita Bonu	PROPOSED NEW DWELLING	DWG NO	JOB NUMBER	ISSUE
07/06/2021	6.5m front setback compliance redesign	8	PC			DA02	20127	09
02/07/2021	Northern side of structure redesign	9	PC					

**NOTE:**  
REFER TO LANDSCAPE PLAN FOR  
TREES TO BE REMOVED INFORMATION

DWELLING	Area
Entry Floor Level	116.47
Front Porch (Entry Level)	16.12
Balcony (Living Floor Level)	47.87
Outdoor Living - Lower Floor Level	40.98
Guest Bed Area - Lower Floor Level	45.89
Living Floor Level	163.68
Balcony (Entry Level)	10.81
	441.82 m <sup>2</sup>

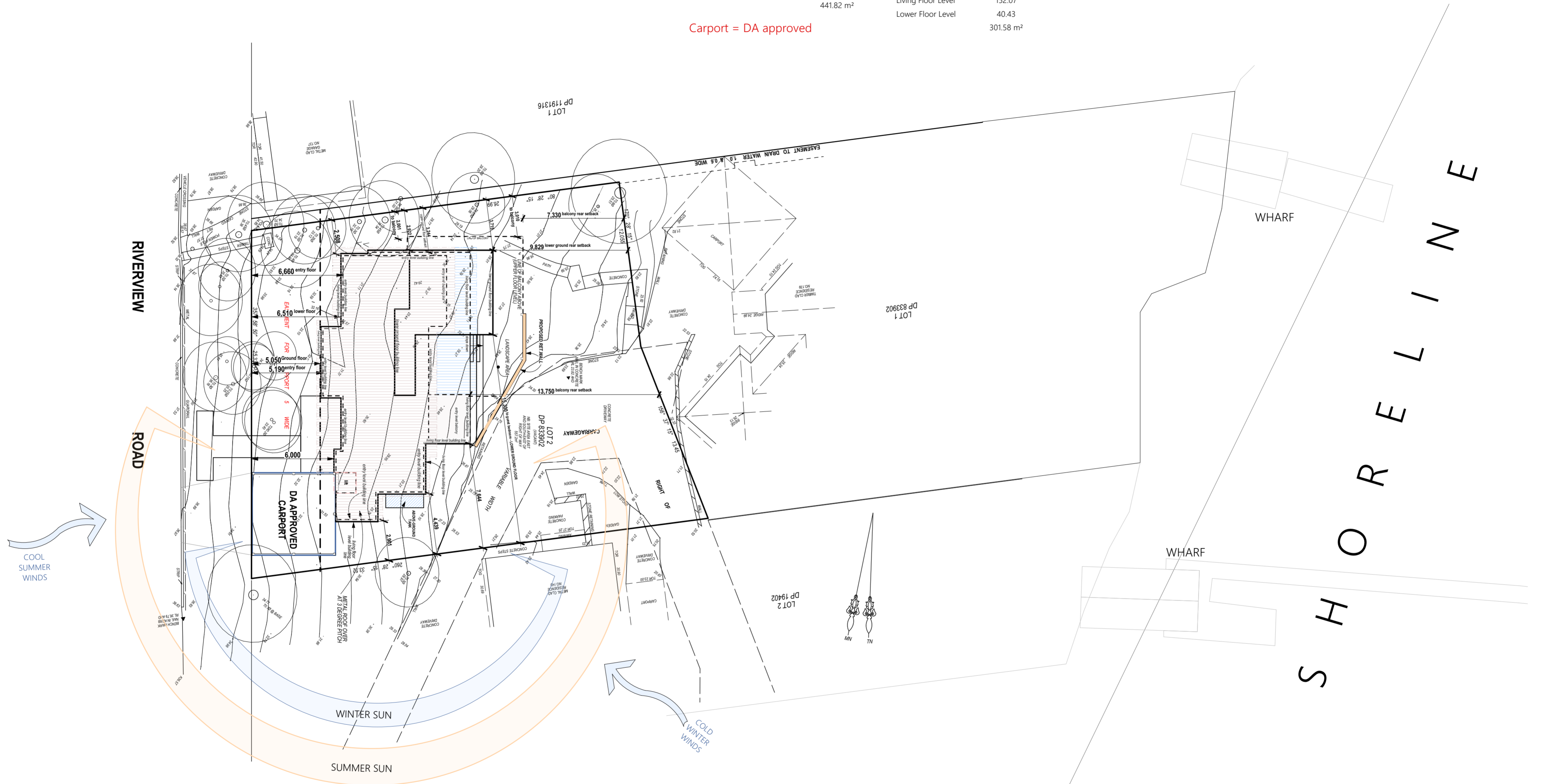
Carport = DA approved

DA Calculations

Site Area = 740.38m<sup>2</sup>  
Carriageway = 133.55m<sup>2</sup>  
Allowable FSR - N/A

GFA Calculations

Entry Floor Level	109.08
Living Floor Level	152.07
Lower Floor Level	40.43
	301.58 m <sup>2</sup>



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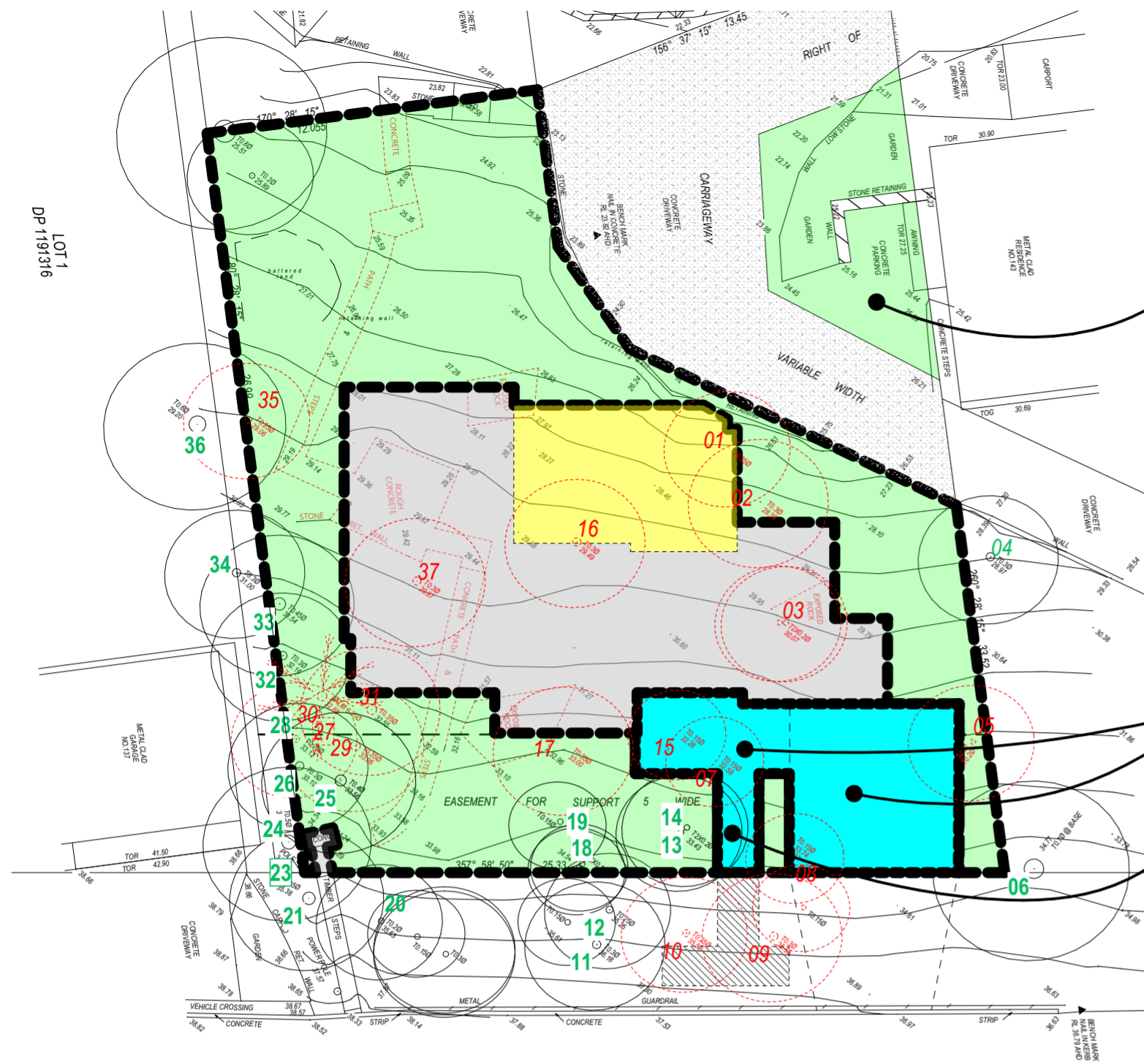
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21/05/2021	additional shadows & landscape calcs added	7	PC	Uday and Kavita Bonu
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02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE
SITE ANALYSIS PLAN
PROJECT
PROPOSED NEW DWELLING

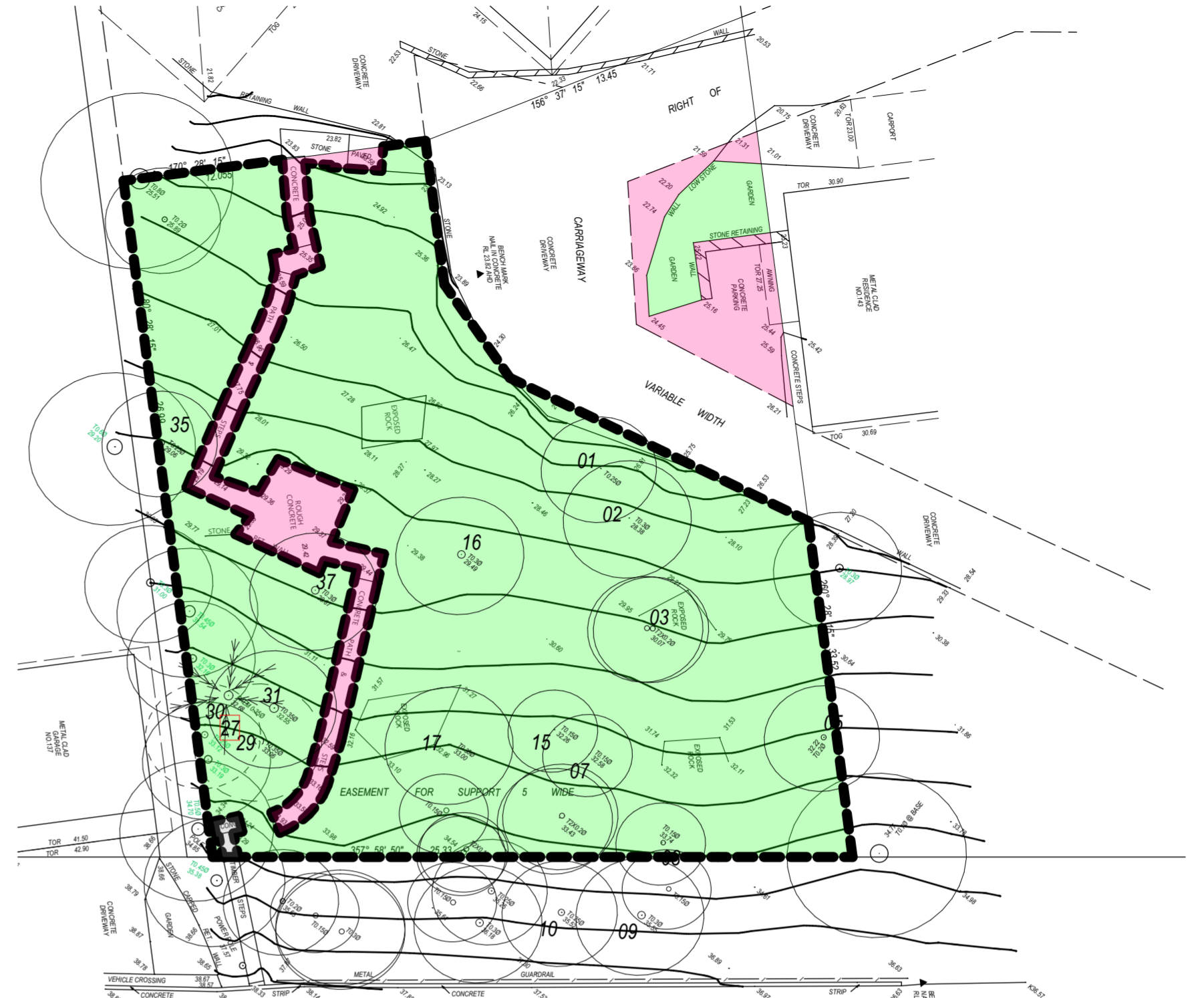
DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:200 @ A2
DWG NO	JOB NUMBER	ISSUE
DA03	20127	09



**NOTE:**  
INTENTION OF LANDSCAPING  
AREA BETWEEN THE  
CARRIAGEWAY

**UNDERCROFT  
AREA TO BE LANDSCAPED**

**PROPOSED - LANDSCAPE PLAN 1:200**



**EXISTING - LANDSCAPE AREA 1:200**

**PROPOSED LANDSCAPE CALCULATIONS**

Site Area = 740.4m<sup>2</sup>

Hard Surface Areas to be Retained for Carriageway = 133.55m<sup>2</sup> = 18% of site area

Proposed New Hard Surface Area = 147.71m<sup>2</sup> + 41.00m<sup>2</sup> (Outdoor Living Area) = 188.71m<sup>2</sup> or 25.5% of site area

Proposed Landscape Area Retained (incl Undercroft Area under carport & front walkway) = 387.42m<sup>2</sup> or 52.3%

Proposed Landscape Area New (incl area between the carriageway) = 30.72m<sup>2</sup>

**PROPOSED TOTAL LANDSCAPE AREA = 418.14m<sup>2</sup> or 56.5%**

**EXISTING LANDSCAPE CALCULATIONS**

Site Area = 740.4m<sup>2</sup>

Carriageway = 133.55m<sup>2</sup>

Existing Hard Surface Areas including Carriageway = 39.72 + 31.9 + 133.55m<sup>2</sup> = 205.17m<sup>2</sup> or 27.7% of site area

Existing Hard Surface Area to be removed = 39.72m<sup>2</sup> + 31.9m<sup>2</sup> = 71.62m<sup>2</sup>

Existing Landscape Area = 531.83m<sup>2</sup> or 71.8% of site area

NOTE:  
WITH EXCEPTION TO THE REMOVAL OF  
TREES, THE LANDSCAPED AREA IS TO  
REMAIN AS EXISTING

NOTE:  
Landscape plan to be used in conjunction  
with Abacus Tree Services Arborist Report  
dated 16 February 2021

**LEGEND**

- carriageway
- outdoor living area
- front porch, walkway and carport
- building footprint (excl. outdoor living)

01 tree to be removed

01 tree to be retained/protected

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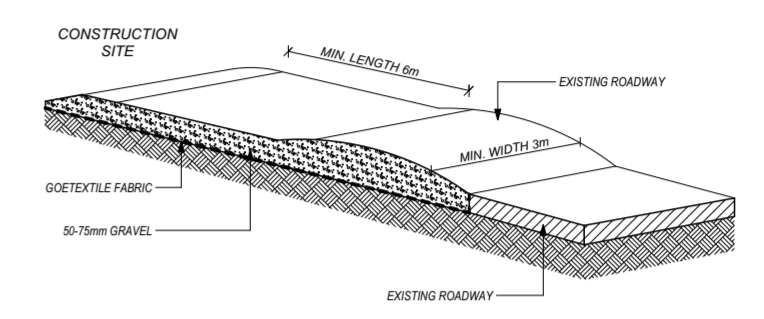
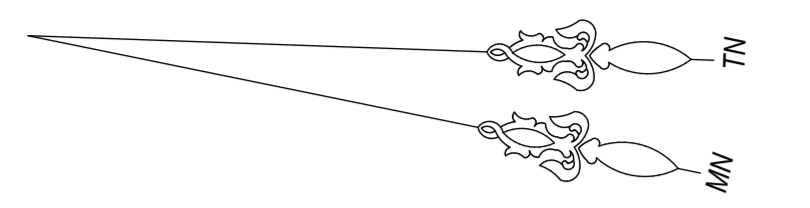
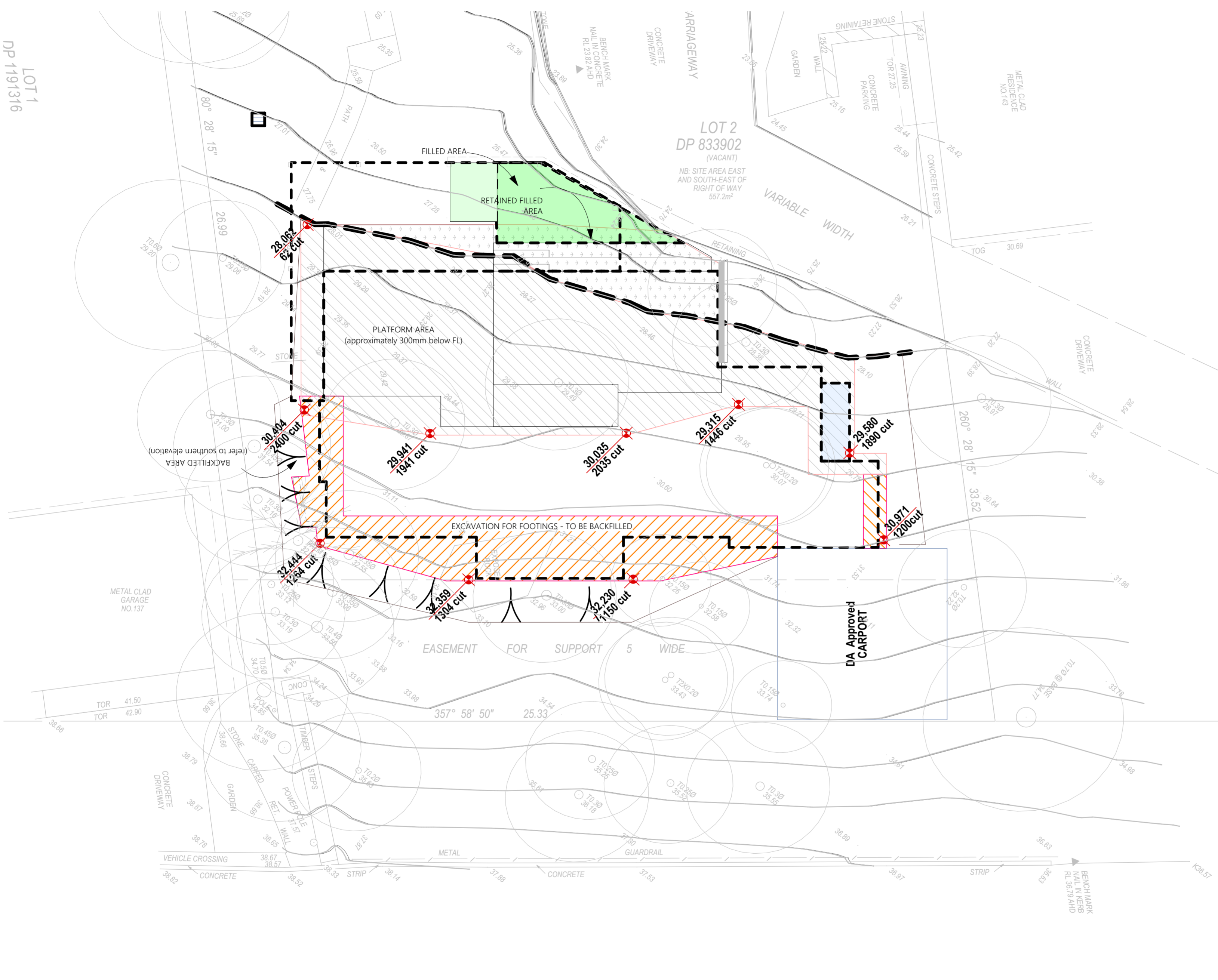
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No. 1672 - 14

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21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
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02/07/2021	Northern side of structure redesign	9	PC	

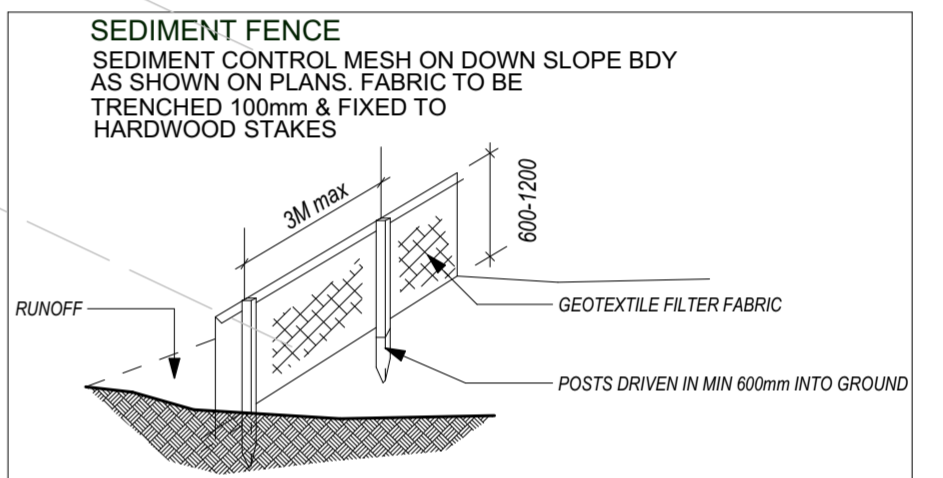
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LANDSCAPE PLAN
PROJECT
PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:200 @ A2
DWG NO	JOB NUMBER	ISSUE
DA04	20127	09

LOT 1  
DP 1191316



TEMPORARY CONSTRUCTION ENTRANCE / EXIT  
NOT TO SCALE



NOTE:  
REFER TO FLOOR PLANS FOR RESPECTIVE  
RL'S FOR EACH FLOOR LEVEL

# RIVERVIEW ROAD



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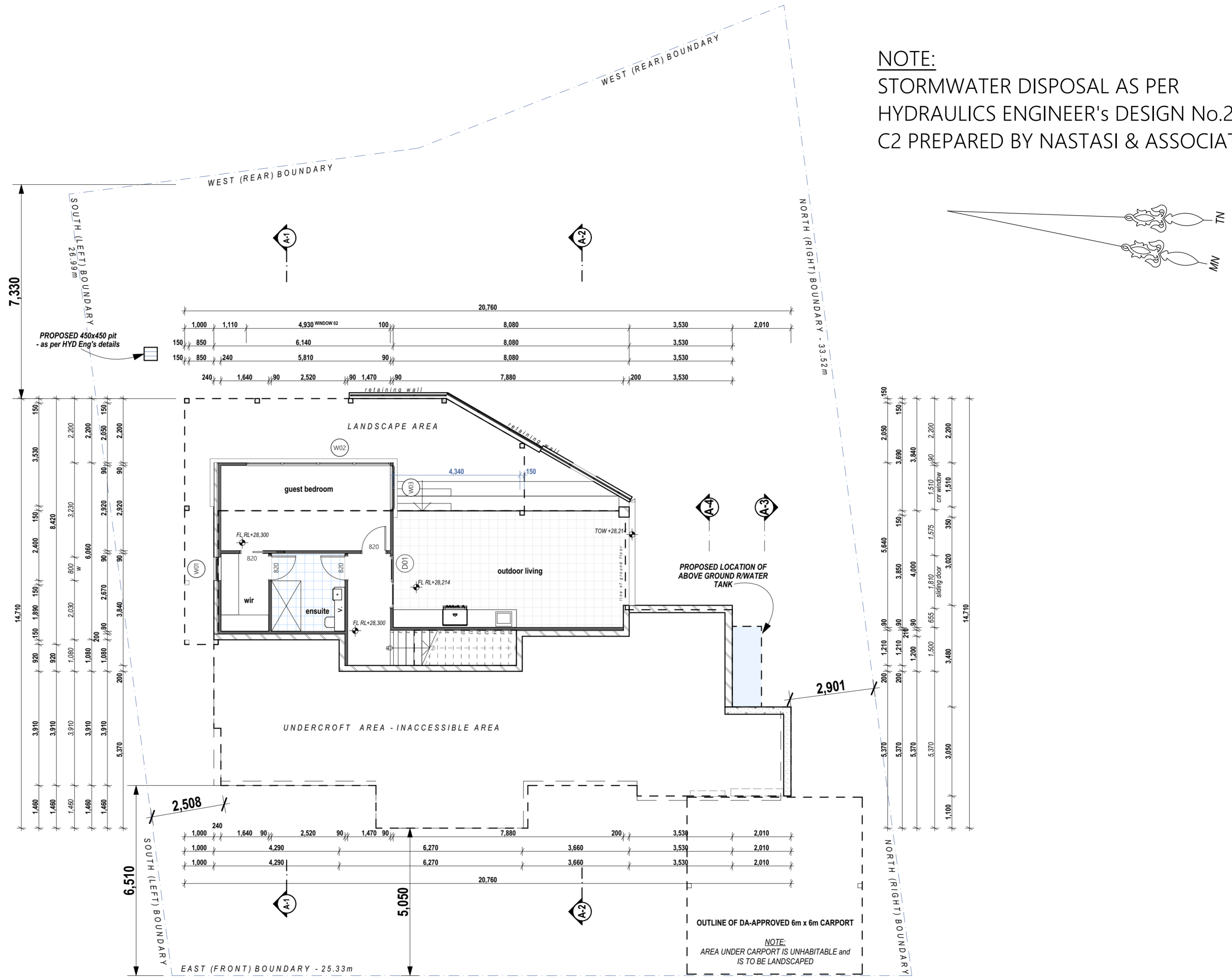
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21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
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21/05/2021	additional shadows & landscape calcs added	7	PC	Uday and Kavita Bonu
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02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE	PROPOSED CUT & FILL PLAN
PROJECT	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA05	20127	09

NOTE:  
 FRAMING TO AS 1685 - 2010  
 CONCRETE FOOTING TO AS 2870 - 2011  
 PLUMBING TO AS 3500 - 2003  
 MASONRY TO AS 4773 & 3700  
 TERMITE CONTROL TO AS2049  
 DOORS AND WINDOWS TO AS 2047

NOTE:  
 STORMWATER DISPOSAL AS PER  
 HYDRAULICS ENGINEER'S DESIGN No.24956-  
 C2 PREPARED BY NASTASI & ASSOCIATES



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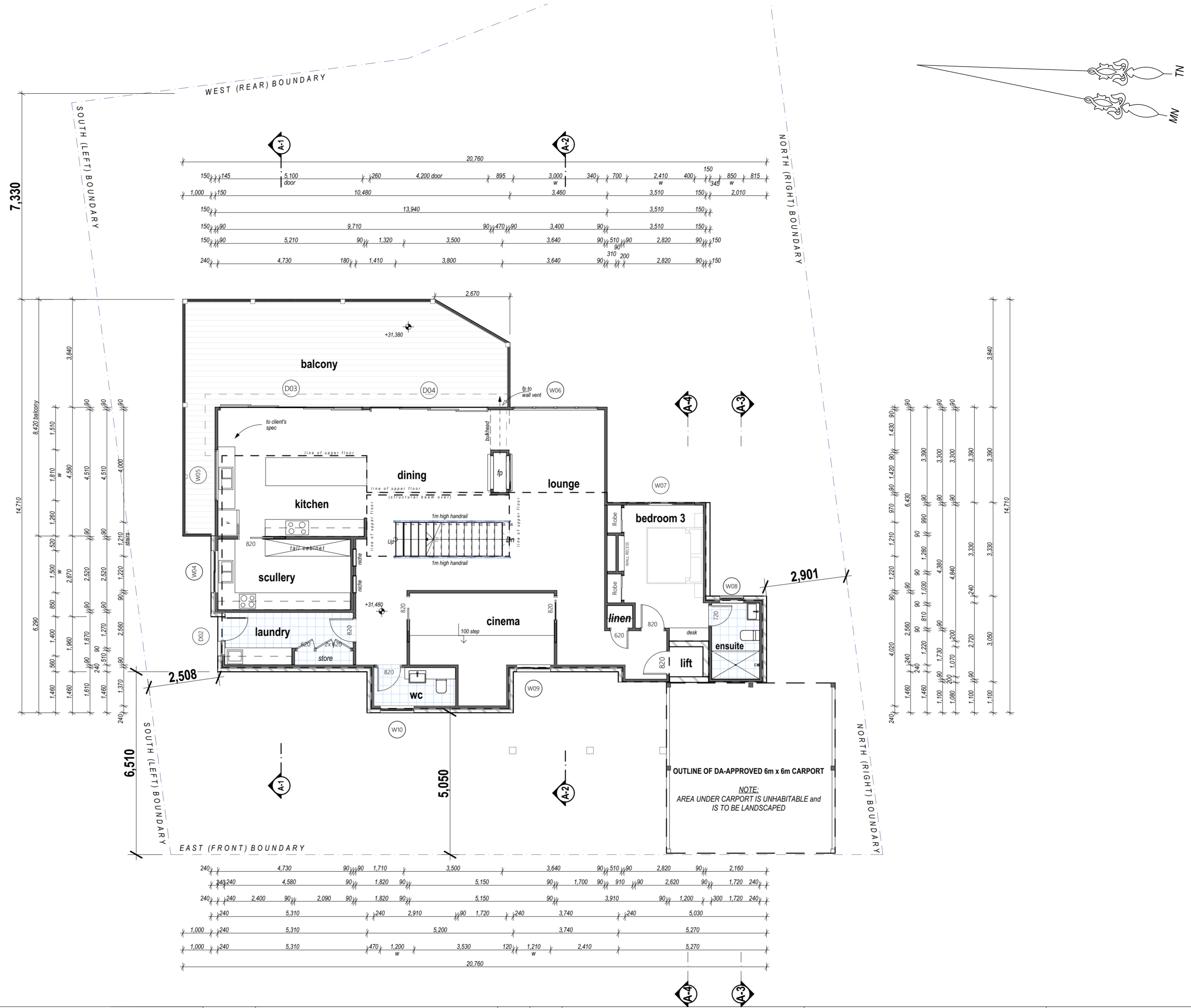
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07/06/2021	6.5m front setback compliance redesign	8	PC	
02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE	DRAWING STATUS
LOWER GROUND FLOOR PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:100 @ A2
	DWG NO
	DA06
	JOB NUMBER
	20127
	ISSUE
	09

NOTE:  
 FRAMING TO AS 1685 - 2010  
 CONCRETE FOOTING TO AS 2870 - 2011  
 PLUMBING TO AS 3500 - 2003  
 MASONRY TO AS 4773 & 3700  
 TERMITE CONTROL TO AS2049  
 DOORS AND WINDOWS TO AS 2047



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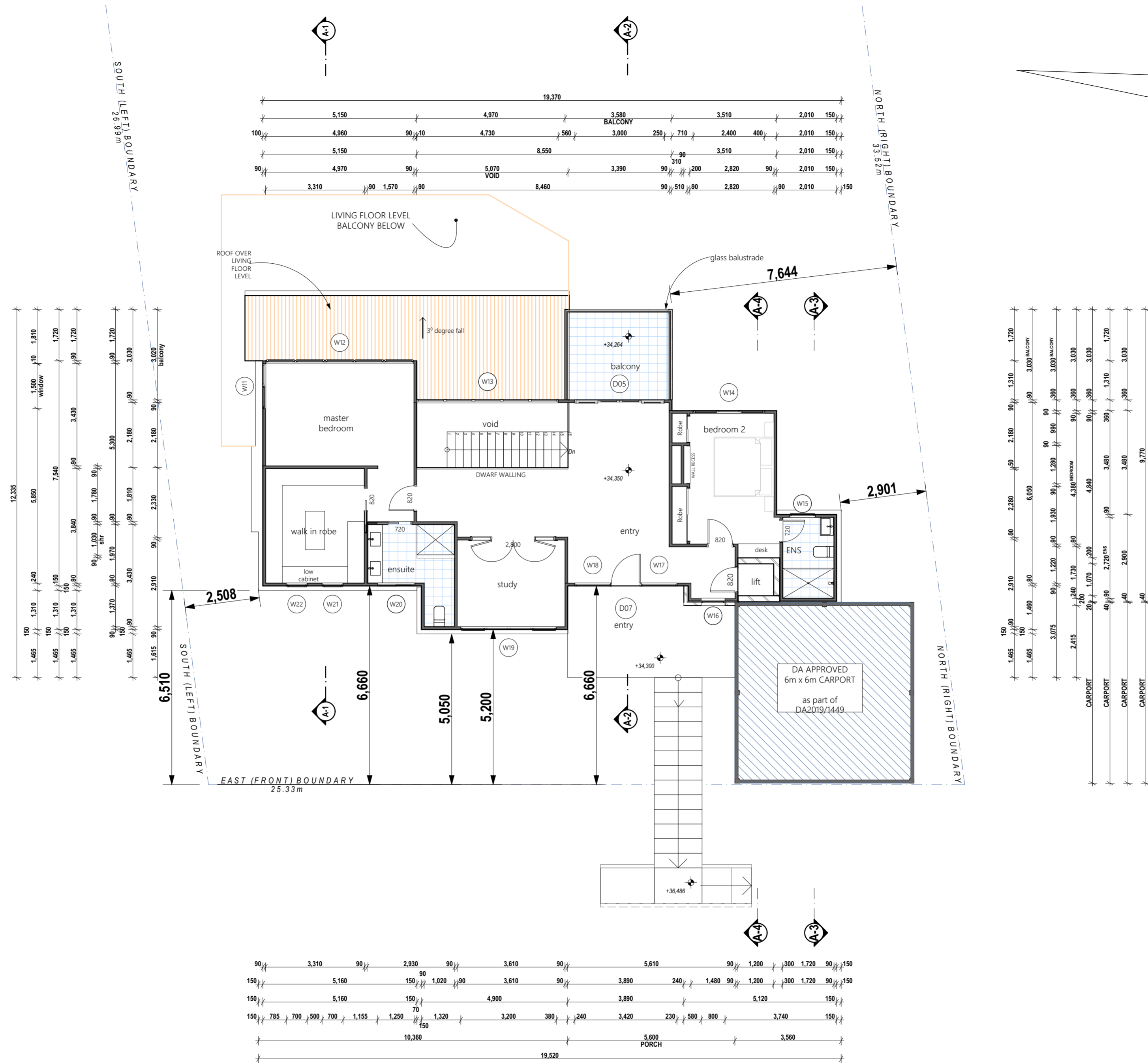
**bda** Full Member  
 No. 1672 - 14

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02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE	LIVING LEVEL FLOOR PLAN	
PROJECT	PROPOSED NEW DWELLING	

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA07	20127	09

NOTE:  
 FRAMING TO AS 1685 - 2010  
 CONCRETE FOOTING TO AS 2870 - 2011  
 PLUMBING TO AS 3500 - 2003  
 MASONRY TO AS 4773 & 3700  
 TERMITE CONTROL TO AS2049  
 DOORS AND WINDOWS TO AS 2047



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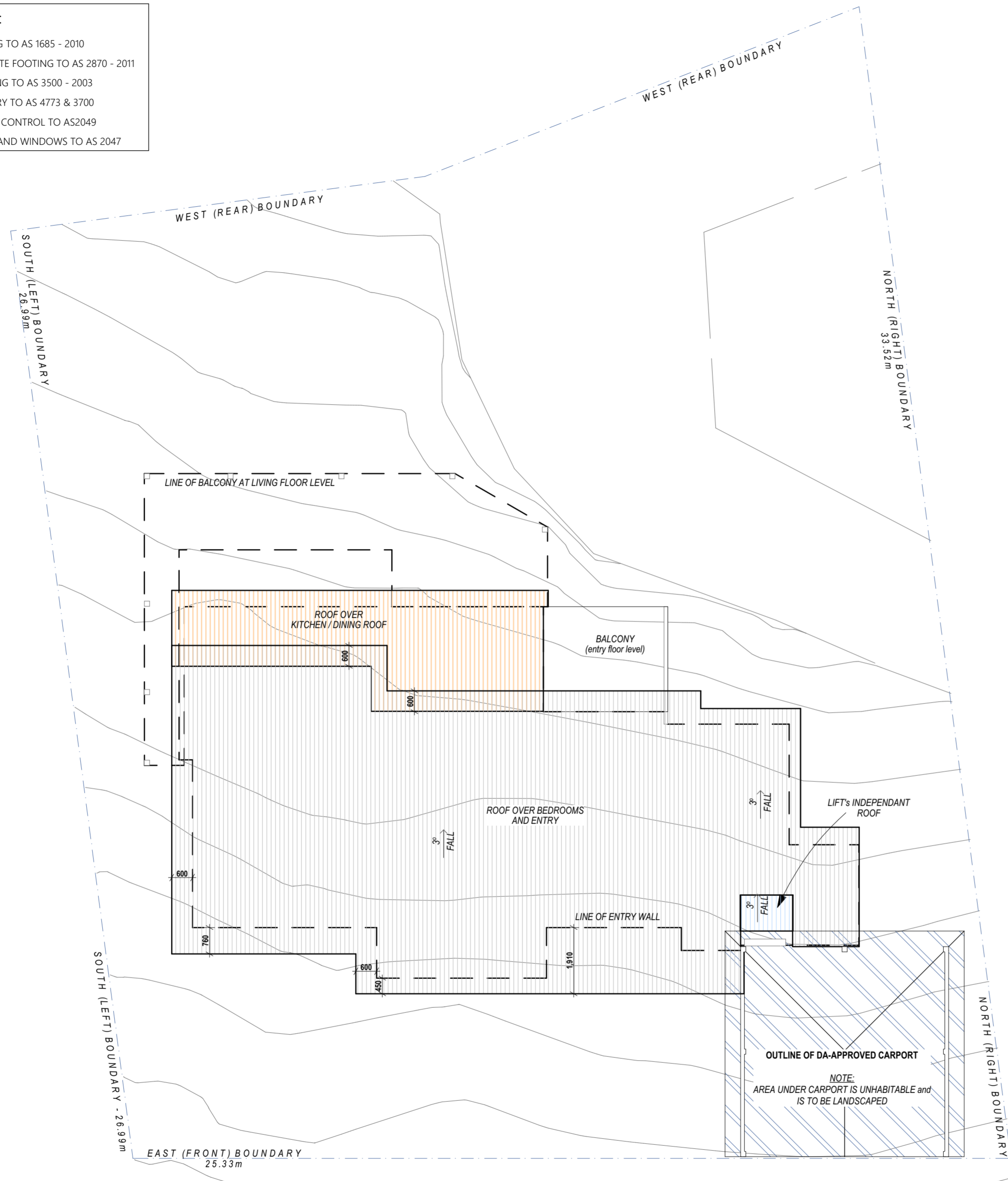
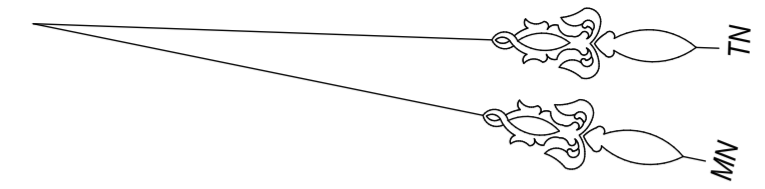
bda Full Member  
 No. 1672 - 14

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DRAWING TITLE	DRAWING STATUS
ENTRY LEVEL FLOOR PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:100 @A2
	DWG NO
	DA08
	JOB NUMBER
	20127
	ISSUE
	09



**NOTE:**  
 FRAMING TO AS 1685 - 2010  
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 MASONRY TO AS 4773 & 3700  
 TERMITE CONTROL TO AS2049  
 DOORS AND WINDOWS TO AS 2047



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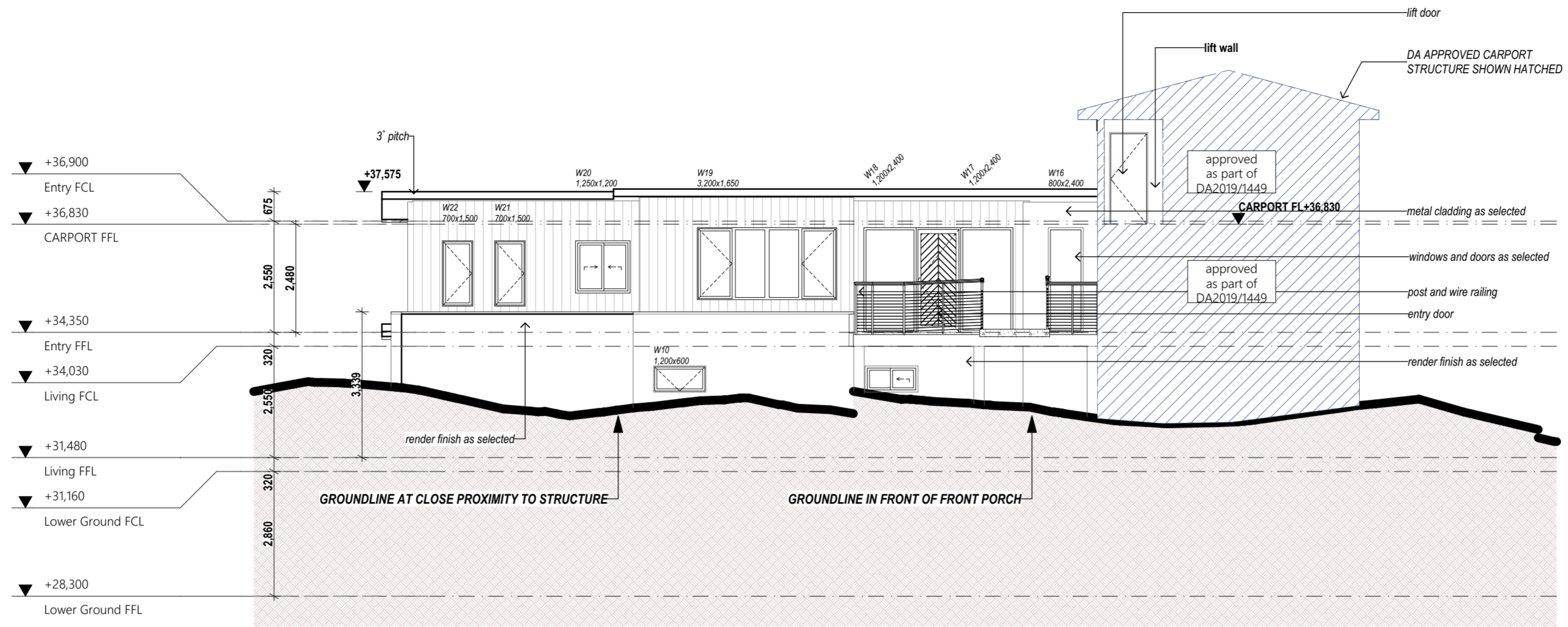
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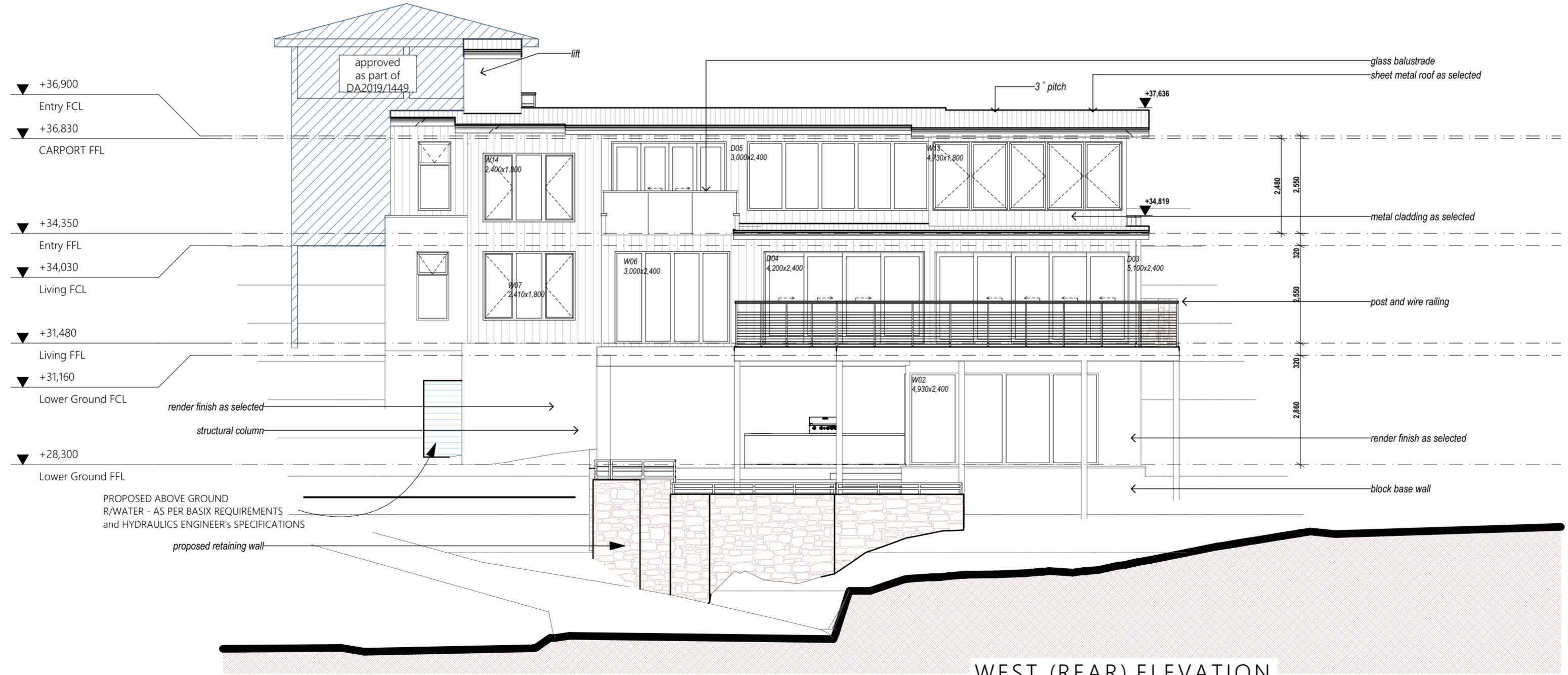
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02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE	DRAWING STATUS
ROOF PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:100 @ A2
	DWG NO
	DA09
	JOB NUMBER
	20127
	ISSUE
	09

NOTE:  
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 DOORS AND WINDOWS TO AS 2047



EAST (FRONT) ELEVATION



WEST (REAR) ELEVATION

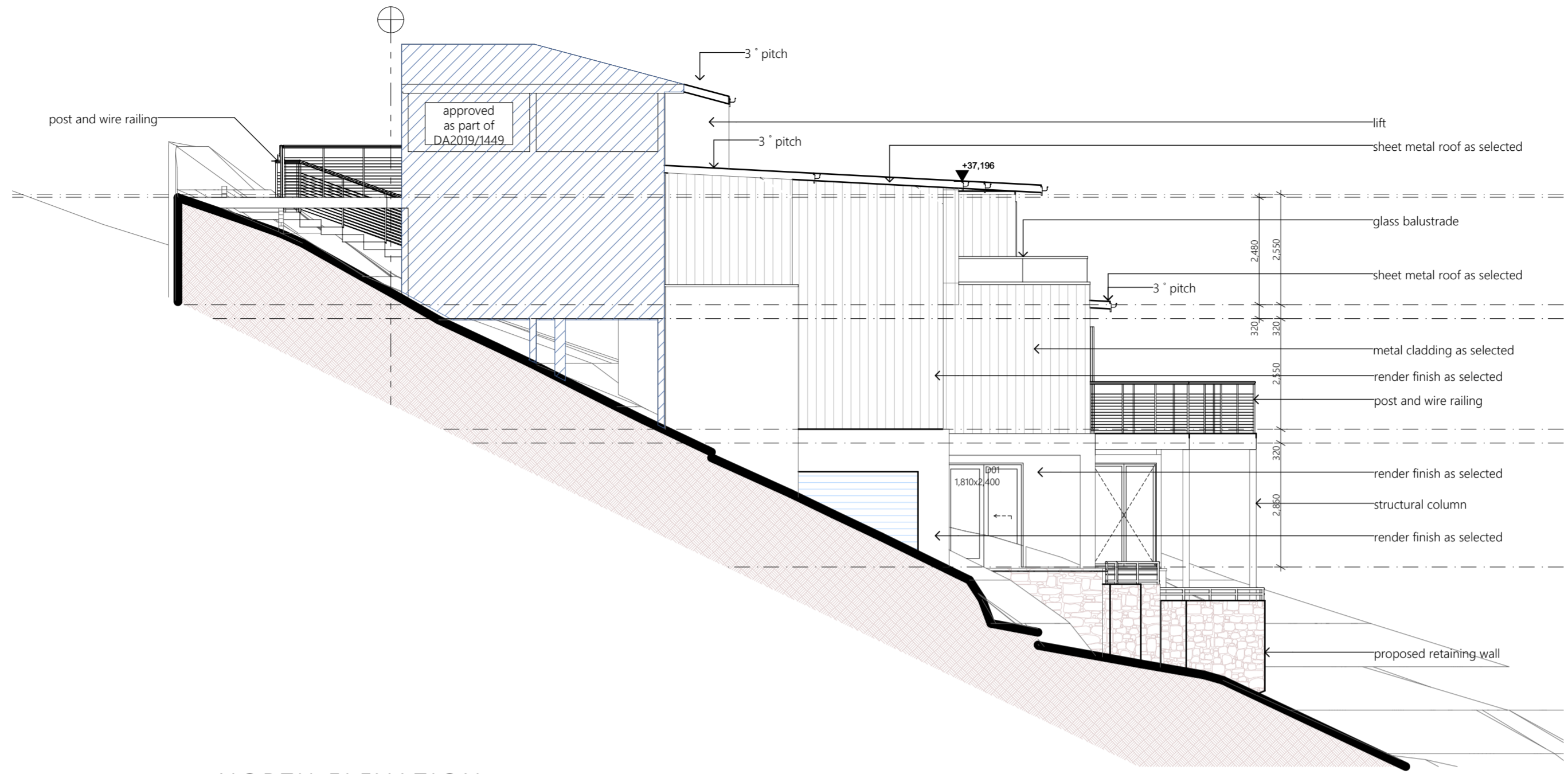
NOTE:  
 W06 and STUDY WINDOW TO BE 45% OPANABLE AS PER NatHers REQUIREMENTS

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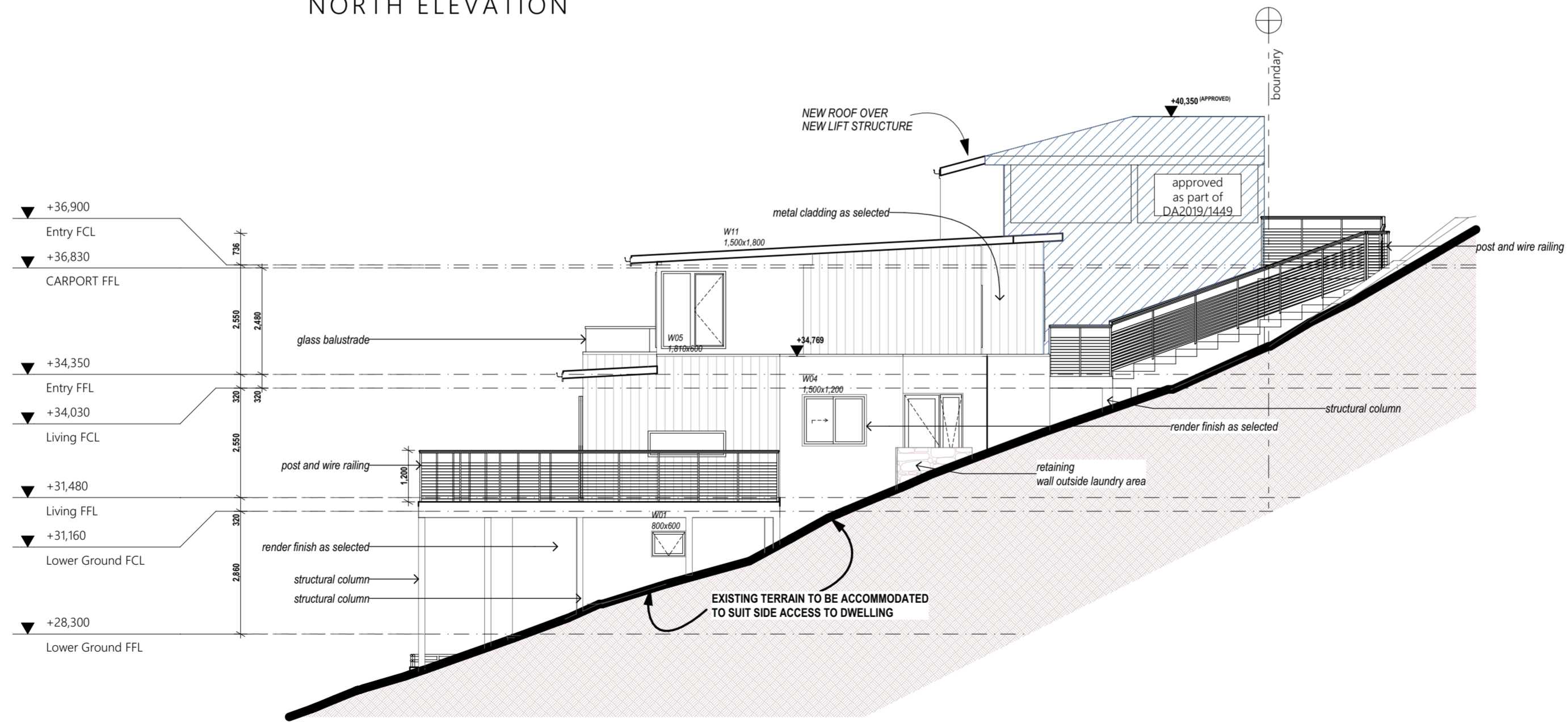
**bda** Full Member No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	EAST & WEST PLAN	DA SUBMISSION		
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NOTE:  
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 TERMITE CONTROL TO AS2049  
 DOORS AND WINDOWS TO AS 2047



NORTH ELEVATION



SOUTH ELEVATION

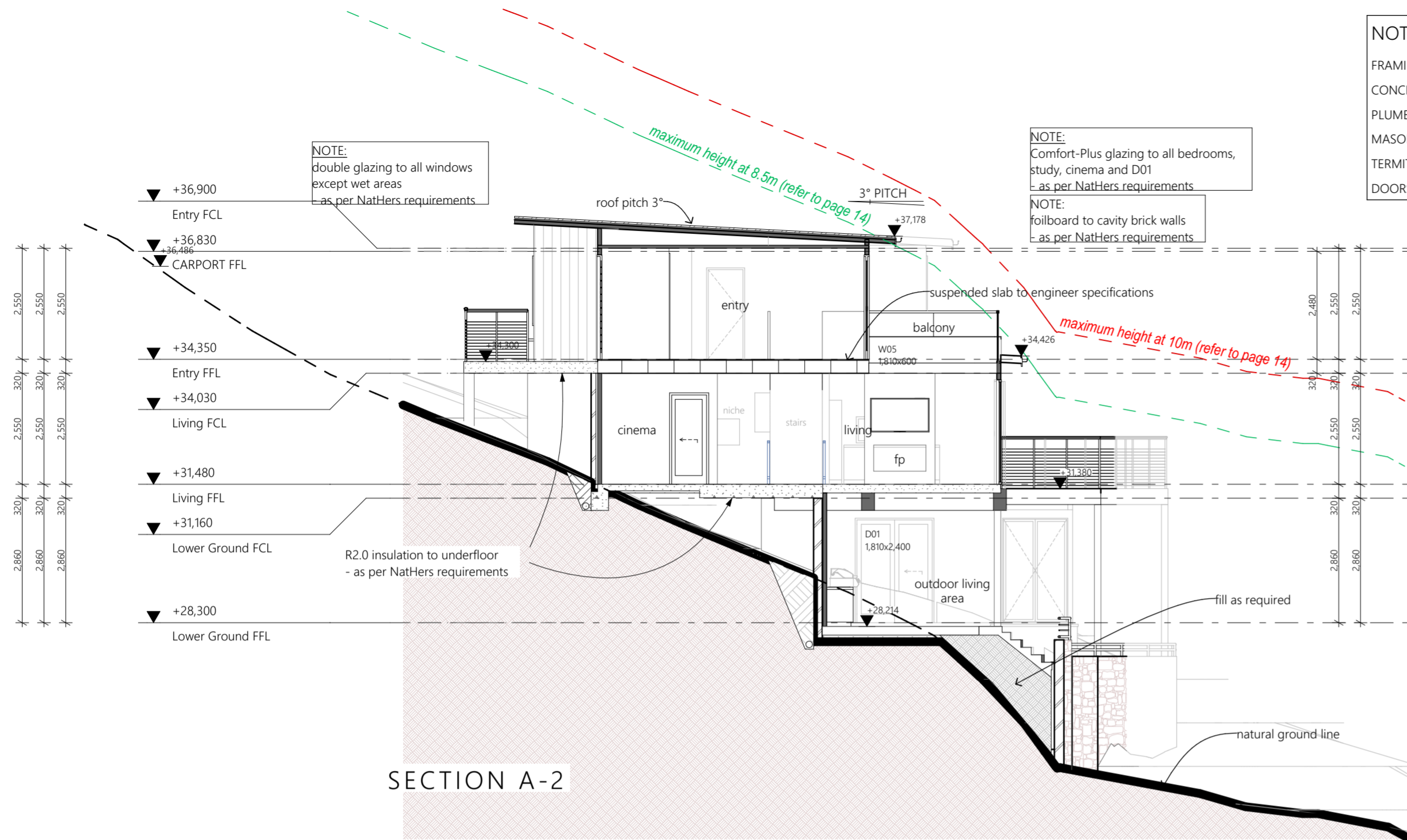
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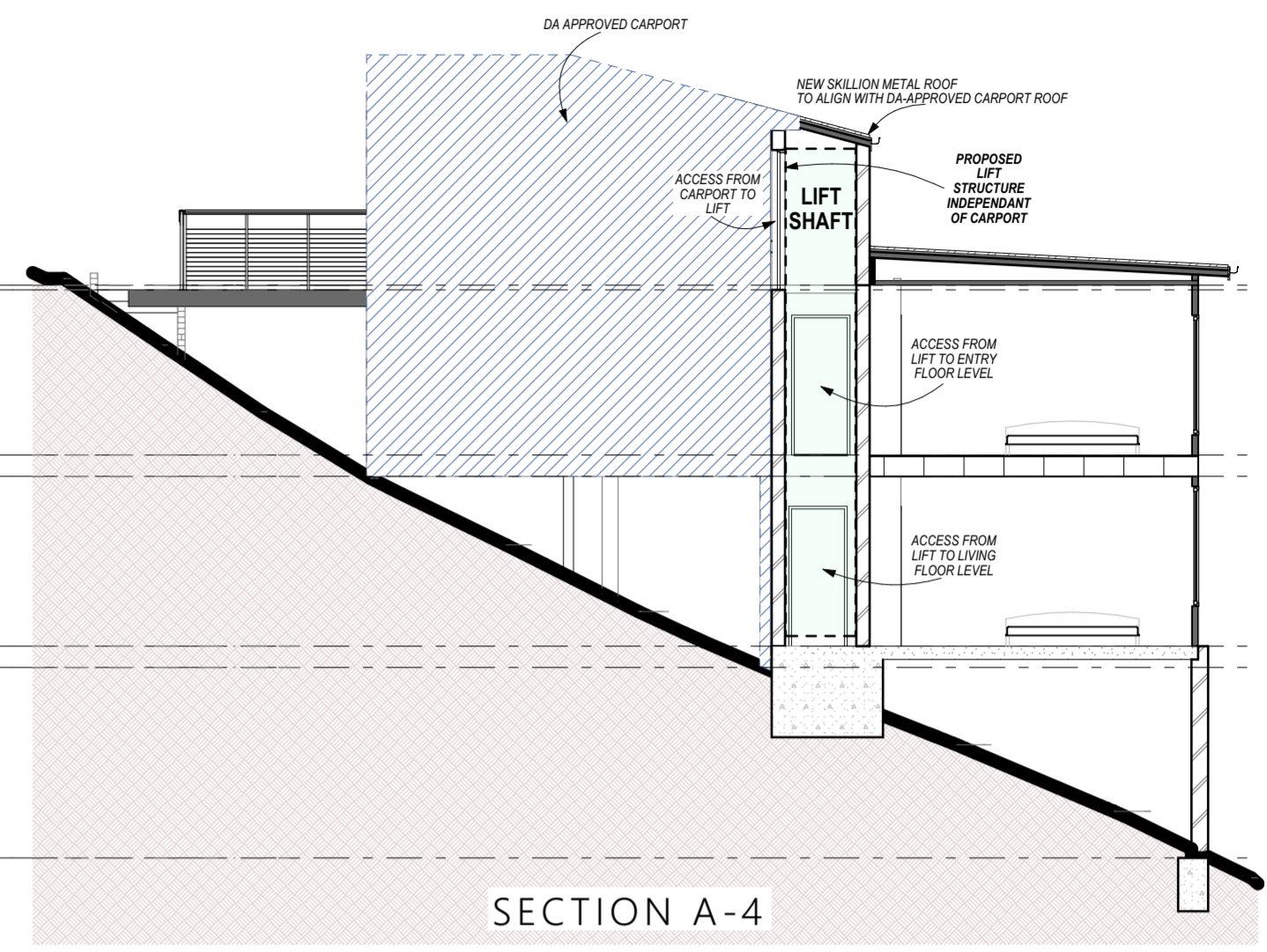
DRAWING TITLE	DRAWING STATUS
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PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
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	1:100 @ A2
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	ISSUE
	09



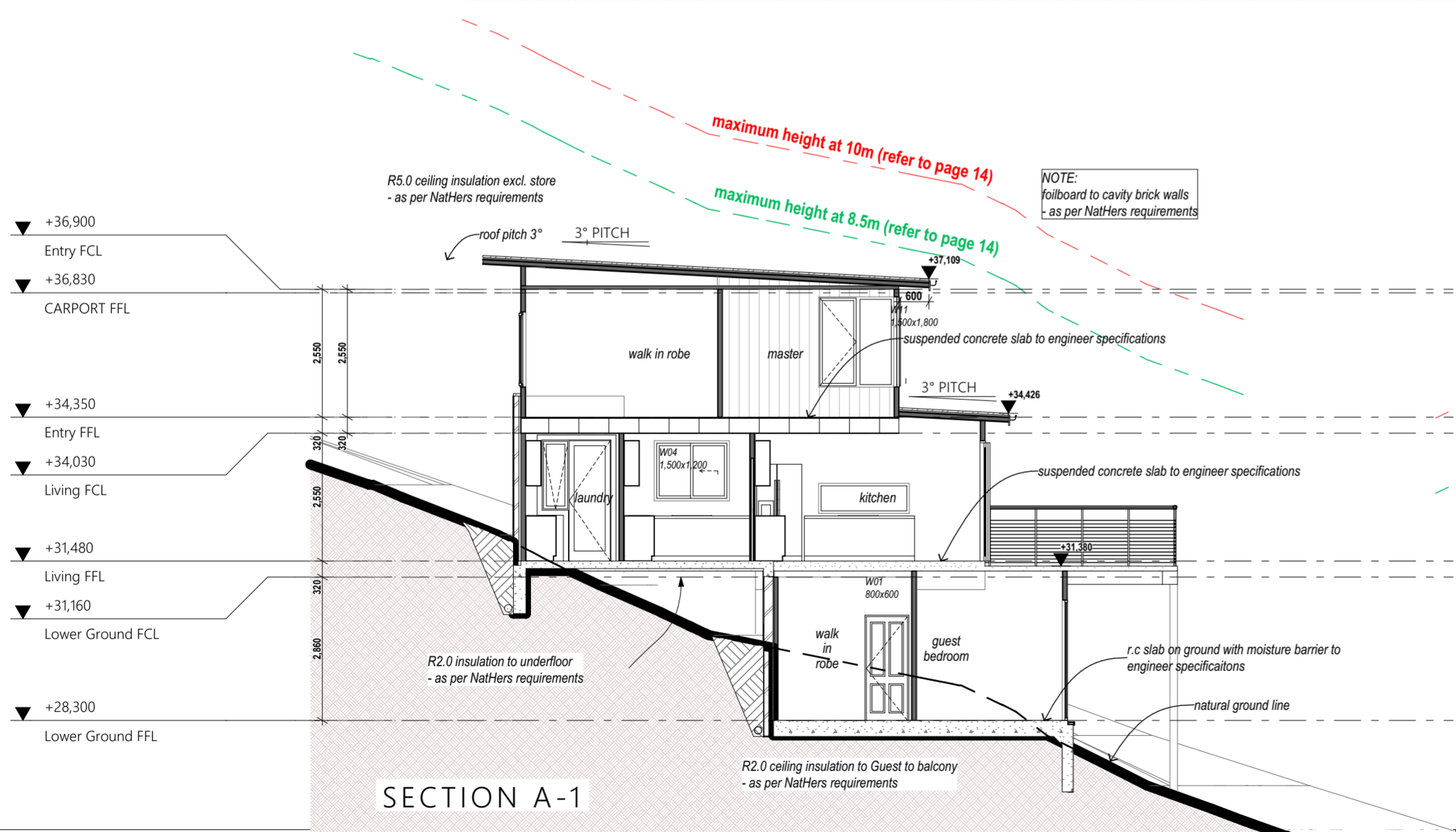
SECTION A-2

**NOTE:**  
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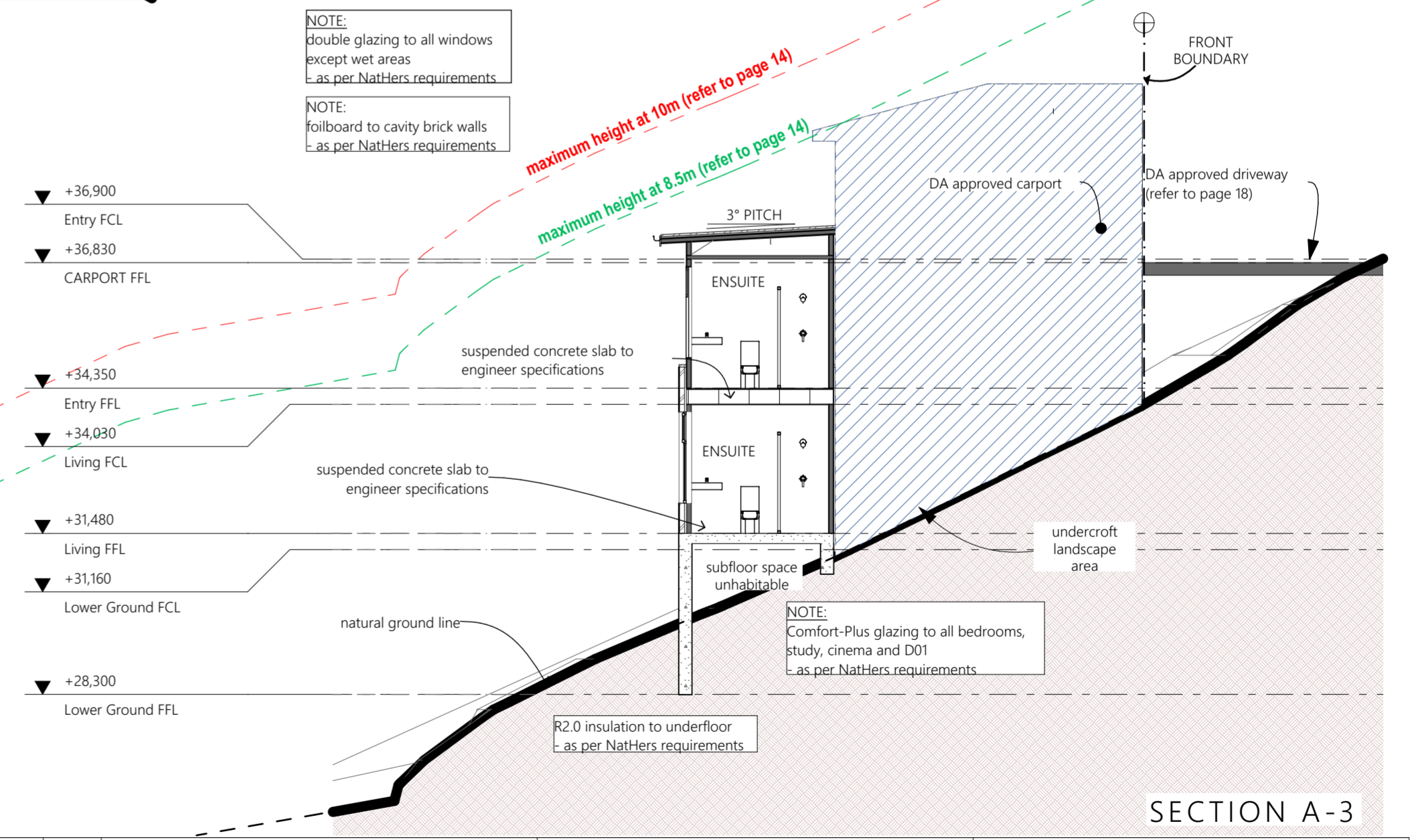
+36,900 Entry FCL  
 +36,830 CARPORT FFL  
 +34,350 Entry FFL  
 +34,030 Living FCL  
 +31,480 Living FFL  
 +31,160 Lower Ground FCL  
 +28,300 Lower Ground FFL



SECTION A-4



SECTION A-1



SECTION A-3

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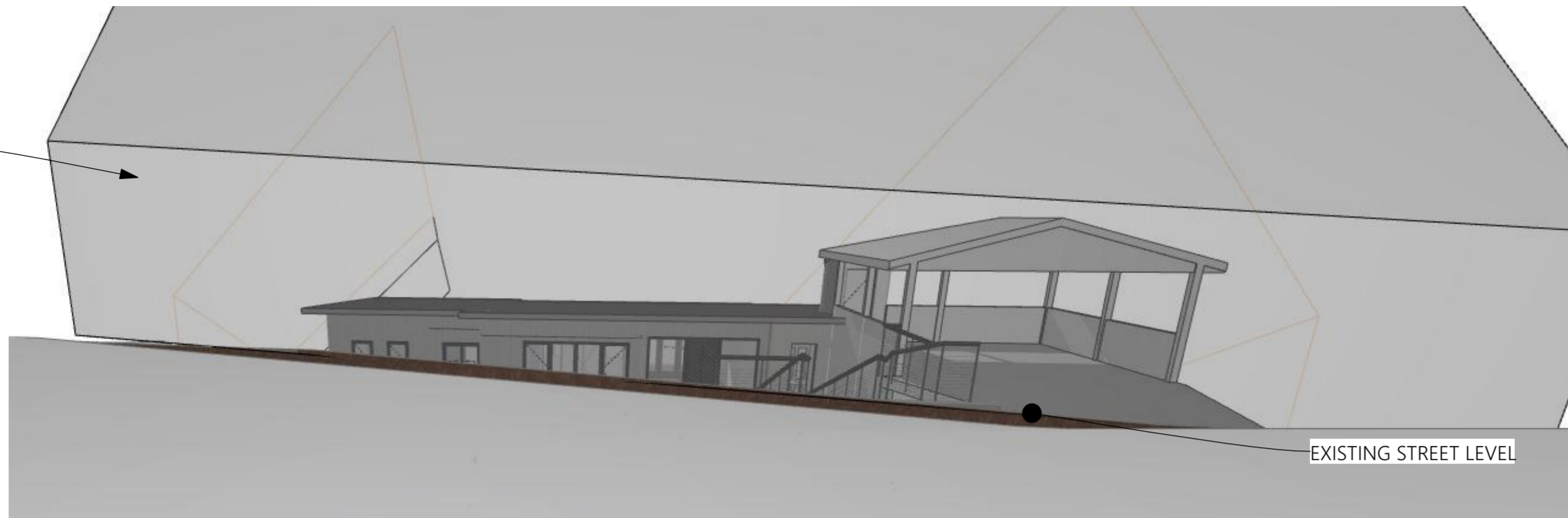
CLIENT  
 Uday and Kavita Bonu

DRAWING TITLE  
 A SECTION PLAN

PROJECT  
 PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:100 @A2
DWG NO	JOB NUMBER	ISSUE
DA12	20127	09

east front street boundary envelope 3.5m 45° pitch



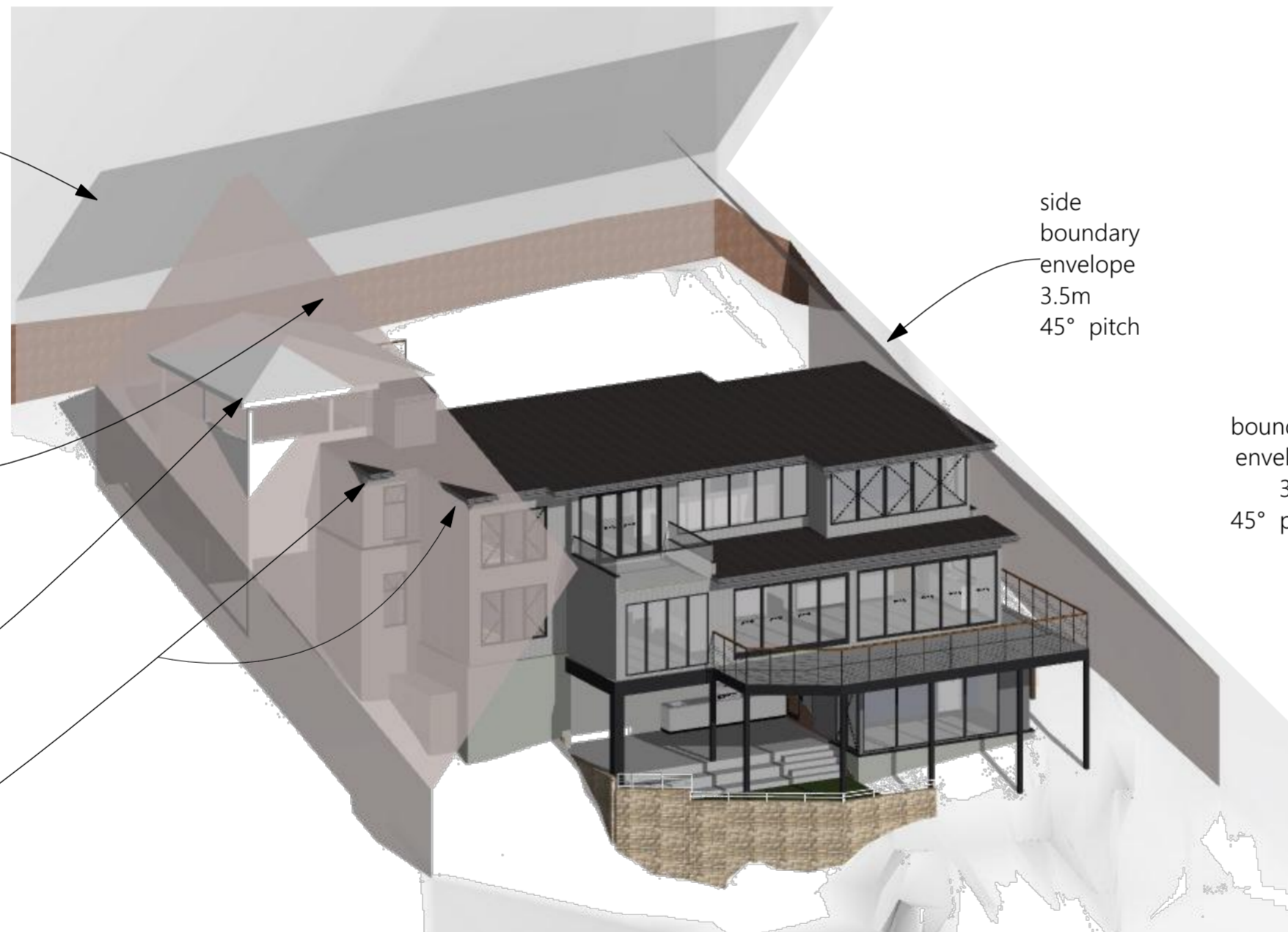
**BUILDING HEIGHT ENVELOPE -RIVERVIEW STREET PERSPECTIVE**

east front street boundary envelope 3.5m 45° pitch

side boundary envelope 3.5m 45° pitch

DA approved carport

EAVES CORNER

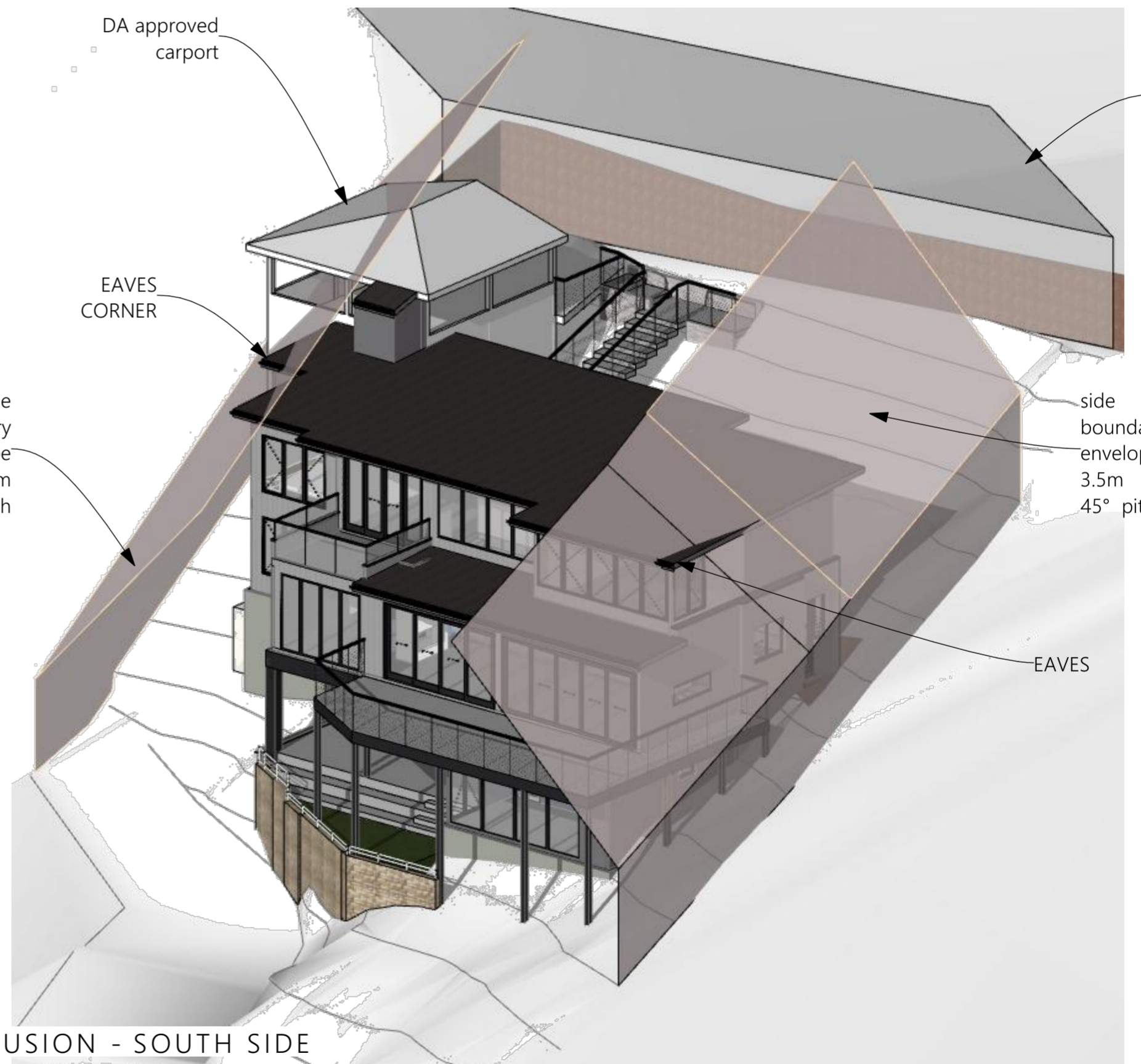


**3D ENVELOP PROTRUSION - NORTH SIDE**

DA approved carport

EAVES CORNER

side boundary envelope 3.5m 45° pitch



**3D ENVELOP PROTRUSION - SOUTH SIDE**

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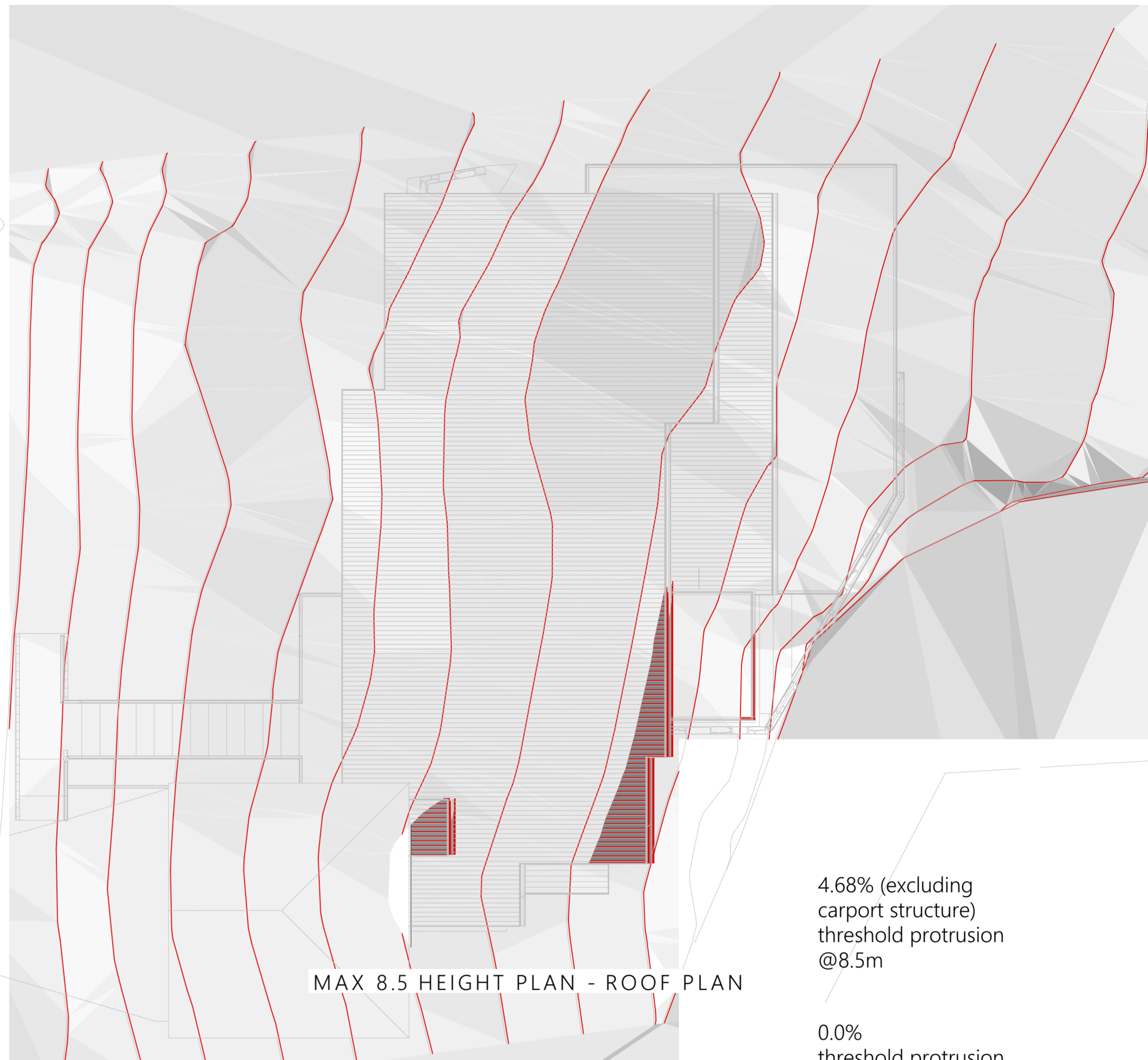
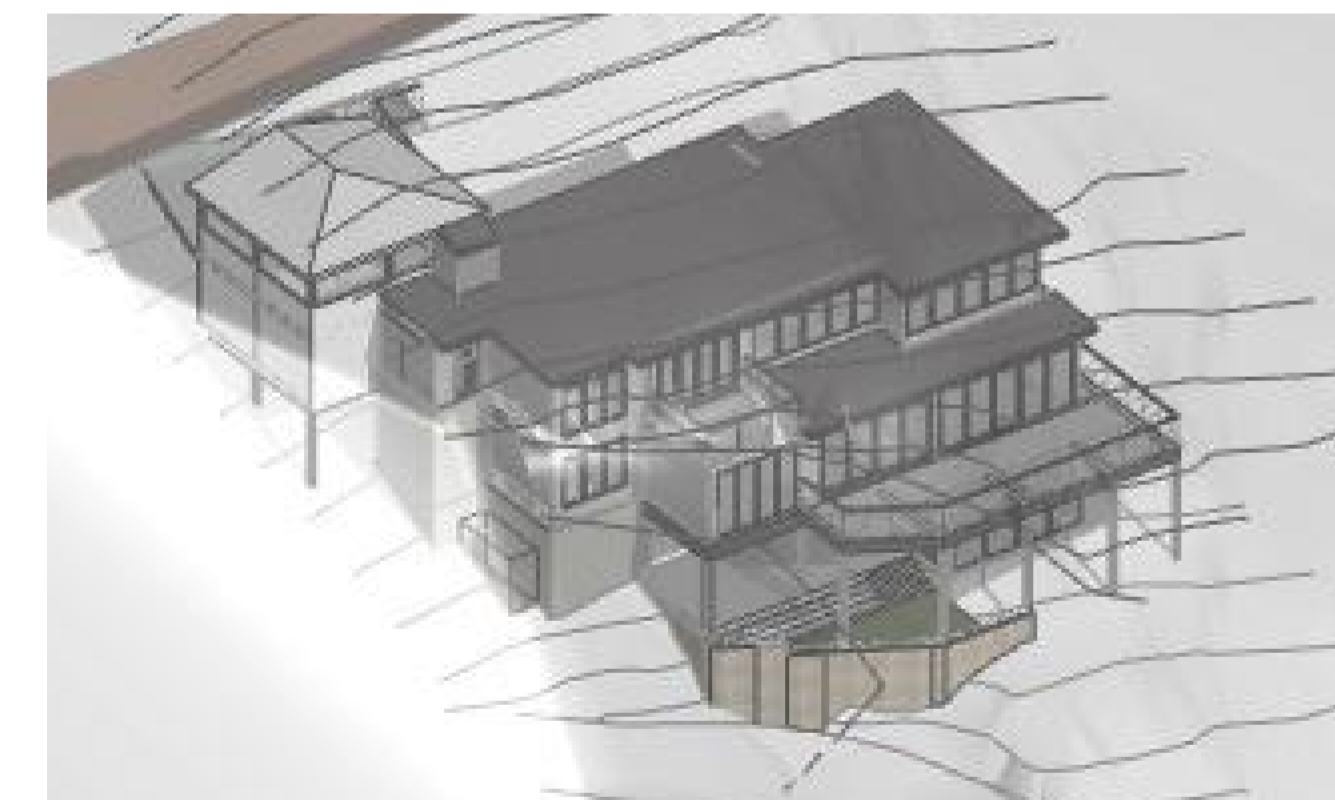
DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu
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21/05/2021	additional shadows & landscape calcs added	7	PC	PROJECT PROPOSED NEW DWELLING
07/06/2021	6.5m front setback compliance redesign	8	PC	
02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE  
**MAX BUILDING ENVELOP DIAGRAM**

PROJECT  
**PROPOSED NEW DWELLING**

DRAWING STATUS  
**DA SUBMISSION**

DRAWN BY	DATE	SCALE
AW	09/07/21	@ A2
DWG NO	JOB NUMBER	ISSUE
DA13	20127	09



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DRAWING TITLE	DRAWING STATUS
MAX HEIGHT THRESHOLD DIAGRAM	DA SUBMISSION
PROJECT PROPOSED NEW DWELLING	DRAWN BY AW
	DATE 09/07/21
PROJECT PROPOSED NEW DWELLING	DWG NO DA14
	JOB NUMBER 20127
PROJECT PROPOSED NEW DWELLING	SCALE 1:100 @ A2
	ISSUE 09

# Disclaimer

The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.

RIVERVIEW ROAD



SHADOW DIAGRAM  
9AM 21ST JUNE

**FYFFE DESIGN**

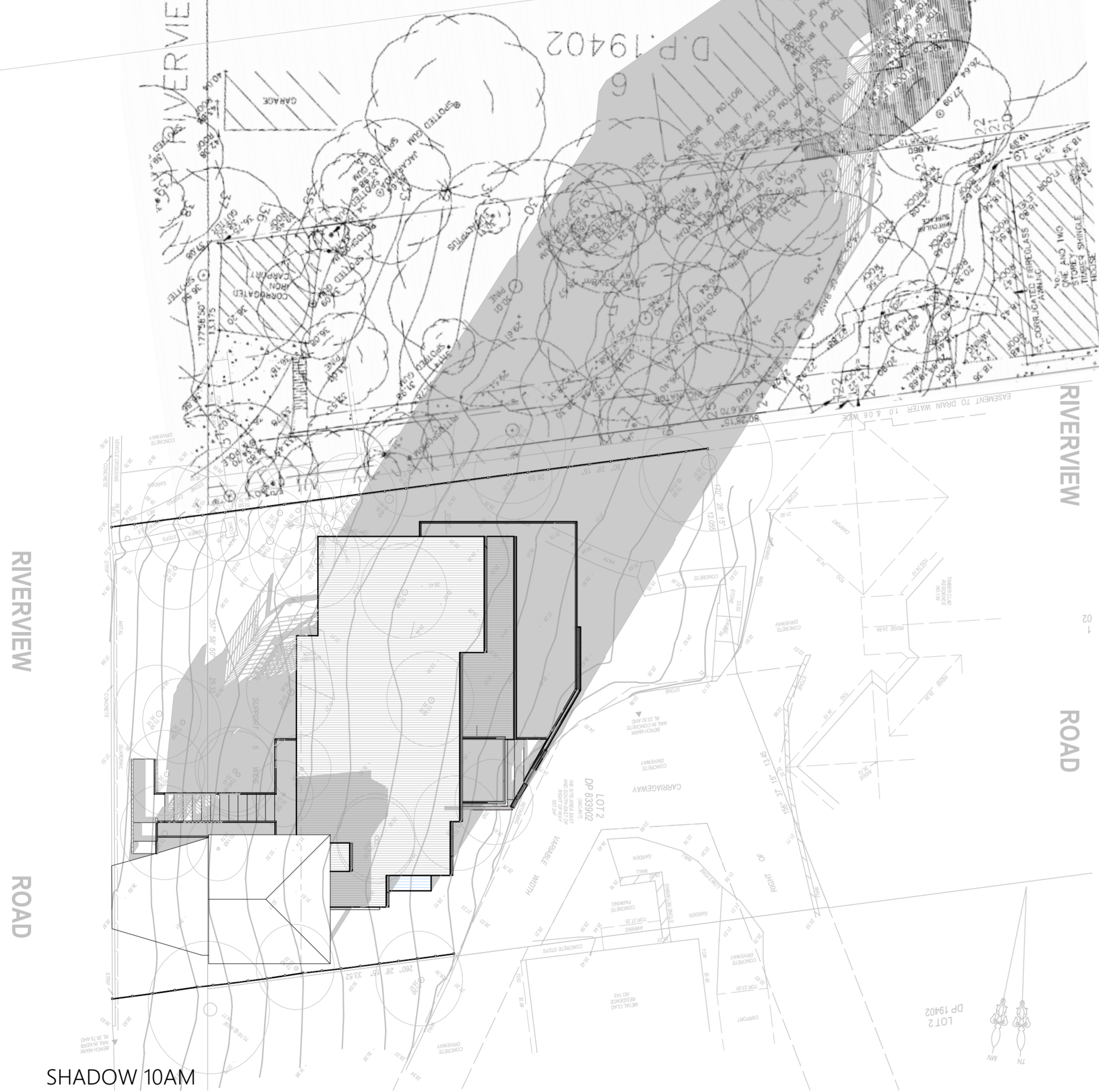
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DRAWING TITLE	DRAWING STATUS
SHADOW DIAGRAM 9AM	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:200 @ A2
	DWG NO
	DA15
	JOB NUMBER
	20127
	ISSUE
	09

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DRAWING TITLE	DRAWING STATUS
SHADOW DIAGRAM 10AM AND 11AM	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:200 @A2
	DWG NO
	DA16
	JOB NUMBER
	20127
	ISSUE
	09



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RIVERVIEW ROAD

RIVERVIEW ROAD

RIVERVIEW ROAD

RIVERVIEW ROAD

SHADOW DIAGRAM  
12PM 21ST JUNE

SHADOW DIAGRAM  
3PM 21ST JUNE

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DRAWING TITLE	DRAWING STATUS
SHADOW DIAGRAM 12PM & 3PM	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:200 @A2
	DWG NO
	DA17
	JOB NUMBER
	20127
	ISSUE
	09

WINDOW LIST							
ID	D01	D02	D03	D04	D05	W01	W02
W x H	1,810x2,400	820x2,400	5,100x2,400	4,200x2,400	3,000x2,400	800x600	4,930x2,400
NOTES							
Elevation							

WINDOW LIST							
ID	W03	W04	W05	W06	W07	W08	W09
W x H	1,500x2,400	1,500x1,200	1,810x600	3,000x2,400	2,410x1,800	850x1,800	1,210x600
NOTES							
Elevation							

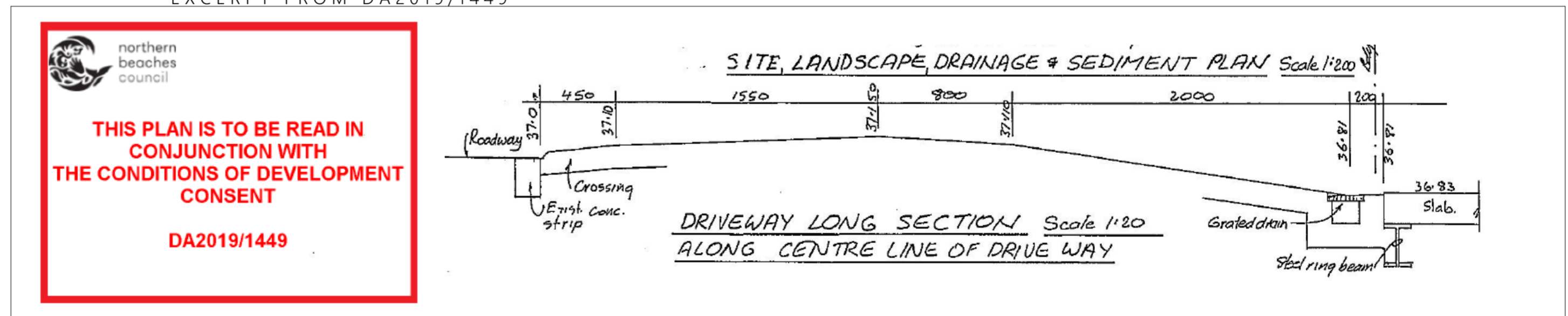
WINDOW LIST							
ID	W10	W11	W12	W13	W14	W15	W16
W x H	1,200x600	1,500x1,800	4,950x1,800	4,730x1,800	2,400x1,800	850x1,800	800x2,400
NOTES							
Elevation							

WINDOW LIST							
ID	W17	W18	W19	W20	W21	W22	
W x H	1,200x2,400	1,200x2,400	3,200x1,650	1,250x1,200	700x1,500	700x1,500	
NOTES							
Elevation							

EXTERIOR WINDOW AND DOOR SCHEDULE

DOOR LIST	
ID	D07
W x H	1,020x2,400
NOTES	
Elevation	

EXCERPT FROM DA2019/1449



DRIVEWAY LONG SECTION



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DRAWING TITLE	DRAWING STATUS
DRIVEWAY SECTION AND WINDOW/DOOR SCHEDULE	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	@ A2
	DWG NO
	DA18
	JOB NUMBER
	20127
	ISSUE
	09

NORTHERN BEACHES COUNCIL (AVALON BEACH LOCALITY)

**Controls**

External colours and materials shall be dark and earthy tones as shown below:



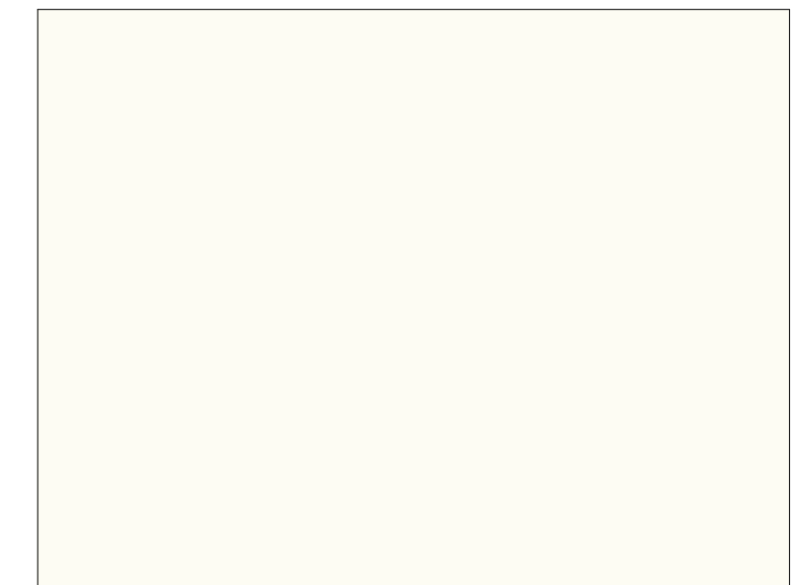
White, light coloured, red or orange roofs and walls are not permitted:



external walls  
selected brick walls  
dulux basalt or similar  
(Dark Grey)



external selected surfaces  
rendered brick/selected  
surfaces  
dulux monument or similar  
(Black)



internal alfresco walls  
rendered blockwork  
dulux whitehaven  
or similar



light weight walls  
'Mid Grey' vertical  
aluminium cladding



roof gutter  
rendered blockwork  
astro metal sheet  
(Dark Grey)



all balustrades  
rendered blockwork  
steel wire balustrade



decking  
timber deck  
or similar  
(Brown)

**FYFFE DESIGN**

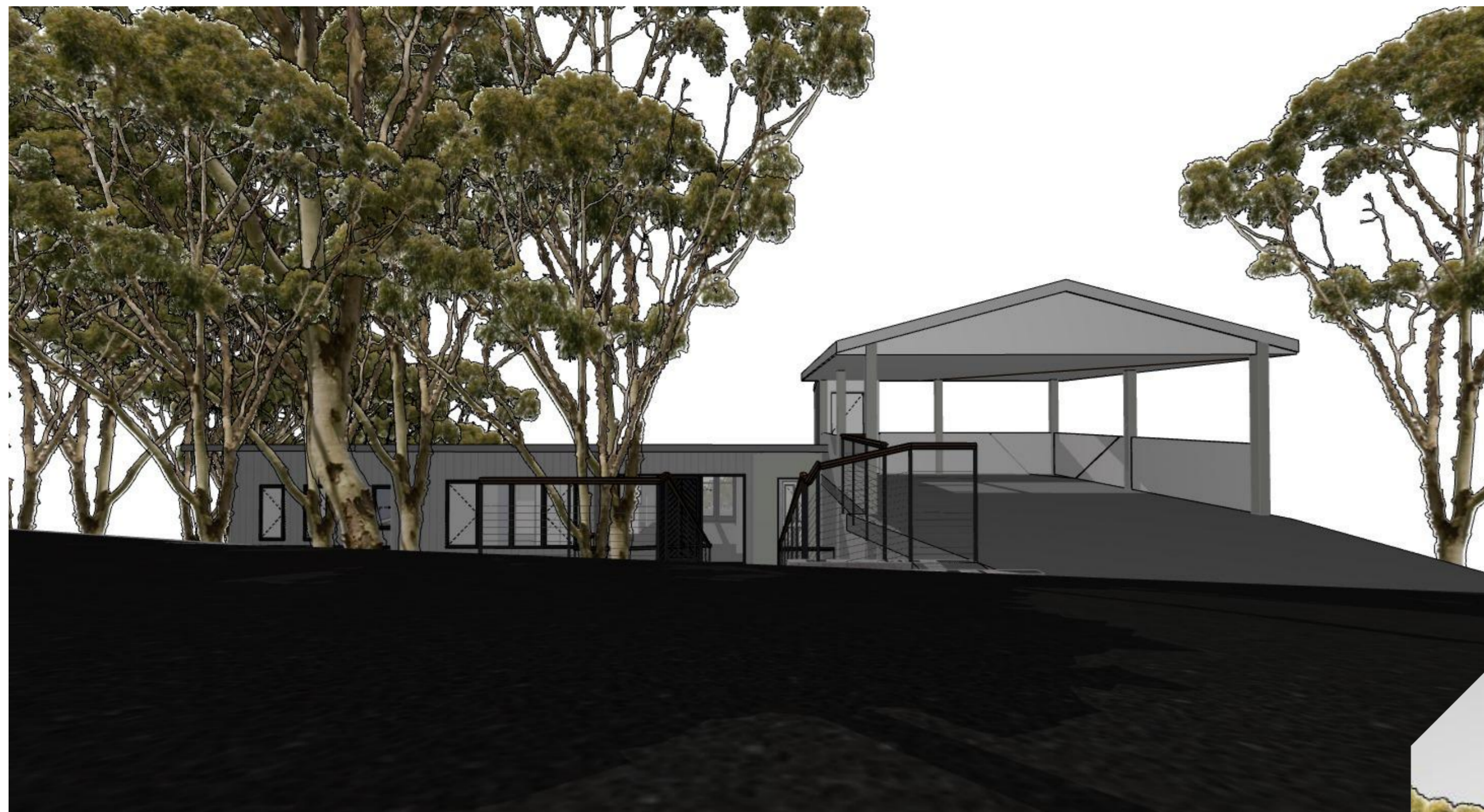
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DRAWING TITLE
INDICATIVE MATERIALS SCHEDULE
PROJECT PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY AW	DATE 09/07/21	SCALE @ A2
DWG NO DA19	JOB NUMBER 20127	ISSUE 09



**Streetscape - Perspective**



**Distant - Rear Perspective**

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DRAWING TITLE	DRAWING STATUS
PERSPECTIVES	DA SUBMISSION
PROJECT PROPOSED NEW DWELLING	DRAWN BY AW
	DATE 09/07/21
DWG NO DA20	SCALE @ A2
JOB NUMBER 20127	ISSUE 09