

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

**Alterations & Additions To Existing Residence**  
**For Chris & Natasha Wood**  
**8 Michele Road Cromer**

**Lot 19 D.P.30093**

**Project Number: RP0924W00**

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 13-2-2025
DA1001	A4 NOTIFICATION PLAN	-	- 13-2-2025
DA1002	SITE SURVEY	-	- 13-2-2025
DA1003	SITE PLAN	-	- 13-2-2025
DA1004	Existing Ground Floor Plan	-	- 13-2-2025
DA1005	Existing Roof Plan	-	- 13-2-2025
DA1006	Demolition Ground Floor Plan	-	- 13-2-2025
DA1007	Demolition Roof Plan	-	- 13-2-2025
DA1008	Excavation & Fill Plan	-	- 13-2-2025
DA1009	Landscape Open Space Plan Existing	-	- 13-2-2025
DA1010	Landscape Open Space Plan Proposed	-	- 13-2-2025
DA1011	Landscape Plan	-	- 13-2-2025
DA1012	Sediment & Erosion Plan	-	- 13-2-2025
DA1013	Waste Management Plan	-	- 13-2-2025
DA1014	Stormwater Plan	-	- 13-2-2025
DA2001	GARAGE & DRIVE	-	- 13-2-2025
DA2002	GROUND FLOOR	-	- 13-2-2025
DA2003	ROOF	-	- 13-2-2025
DA3000	SECTION 1	-	- 13-2-2025
DA3001	SECTION 2	-	- 13-2-2025
DA3002	SECTION SWIM SPA	-	- 13-2-2025
DA4000	ELEVATIONS 1	-	- 13-2-2025
DA4001	ELEVATIONS 2	-	- 13-2-2025
DA4002	ELEVATION FRONT FENCE	-	- 13-2-2025
DA5000	PERSPECTIVE	-	- 13-2-2025
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 13-2-2025
DA5002	SHADOW PLAN 21st June 9am	-	- 13-2-2025
DA5003	SHADOW PLAN 21st June 12pm	-	- 13-2-2025
DA5004	SHADOW PLAN 21st June 3pm	-	- 13-2-2025
DA5005	WALL ELEVATION SHADOWS	-	- 13-2-2025



**BASIX<sup>®</sup> Certificate**  
Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

**Alterations and Additions**

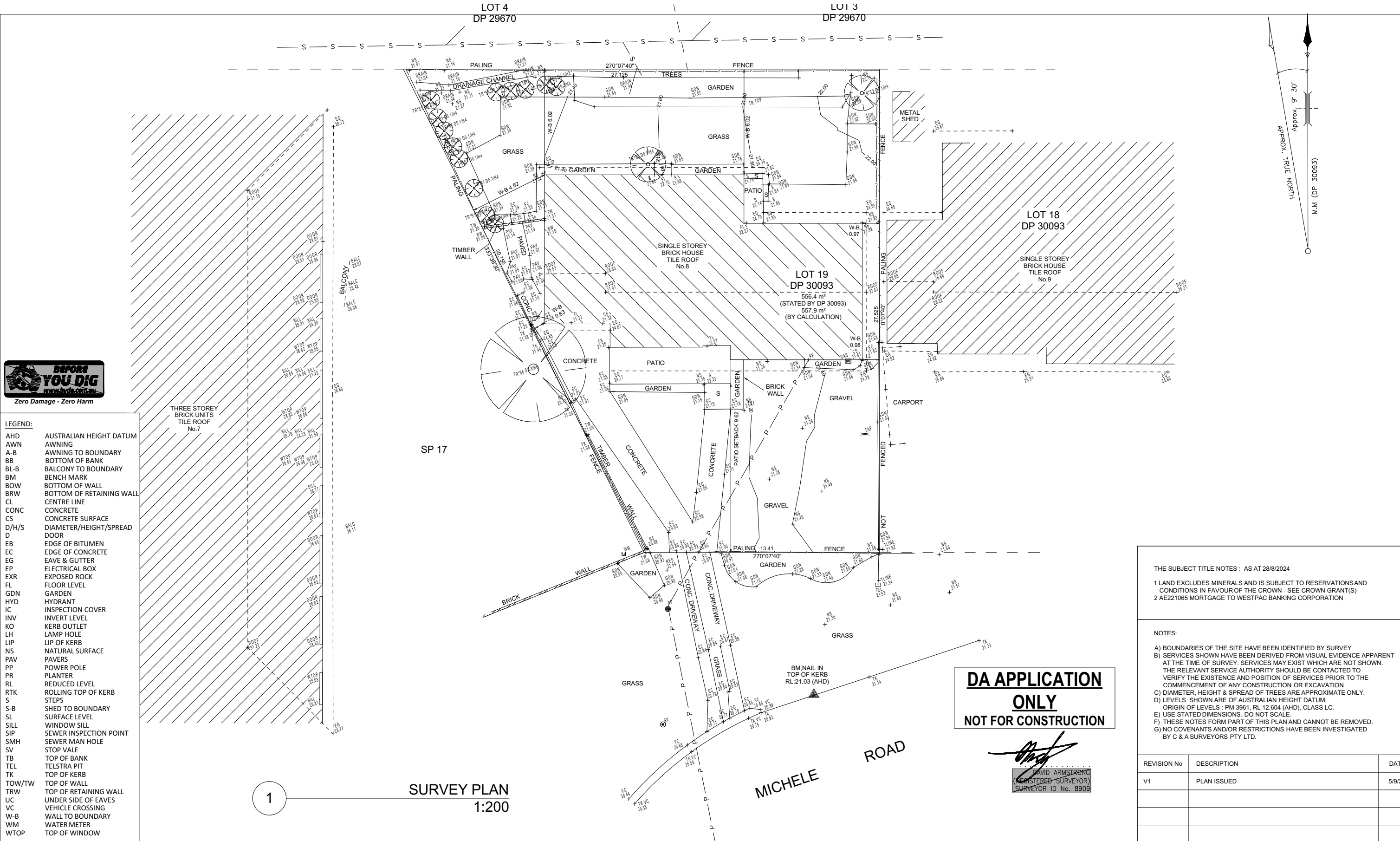
Certificate number: A1783392

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 13 February 2025  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Wood Chris
Street address	8 MICHELE Road CROMER 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP30093
Lot number	19
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: RAPID PLANS PTY LTD	
ABN (if applicable): 43150064592	



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**C&A SURVEYORS**  
30 Grose Street, Parramatta, NSW 2150  
Ph: 96309299 email: Operations@candasurveyors.com.au  
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION  
SURVEY OF  
LOT 19 IN DP 30093, LOCATED AT  
NO.8, MICHELE ROAD, CROMER.

— S — S — APPROXIMATE LOCATION OF BURIED SEWER MAIN  
— W — W — APPROXIMATE LOCATION OF BURIED WATER MAIN  
— E — E — ELECTRIC LINE

TELSTRA PIT STOP VALVE POWER POLE

WATER METER HYDRANT

TREE

DH'S DIAMETER/HEIGHT/SPREAD

INSTRUCTING PARTY: CARLY TRACEY

LGA: NORTHERN BEACHES

SURVEY DATE: 3/9/2024

DATE DRAWN: 5/9/2024

SURVEYED BY: LF

DRAWN BY: SS

CONTOUR INTERVAL: 0.2 m

DATUM: AHD

CHECKED BY: KO

REF.NO: 33176-24 DET D

REV No: V1

SHEET: 1 OF 1

DRAWING TITLE : SITE AND LOCATION SITE SURVEY

PROJECT NAME : Alterations & Additions

REVISION No.

DATE: 13-2-2025

DRAWING NO. DA1002

**Rapid Plans**  
Building Design and Architectural Drafting

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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

Project North

Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
13/02/2025  
RP0924WOO  
DA

Client  
Site:  
Chris & Natasha Wood  
8 Michele Road Cromer

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION  
SITE SURVEY

PROJECT NAME :

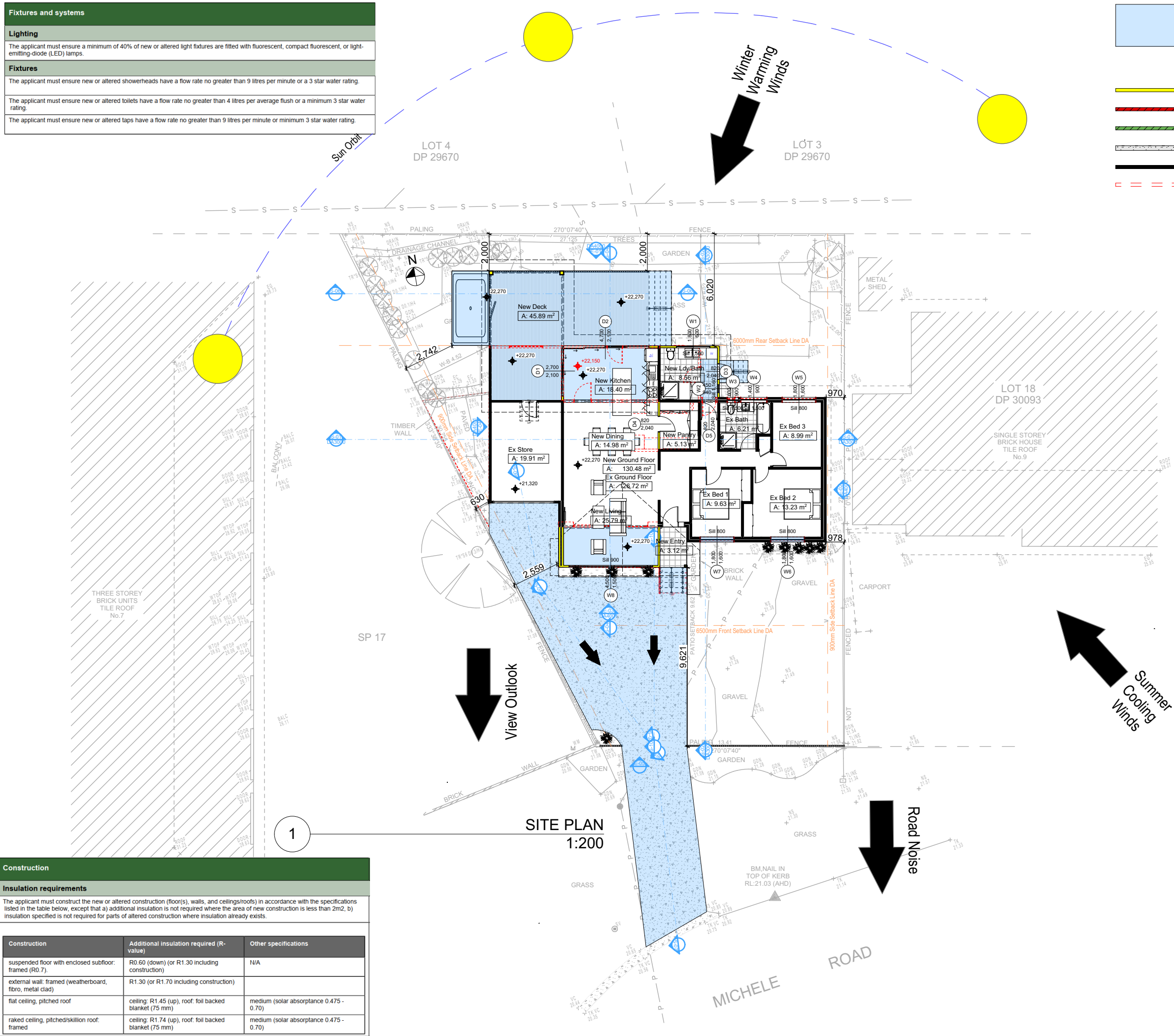
Alterations & Additions

REVISION No.

DATE:  
13-2-2025  
DRAWING NO.  
DA1002

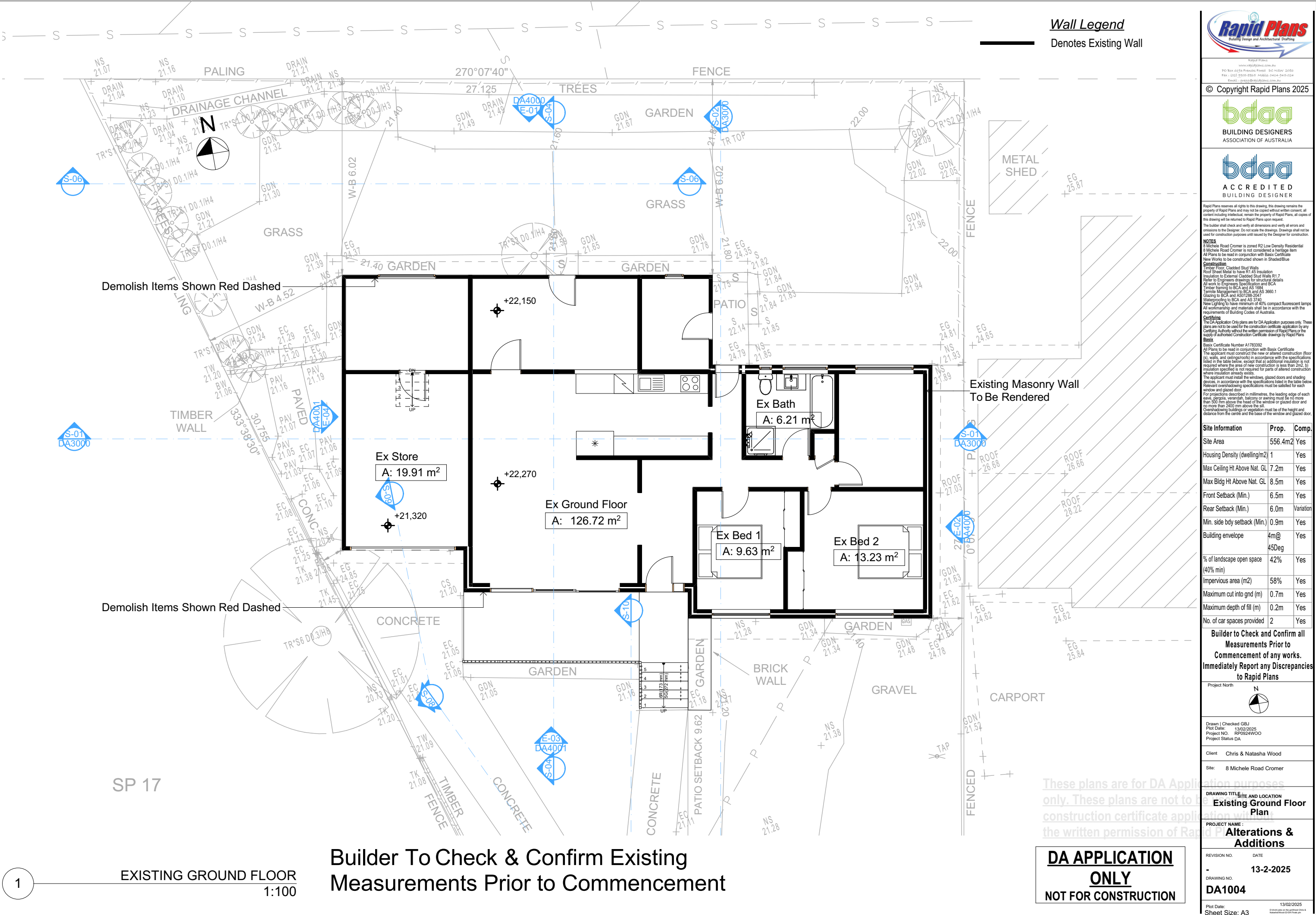


Construction		
Insulation requirements		
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.</p>		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

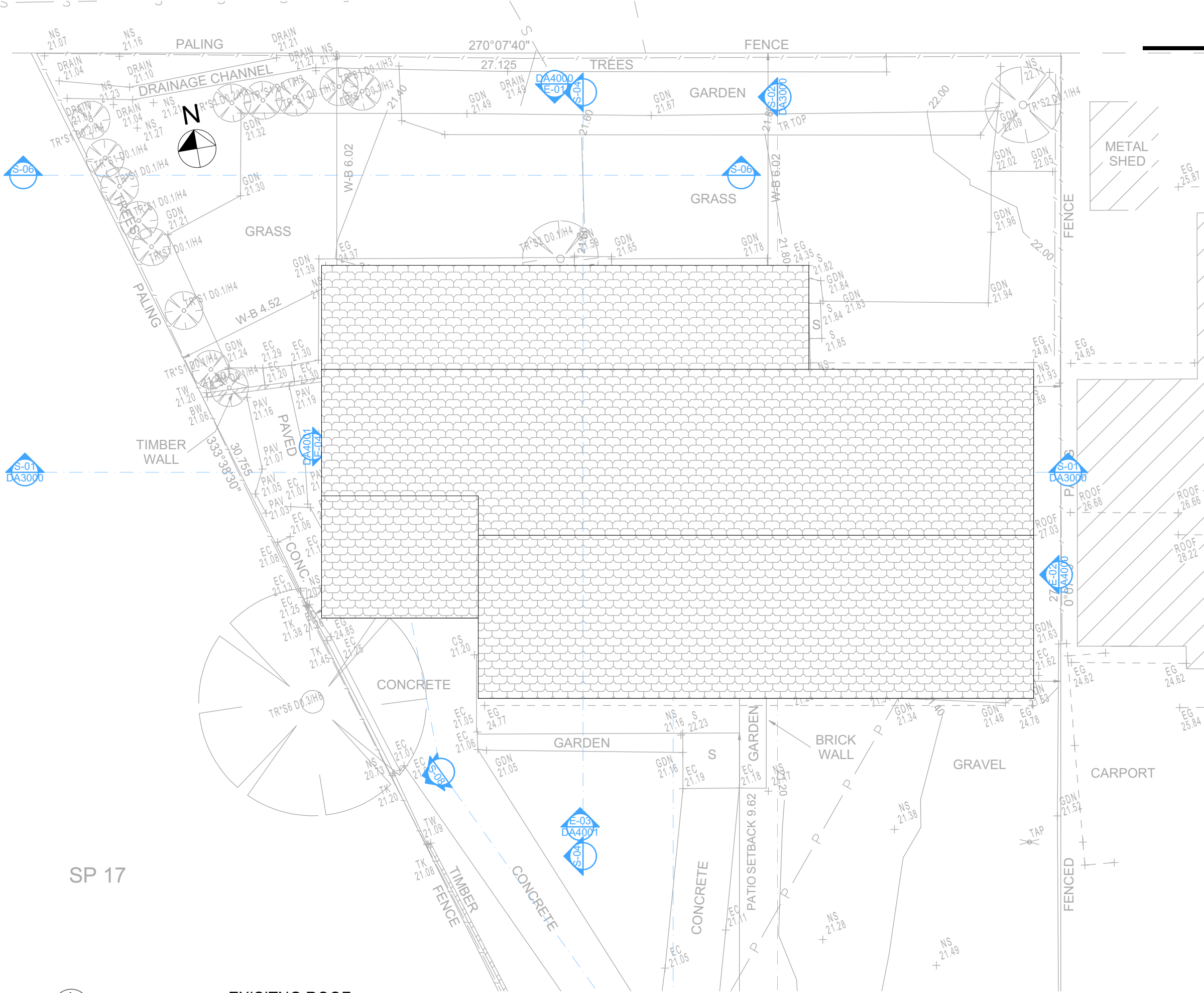


**DA APPLICATION**  
**ONLY**  
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<div><p><b>Rapid Plans</b> Building Design and Architectural Drafting</p><p>Project Plans www.rapidplans.com.au PO Box 4678 Freelandia Forest, QLD 4509 2026 Tel: (07) 5505-8586 Mobile: 0424-346-024 Email: info@rapidplans.com.au</p></div>		
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<div><p><b>BUILDING DESIGNERS</b> ASSOCIATION OF AUSTRALIA</p></div>		
<div><p><b>ACCREDITED</b> BUILDING DESIGNER</p></div>		
<p>Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content included intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.</p> <p>The builder shall check and verify all dimensions and verify all errors and amendments to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p> <p><b>NOTES</b></p> <p>8 Michele Road Corner is zoned R2 Low Density Residential 8 Michele Road Corner is not considered a heritage item All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Bold <b>Construction</b> Timber Floor, Cladded Stud Walls Roof Sheet Metal to have R1.5 insulation Insulation to External Cladded Stud Walls R1.7 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber floors to be R1.5 and AS 3660.1 Termite Management to R2 and AS 3660.1 Glazing to R2 and AS 1288-2017 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.</p> <p><b>Certifying</b> This Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans Basic Certificate Number A1783392</p> <p>The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications and standards set out in the application. If additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, the insulation specified is not required for parts of altered construction where insulation already exists.</p> <p>For all new windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhauling specifications must be satisfied for each window and glazed door.</p> <p>For projections described in millimetres, the leading edge of each window, balcony, balcony or awning must be no more than 500 mm above the highest of the window or glazed door and no more than 2400 mm above the window or glazed door.</p> <p>Overhauling buildings or vegetation must be of the height and distance from the cornice and the base of the window and glazed door.</p>		
<b>Site Information</b>	<b>Prop.</b>	<b>Comp.</b>
Site Area	556.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. Gl.	7.2m	Yes
Max Bldg Ht Above Nat. Gl.	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side by setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes
<b>Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans</b>		
<div><p>Project North</p></div>		
<div><p>Drawn / [checked GBJ] Plot Date: 13/01/2025 Project NO.: 105624W00 Project Status DA</p></div>		
Client	Chris & Natasha Wood	
Site:	8 Michele Road Corner	
<div><p><b>DRAWING TITLE: SITE AND LOCATION SITE PLAN</b></p></div>		
<b>PROJECT NAME: Alterations &amp; Additions</b>		
REVISION NO.	DATE	
-	13-2-2025	
DRAWING NO. <b>DA1003</b>		
Plot Date:		13/02/2025







Wall Legend  
Denotes Existing Wall

Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.65 insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A1783392  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

DRAWING TITLE:  
SITE AND LOCATION  
**Existing Roof Plan**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	13-2-2025

DRAWING NO.  
**DA1005**

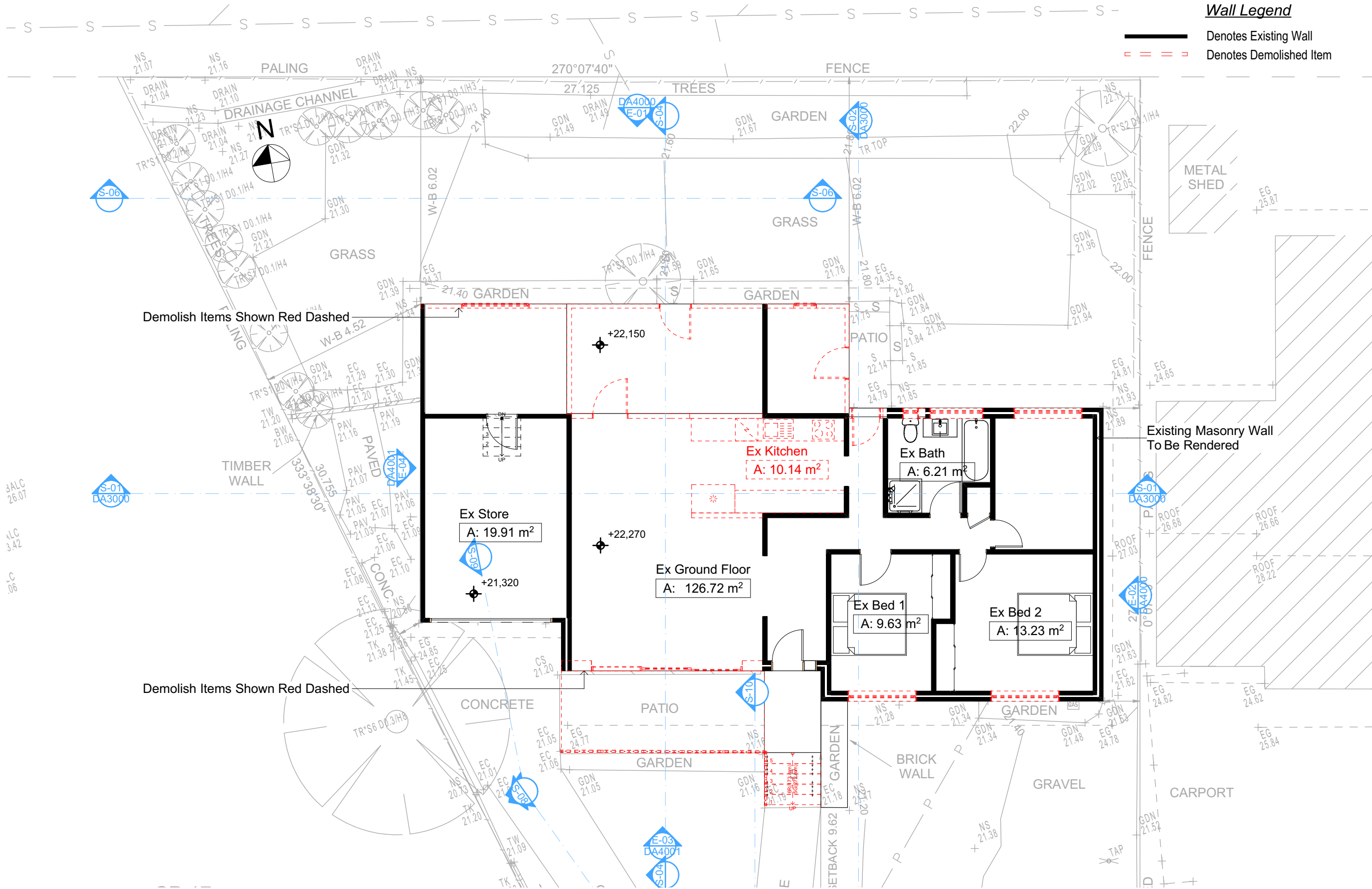
Plot Date: 13/02/2025  
Sheet Size: A3

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Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

4.  
-  
EXISTING ROOF  
1:100



**Wall Legend**  
— Denotes Existing Wall  
- - - Denotes Demolished Item

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**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basic Certificate Number A1783392**  
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For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

**DRAWING TITLE SITE AND LOCATION**  
**Demolition Ground Floor Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.	DATE
-	13-2-2025

DRAWING NO.  
**DA1006**

Plot Date: 13/02/2025  
Sheet Size: A3

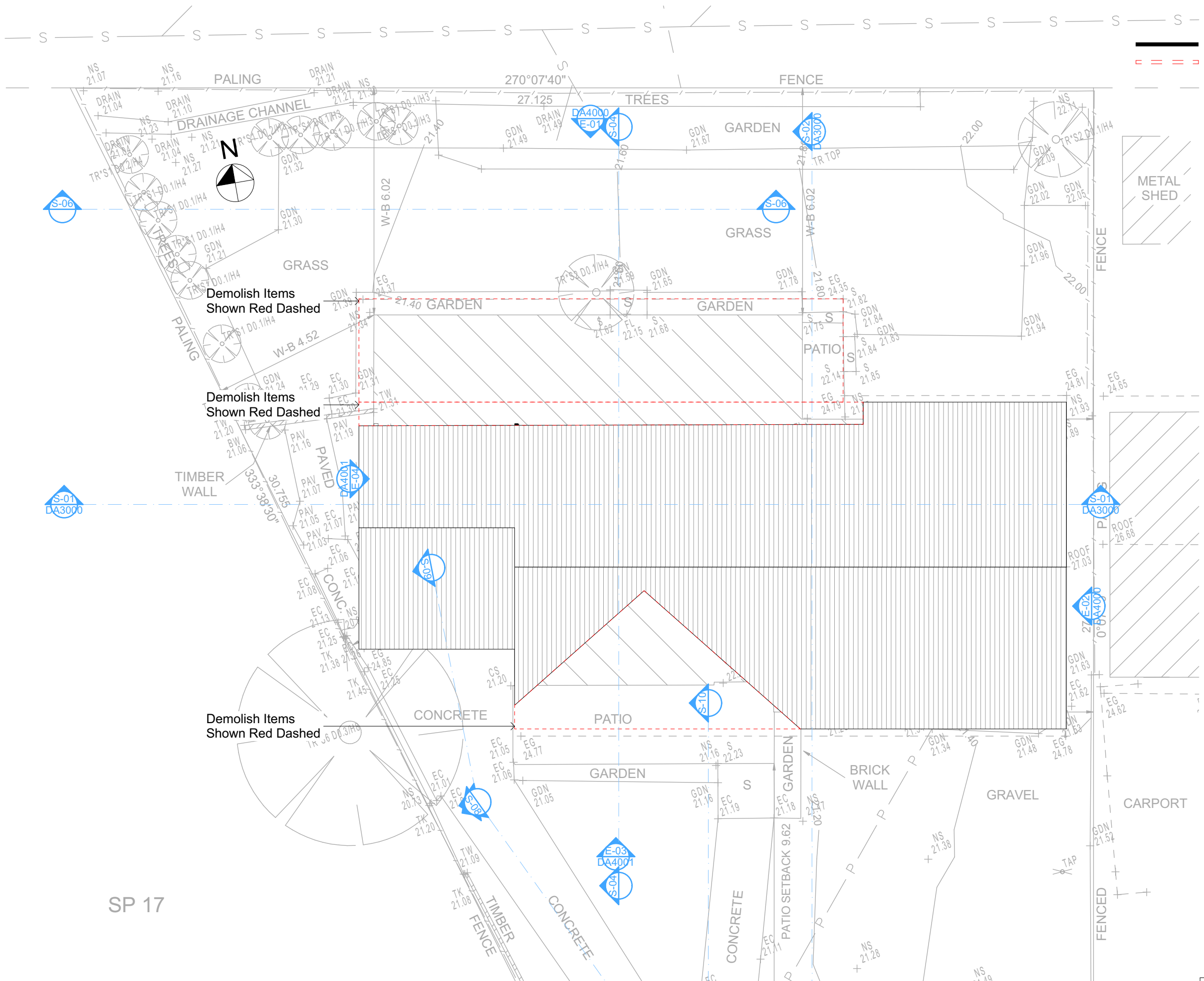
1 DEMOLITION GROUND FLOOR  
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

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Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



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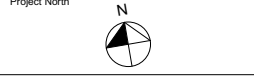
**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded Blue  
Construction  
Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers Specification for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1864  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes
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Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

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Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

**DRAWING TITLE:**  
SITE AND LOCATION  
**Demolition Roof Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
- 13-2-2025

DRAWING NO.  
**DA1007**

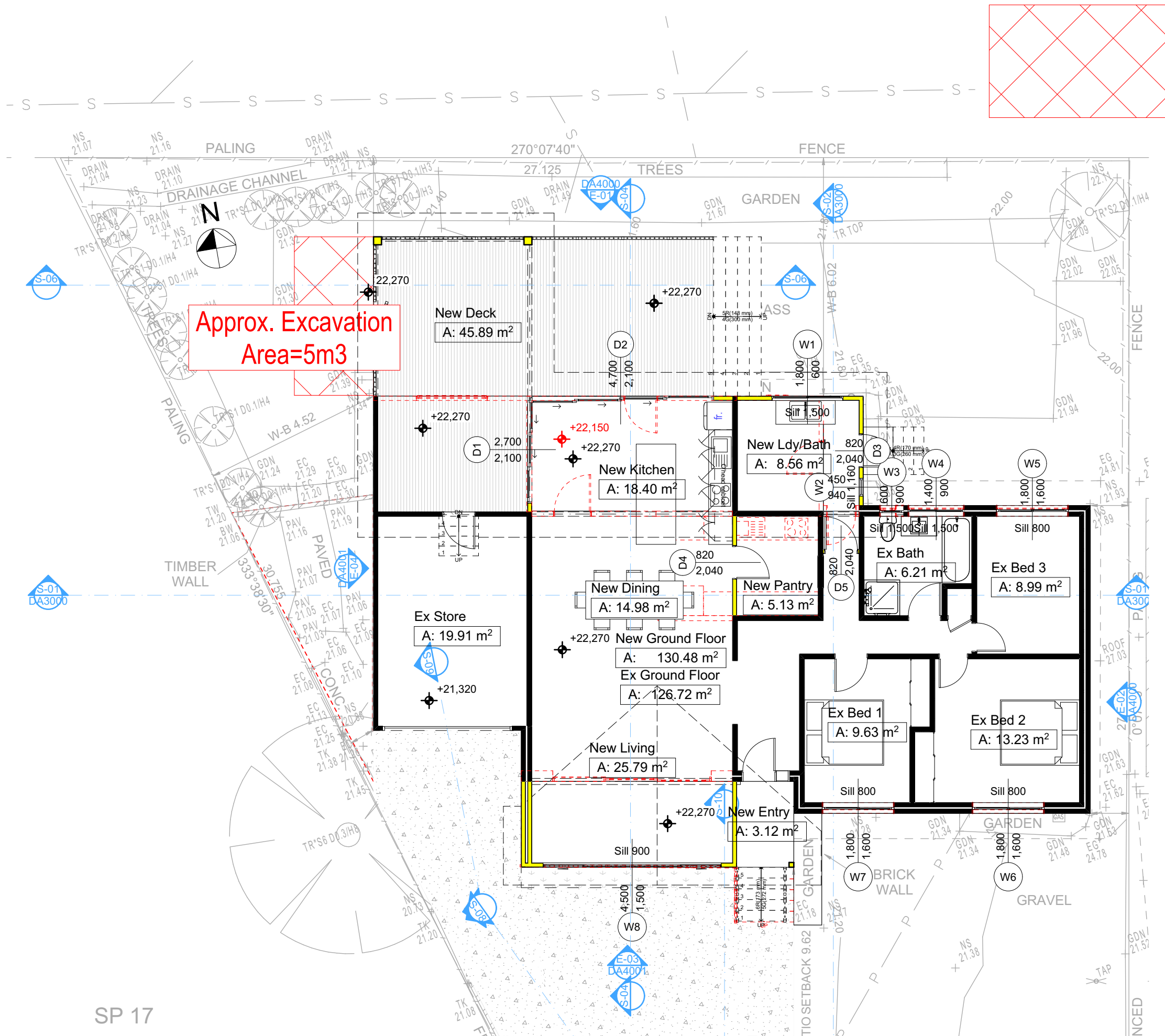
Plot Date: 13/02/2025  
Sheet Size: A3

4.  
-  
DEMOLITION ROOF  
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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Denotes Excavation/Fill Area

SP 17

EXCAVATION & FILL PLAN  
1:100

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Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Pirrama NSW 1512  
Ph: (02) 9550-8845 Mob: 0414-946-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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BUILDING DESIGNER**

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New Works to be constructed shown in ShadedBlue  
**Construction**  
Timber Floor Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3743  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Noting**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A1783392**  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

DRAWING TITLE: **Excavation & Fill Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	13-2-2025

DRAWING NO. **DA1008**

Plot Date: 13/02/2025  
Sheet Size: A3



Wall Legend

- Denotes Existing Wall
- Denotes Impervious Area
- Denotes Pervious Area



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**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue  
Construction  
Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A1783392**  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Plan Existing**

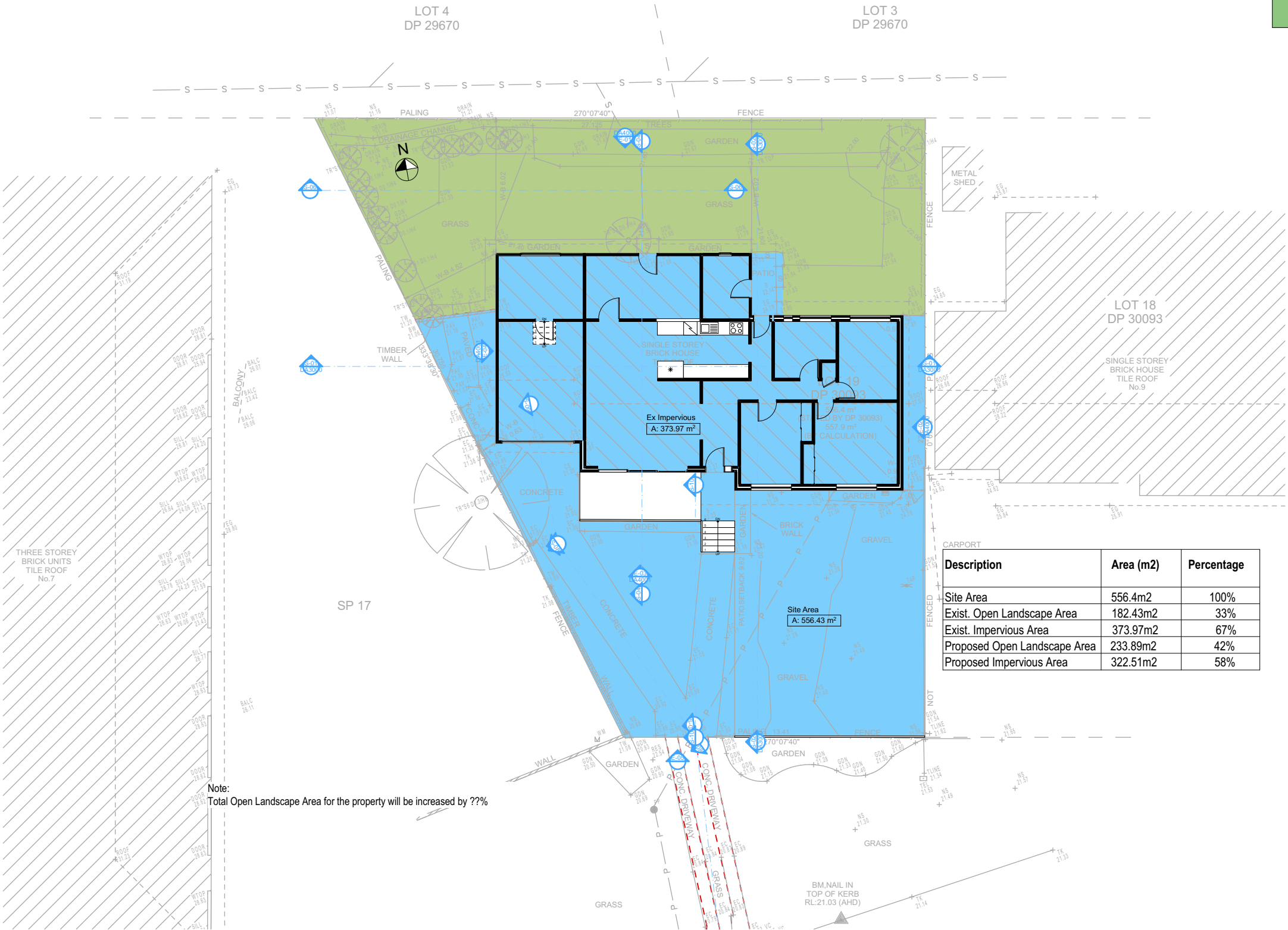
**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
- 13-2-2025  
DRAWING NO.  
**DA1009**

Plot Date: 13/02/2025  
Sheet Size: A3

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



Note:  
Total Open Landscape Area for the property will be increased by ???%

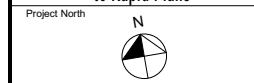
**LANDSCAPE OPEN SPACE EXISTING**  
**1:200**





Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

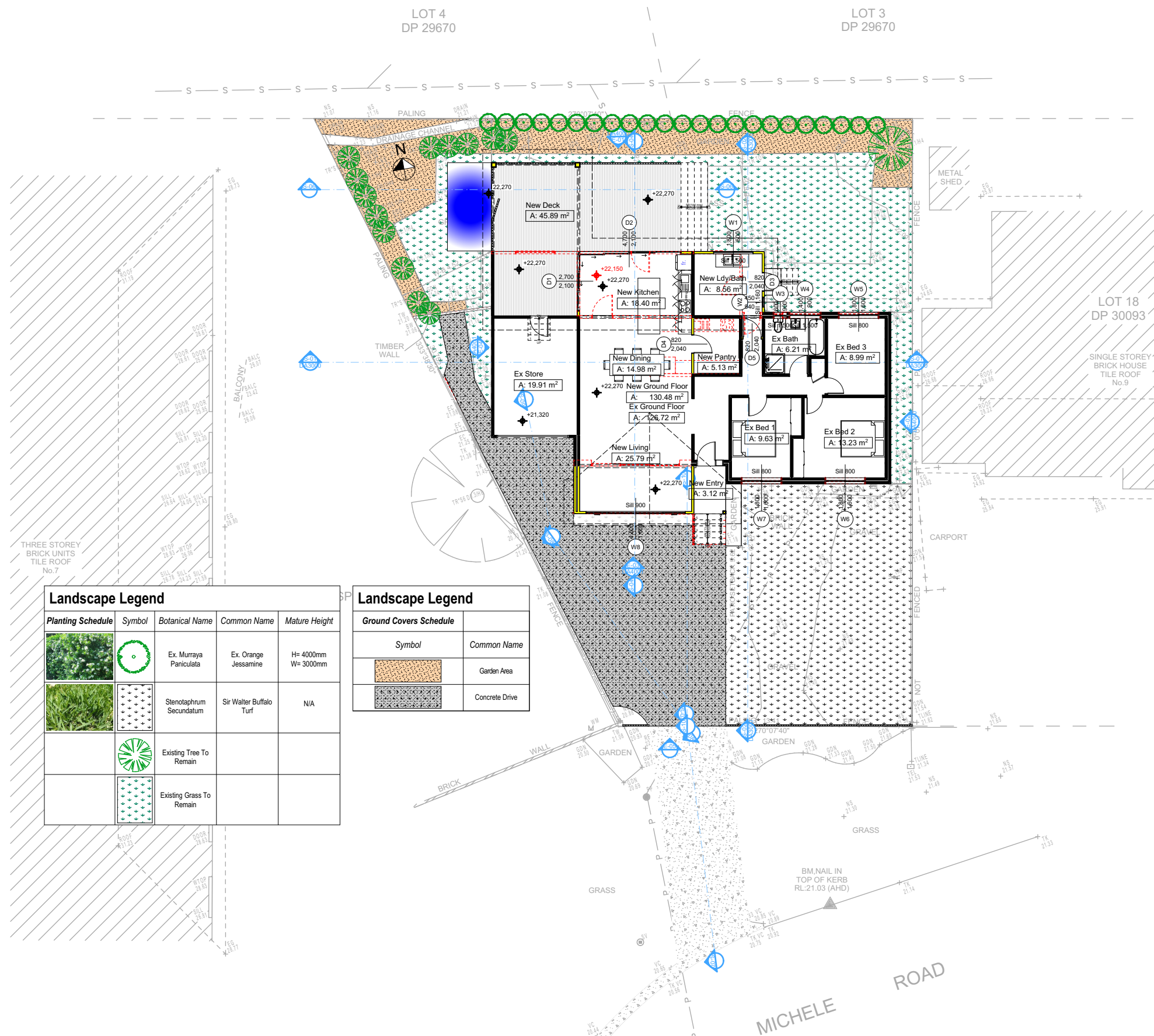
Site: 8 Michele Road Cromer

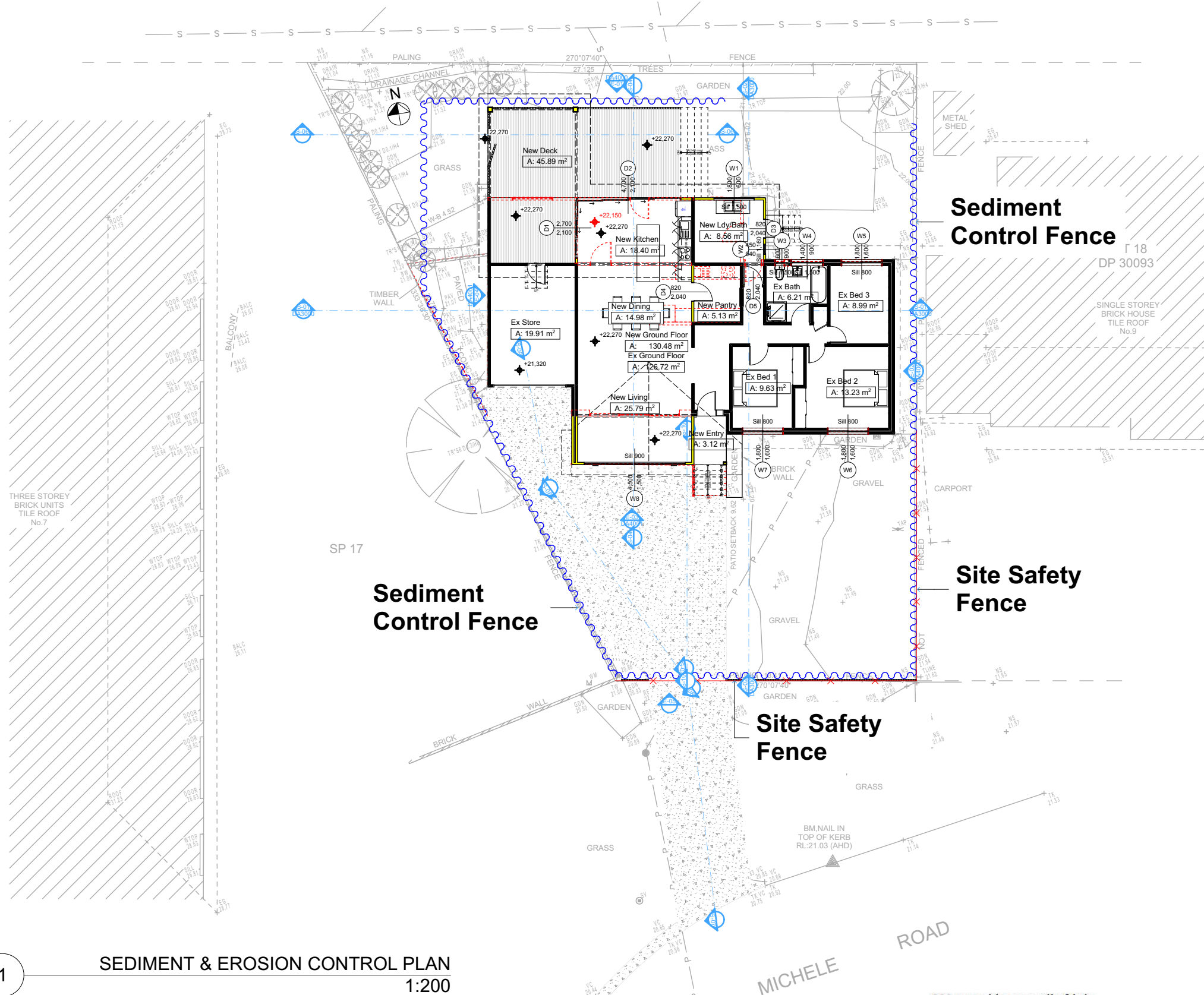
**DRAWING TITLE:**  
SITE AND LOCATION  
**Landscape Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
- 13-2-2025  
DRAWING NO.  
**DA1011**

Plot Date: 13/02/2025  
Sheet Size: A3



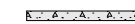


Denotes New Works



### Wall Legend

Denotes New Timber Framed Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item



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**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential.  
8 Michelle Road Cromer is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate.  
New Works to be constructed shown in Shaded/Blue.  
Construction:  
Timber Floor, Cladded Stud Walls.  
Roof Sheet Metal to have R1.45 insulation.  
Insulation to External Cladded Stud Walls R1.7.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS1288-2017.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

**Basix Certificate Number A1783392**  
All Plans to be read in conjunction with Basix Certificate.  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client: Chris & Natasha Wood

Site: 8 Michelle Road Cromer

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DRAWING TITLE: SITE AND LOCATION  
**Sediment & Erosion Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 13-2-2025

DRAWING NO. **DA1012**

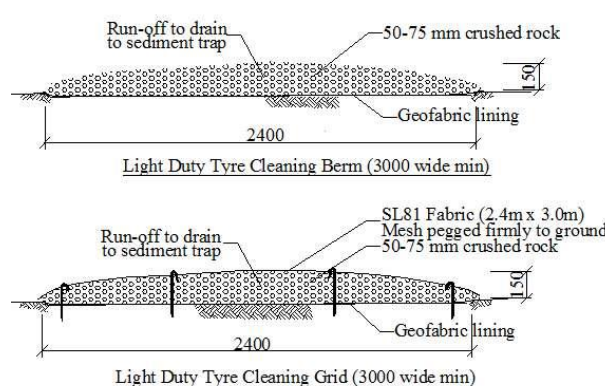
Plot Date: 13/02/2025  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

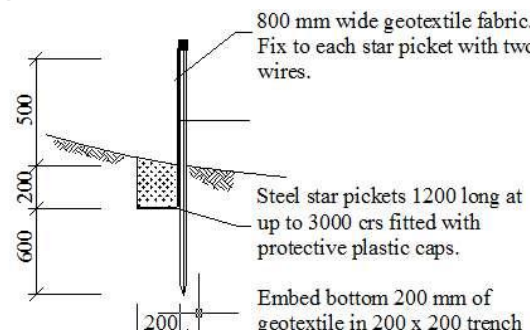
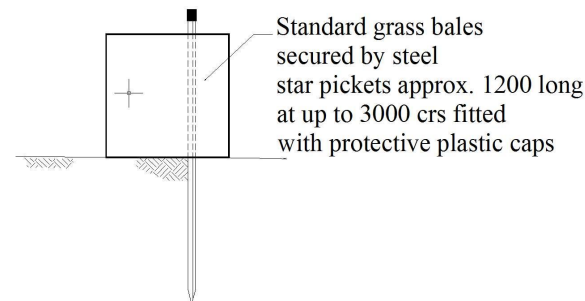
These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

### SEDIMENT & EROSION CONTROL PLAN

1:200

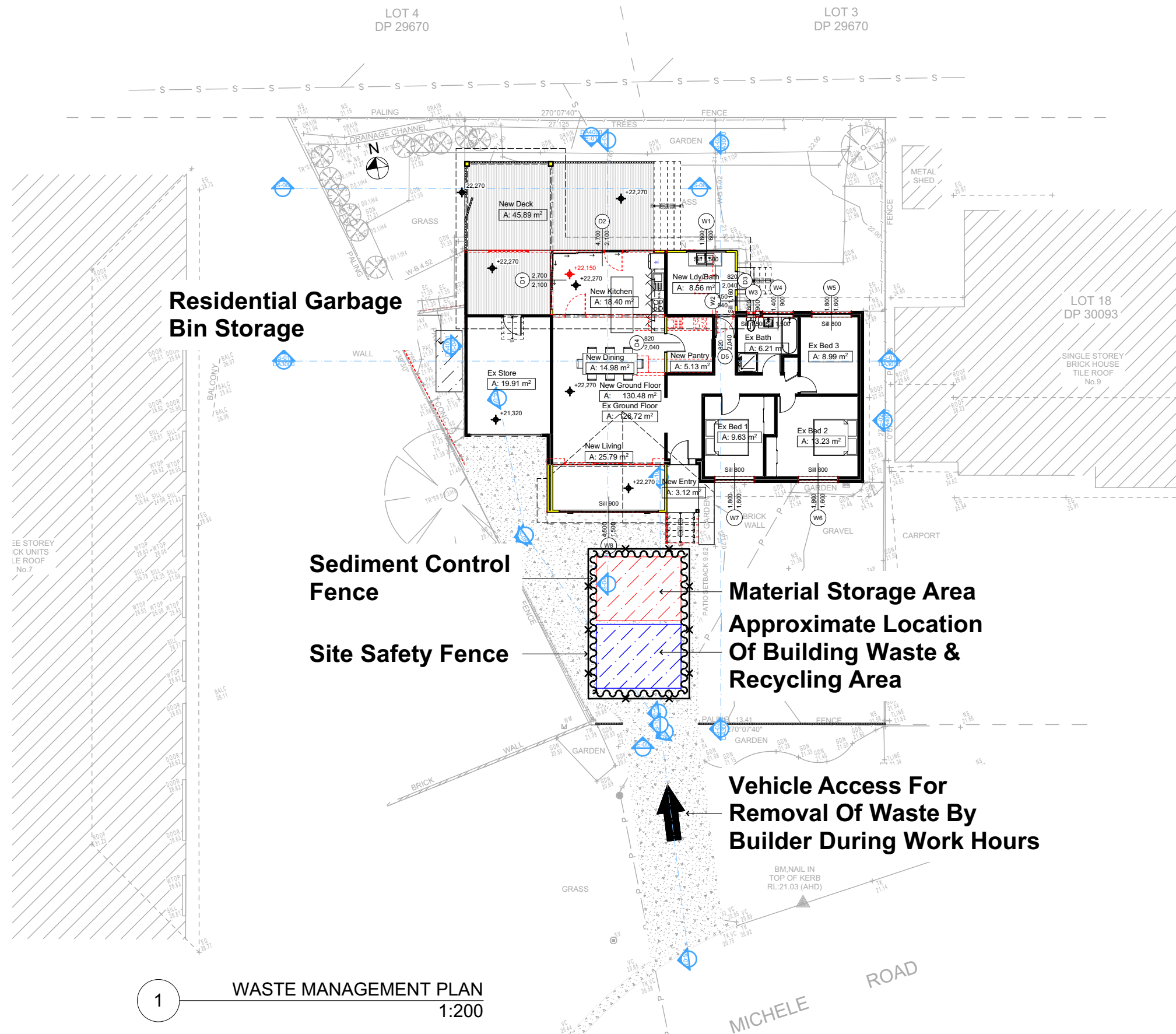


Typical Detail Grass Bale Sediment Barrier



Typical Detail Sediment Control Barrier





Denotes New Works

**Wall Legend**

- Denotes New Timber Framed Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

**Rapid Plans**  
Building Design and Architectural Drafting

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**bdca**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED  
BUILDING DESIGNER

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**NOTES**

8 Michelle Road Cromer is zoned R2 Low Density Residential. 8 Michelle Road Cromer is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate. New Works to be constructed shown in Shaded/Blue.

**Construction**

Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1864  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3747  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certification**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A1783392**

All Plans to be read in conjunction with Basic Certificate. The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WDO  
Project Status DA

Client: Chris & Natasha Wood

Site: 8 Michelle Road Cromer

DRAWING TITLE: SITE AND LOCATION

**Waste Management Plan**

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
-	13-2-2025

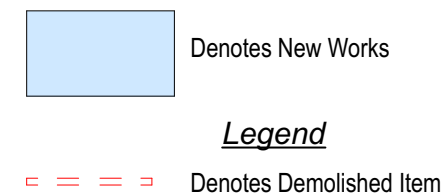
DRAWING NO.: DA1013

Plot Date: 13/02/2025  
Sheet Size: A3

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**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**



Legend

Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
 8 Michele Road Cromer is zoned R2 Low Density Residential  
 8 Michele Road Cromer is not considered a heritage item  
 All Plans to be read in conjunction with Basic Certificate  
 New Works to be constructed shown in Shaded/Blue  
**Construction**  
 Timber Floor, Cladded Stud Walls  
 Roof Sheet Metal to have R14.5 Insulation  
 Insulation to External Cladded Stud Walls R1.7  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to AS 3660.1  
 Glazing to BCA and AS10286-2001  
 Waterproofing to BCA and AS 3740  
 New Lighting to have minimum of 40% compact fluorescent lamp  
 All workmanship and materials shall be in accordance with the  
 requirements of Building Code of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic Certificate Number AB1783932.

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceiling/roofs) in accordance with the specifications in the table below. The applicant must also provide additional information not required where the area of new construction is less than 2m<sup>2</sup>. b. Installation specified is not required for parts of altered construction that are already in place.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each element and glazed door.

For projections measured in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and must not be more than 500 mm above the head of the window or glazed door.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO. RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michele Road Crome

DRAWING TITLE :  
SITE AND LOCATION  
**Stormwater Plan**

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	13-2-2025

DRAWING NO.  
**DA1014**

Plot Date: 13/02/2013  
Sheet Size: A3

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Raintree.</p>	<p>DRAWING TITLE : SITE AND LOCATION</p> <p><b>Stormwater P</b></p>
	<p>PROJECT NAME :</p> <p><b>Alterations</b></p>

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

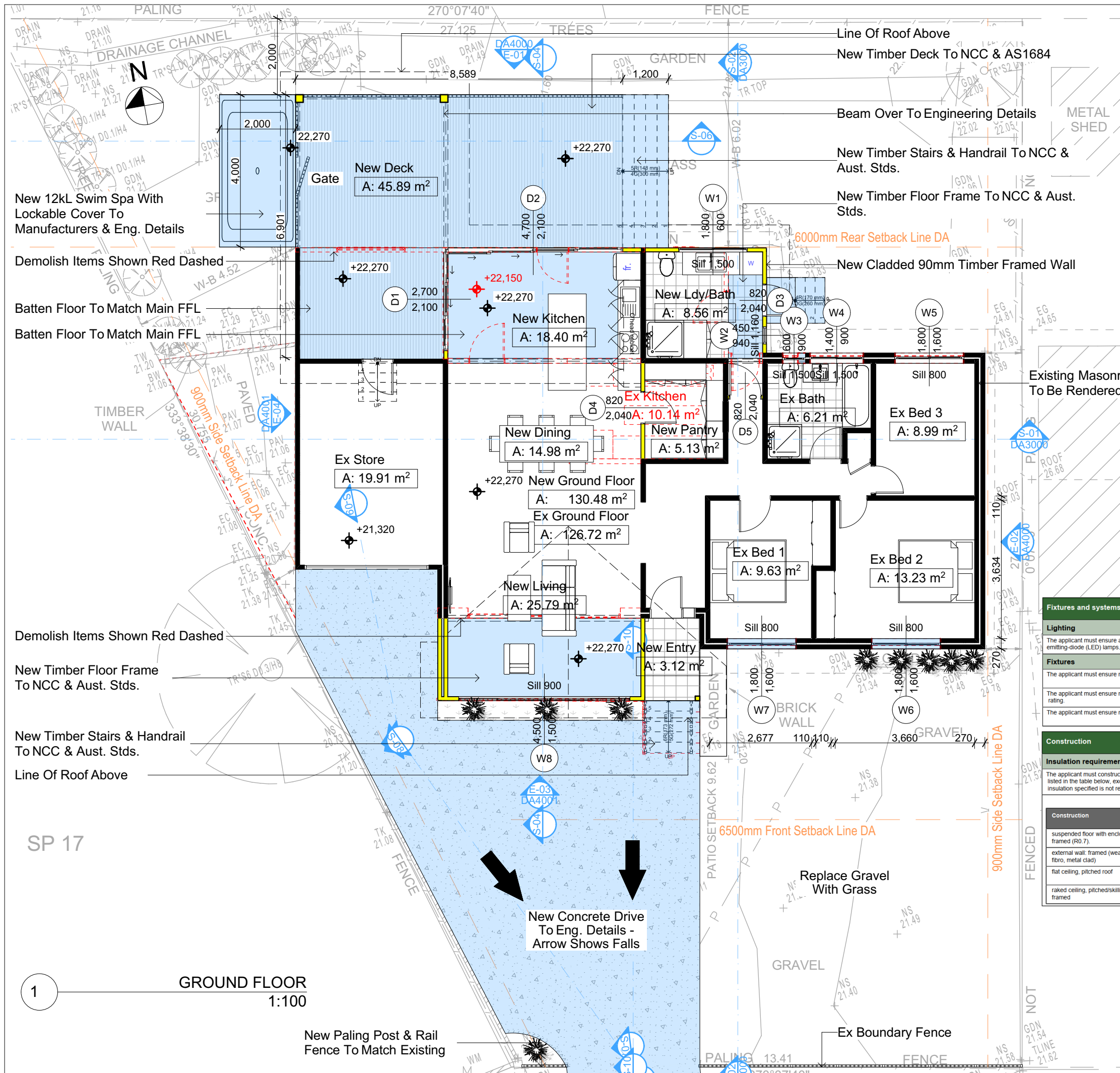
1

**STORMWATER PLAN**  
 1:200

## Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement







Denotes New Works

Denotes New Timber Framed Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

Denotes New Timber Framed Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor, framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

PO Box 6239 Pyralis Forest NSW 2086  
Ph: (02) 9360-8845, Mobile: 0414-945-024  
Email: info@rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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**NOTES**

8 Michelle Road Cromer is zoned R2 Low Density Residential

8 Michelle Road Cromer is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded Blue

**Construction**

Timber Floor: Cladded Stud Walls

Roof Sheet Metal to have R1.45 insulation

Insulation to External Cladded Stud Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Counciling Authority without the written permission of Rapid Plans or the supply of a Construction Certificate drawings by Rapid Plans

**Basic Certificate Number A1783392**

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client: Chris & Natasha Wood

Site: 8 Michelle Road Cromer

DRAWING TITLE: PLANS  
GROUND FLOOR

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 13-2-2025

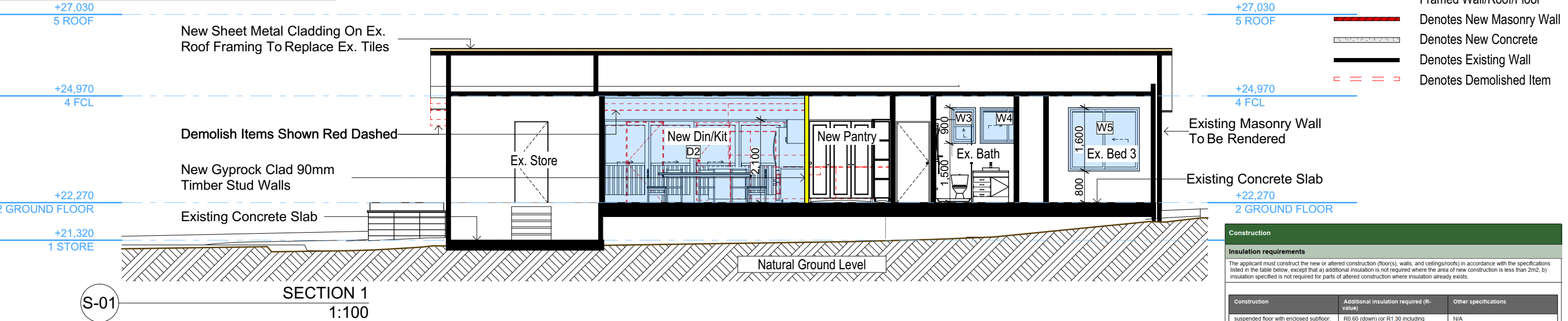
DRAWING NO. DA2002

Plot Date: 13/02/2025  
Sheet Size: A3



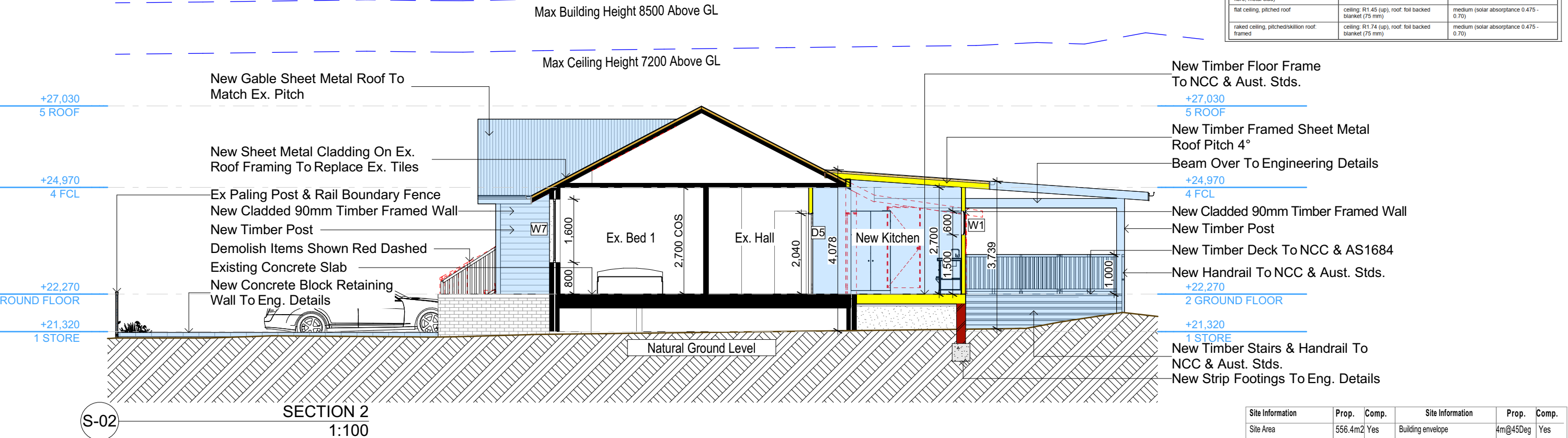


Fixtures and systems
<b>Lighting</b>
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
<b>Fixtures</b>
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



	Denotes New Works
	Denotes New Timber Framed Wall/Roof/Floor
	Denotes New Masonry Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling: pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling: pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



**NOTES**  
8 Michele Road Cromer is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
8 Michele Road Cromer is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1783392  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2,  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	556.4m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	42%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	58%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	0.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.2m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

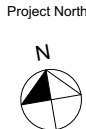


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Checked Plot Date: GBJ 13/02/2025  
Project NO: RP0924WOO  
Project Status: DA

Client Site: Chris & Natasha Wood  
8 Michele Road Cromer

Sheet Size: A3

DRAWING TITLE :  
**SECTIONS SECTION 1**  
PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
-  
DATE: **13-2-2025**  
DRAWING NO.  
**DA3000**



Fixtures and systems
<b>Lighting</b>
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
<b>Fixtures</b>
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

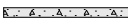
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

### Wall Legend



World Plans  
PO Box 6239 Fitzroy Street, DO NSW 2086  
Ph: (02) 9350-8845, Mobile: 0414-545-024  
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA



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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue  
**Construction**  
Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660, 1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawn by Rapid Plans.  
**Basic**  
Basic Certificate Number A1783392  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WDO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

DRAWING TITLE: SECTIONS  
SECTION 2

PROJECT NAME: Alterations & Additions

REVISION NO. DATE  
- 13-2-2025

DRAWING NO. DA3001

Plot Date: 13/02/2025  
Sheet Size: A3

New Sheet Metal Cladding On Ex. Roof Framing To Replace Ex. Tiles  
New Gable Sheet Metal Roof To Match Ex. Pitch

New Timber Framed Ceiling To AS1684 To Match Existing  
New Decorative Timber Fretwork To Gable

Beam Over To Engineering Details  
Demolish Items Shown Red Dashed  
New Timber Floor Frame To NCC & Aust. Stds.

New Cladded 90mm Timber Framed Wall

Demolish Items Shown Red Dashed

Batten Floor To Match Main FFL

New Timber Framed Sheet Metal Roof Pitch 4°

Beam Over To Engineering Details

New Cladded 90mm Timber Framed Wall

New Timber Post

New Timber Deck To NCC & AS1684

New Handrail To NCC & Aust. Stds.

Existing Concrete Slab

S-04

Section 3  
1:100

New Timber Framed Sheet Metal Roof Pitch 4°

Beam Over To Engineering Details

New Timber Post

New Handrail To NCC & Aust. Stds.

New 12kL Swim Spa With Lockable Cover To Manufacturers & Eng. Details

New Timber Deck To NCC & AS1684  
New Timber Stairs & Handrail To NCC & Aust. Stds.

+24,970  
4 FCL

+22,270  
ND FLOOR

+21,320  
1 STORE

+24,970  
4 FCL

+22,270  
2 GROUND FLOOR

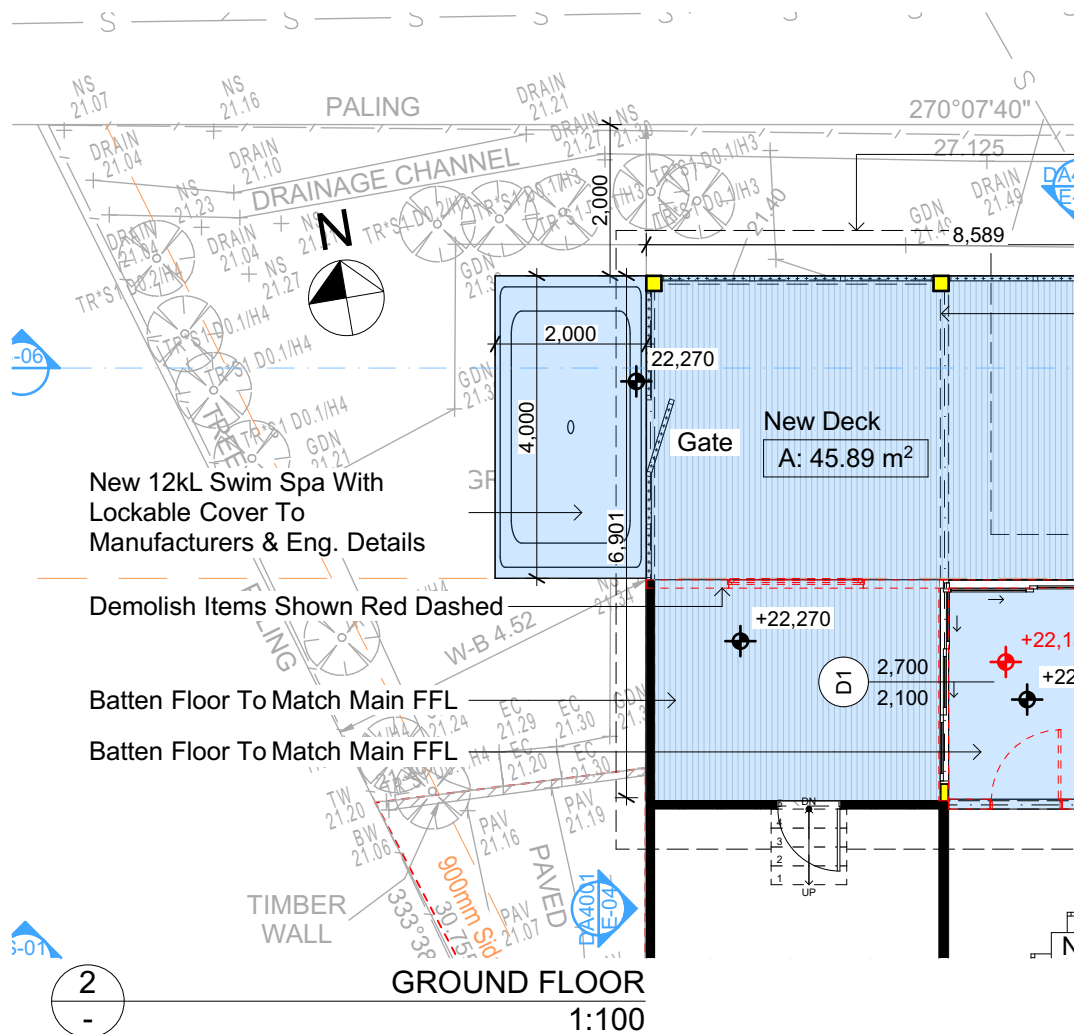
+21,320  
1 STORE

S-06

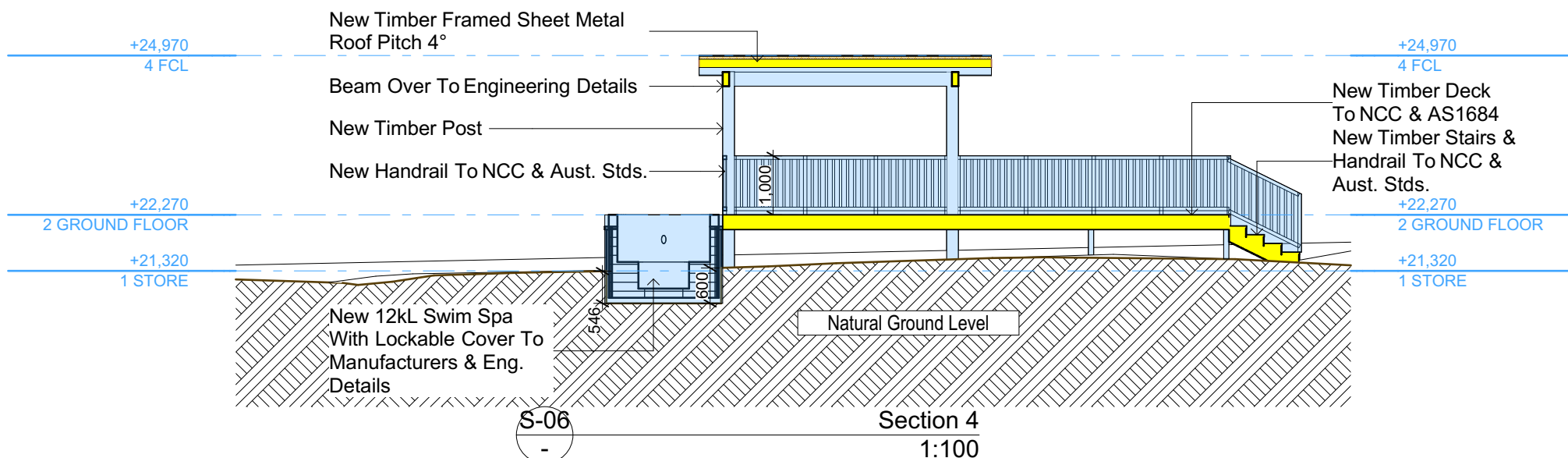
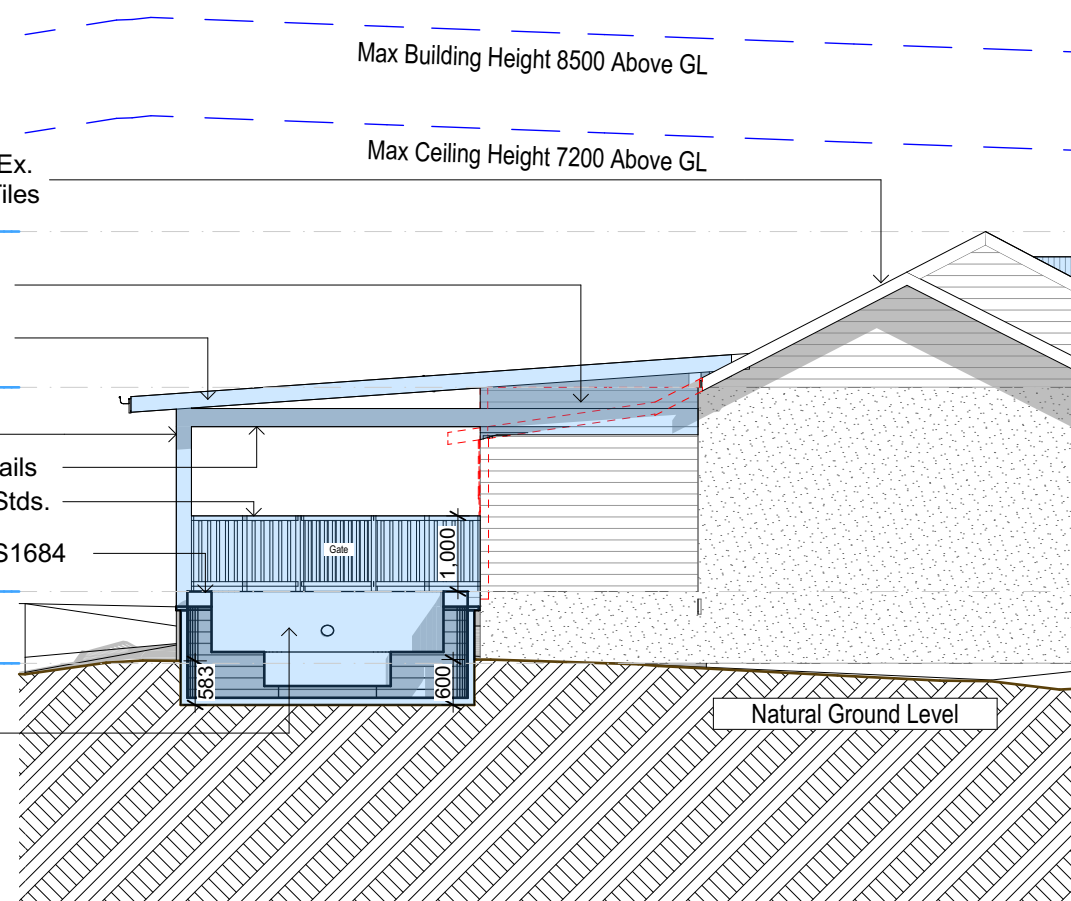
Section 4  
1:100

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



- New Sheet Metal Cladding On Ex. Roof Framing To Replace Ex. Tiles  
+27,030  
5 ROOF
- Extend Wall To Match Existing  
New Timber Framed Sheet Metal Roof Pitch 4°  
+24,970  
4 FCL
- New Timber Post  
Beam Over To Engineering Details  
New Handrail To NCC & Aust. Stds.
- New Timber Deck To NCC & AS1684  
+22,270  
2 GROUND FLOOR
- New 12kL Swim Spa With Lockable Cover To Manufacturers & Eng. Details  
+21,320  
1 STORE



**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

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**bdca**  
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**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded Blue  
Construction  
Timber Floor Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1728-2017  
Waterproofing to BCA and AS 3747  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Site Information**

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

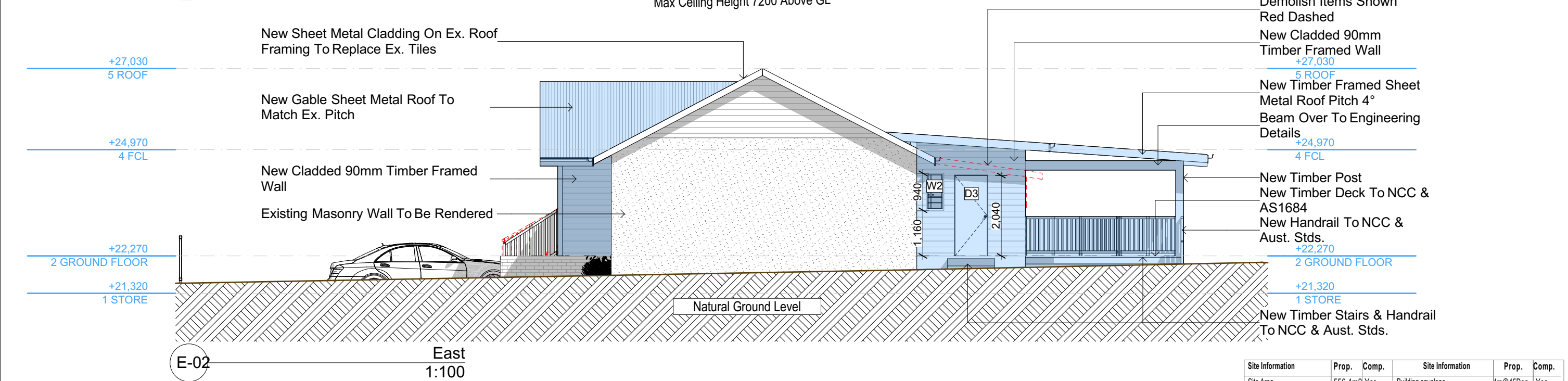
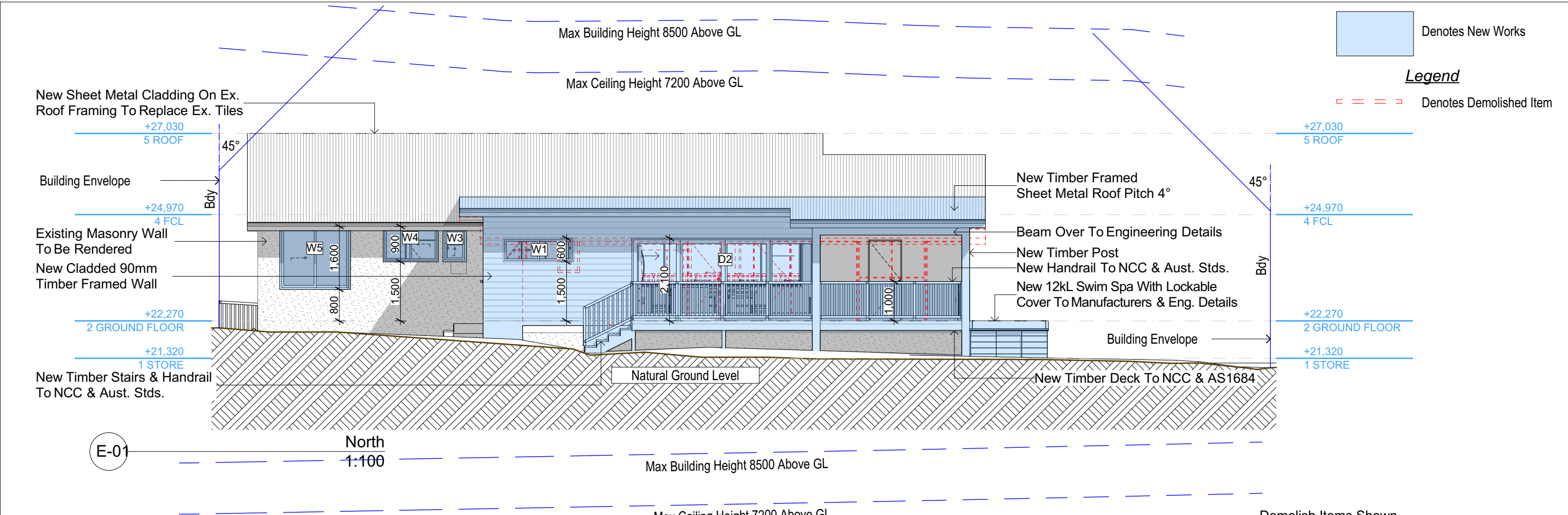
**DRAWING TITLE:** SECTIONS  
**SECTION SWIM SPA**

**PROJECT NAME:** Alterations & Additions

REVISION NO. DATE  
- 13-2-2025  
DRAWING NO. DA3002

Plot Date: 13/02/2025  
Sheet Size: A3





**NOTES**

8 Michele Road Cromer is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
8 Michele Road Cromer is not considered a heritage item

**Certifying**

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**Construction**

Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A1783392

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	42%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	58%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	0.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.2m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

**DA APPLICATION  
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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:

Sheet Size: A3

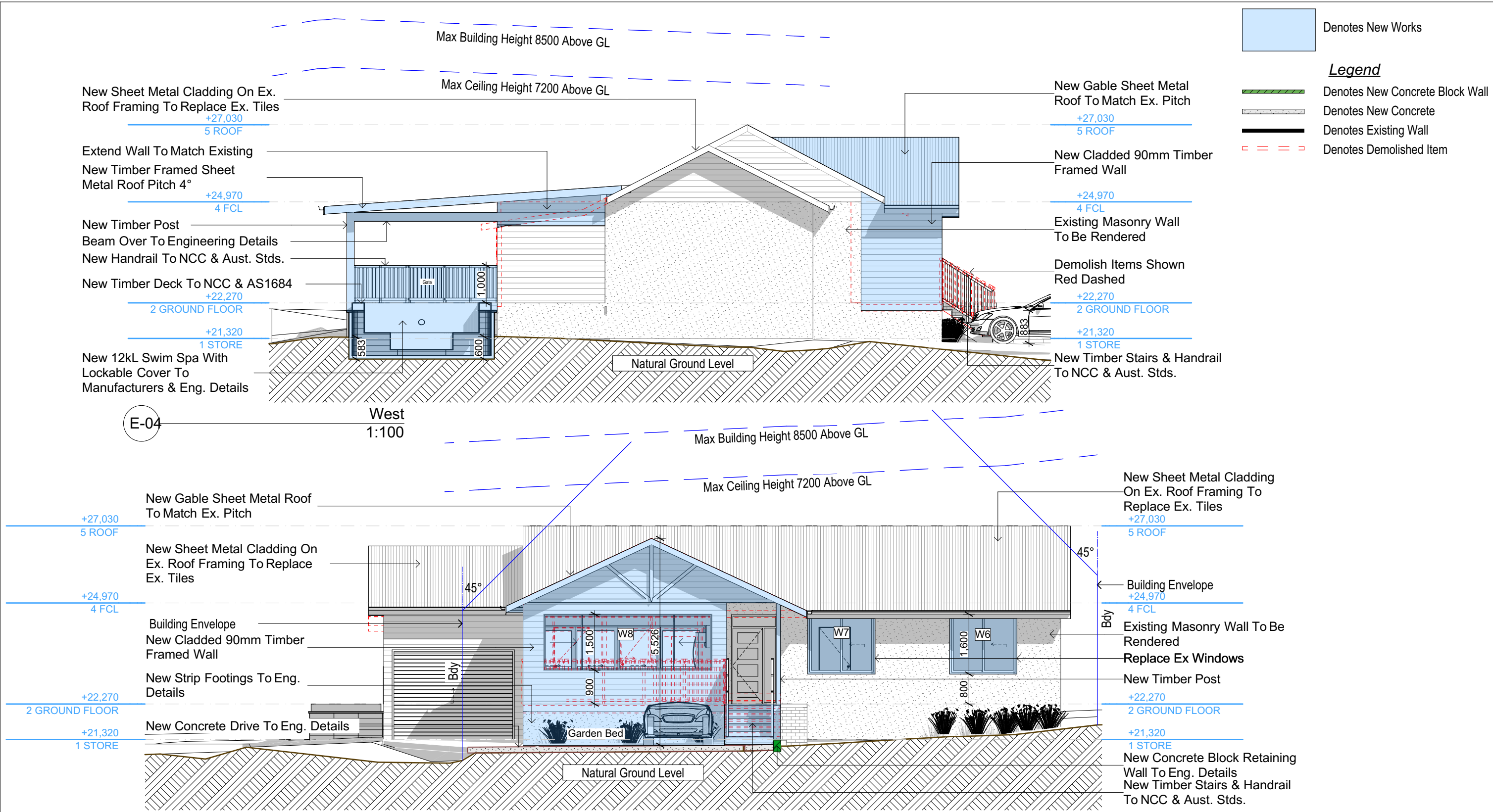
GBJ  
13/02/2025  
RP0924WOO  
DA

Chris & Natasha Wood  
8 Michele Road Cromer

DRAWING TITLE :  
**ELEVATIONS  
ELEVATIONS 1**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**13-2-2025**  
DRAWING NO.  
**DA4000**



- Denotes New Works
- Legend**
- Denotes New Concrete Block Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

**E-04**

**West**

**1:100**

**E-03**

**South**

**1:100**

**NOTES**

8 Michele Road Cromer is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

8 Michele Road Cromer is not considered a heritage item

**Certifying**

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**Construction**

Timber Floor, Cladded Stud Walls

Roof Sheet Metal to have R1.45 Insulation

Insulation to External Cladded Stud Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A1783392

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	42%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	58%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	0.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.2m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

**Rapid Plans**

Building Design and Architectural Drafting

**bdaa**

**BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA**

**bdaa**

**ACCREDITED BUILDING DESIGNER**

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Checked Plot Date: Project NO. Project Status

Client Site:

Sheet Size: A3

**DRAWING TITLE :**

**ELEVATIONS**

**ELEVATIONS 2**

**PROJECT NAME :**

**Alterations & Additions**

REVISION NO.

DATE: **13-2-2025**

DRAWING NO. **DA4001**



Denotes New Works

Denotes New Concrete

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**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

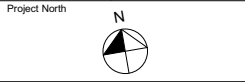
**Construction**  
Timber Floor, Cladded Stud Walls  
Rust Sheet Metal to have R1.45 insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers Specification and BCA  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1864  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A1783392**  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

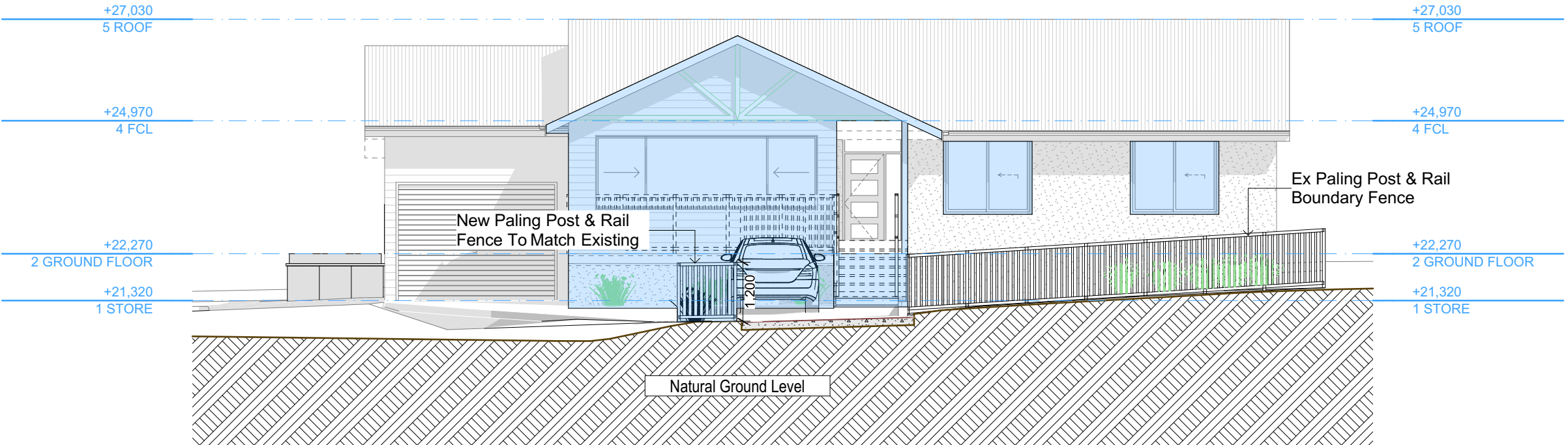
Site: 8 Michelle Road Cromer

DRAWING TITLE : ELEVATIONS  
**ELEVATION FRONT FENCE**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO. DATE  
- 13-2-2025  
DRAWING NO.  
**DA4002**

Plot Date: 13/02/2025  
Sheet Size: A3



E-05  
-

Elevation  
1:100

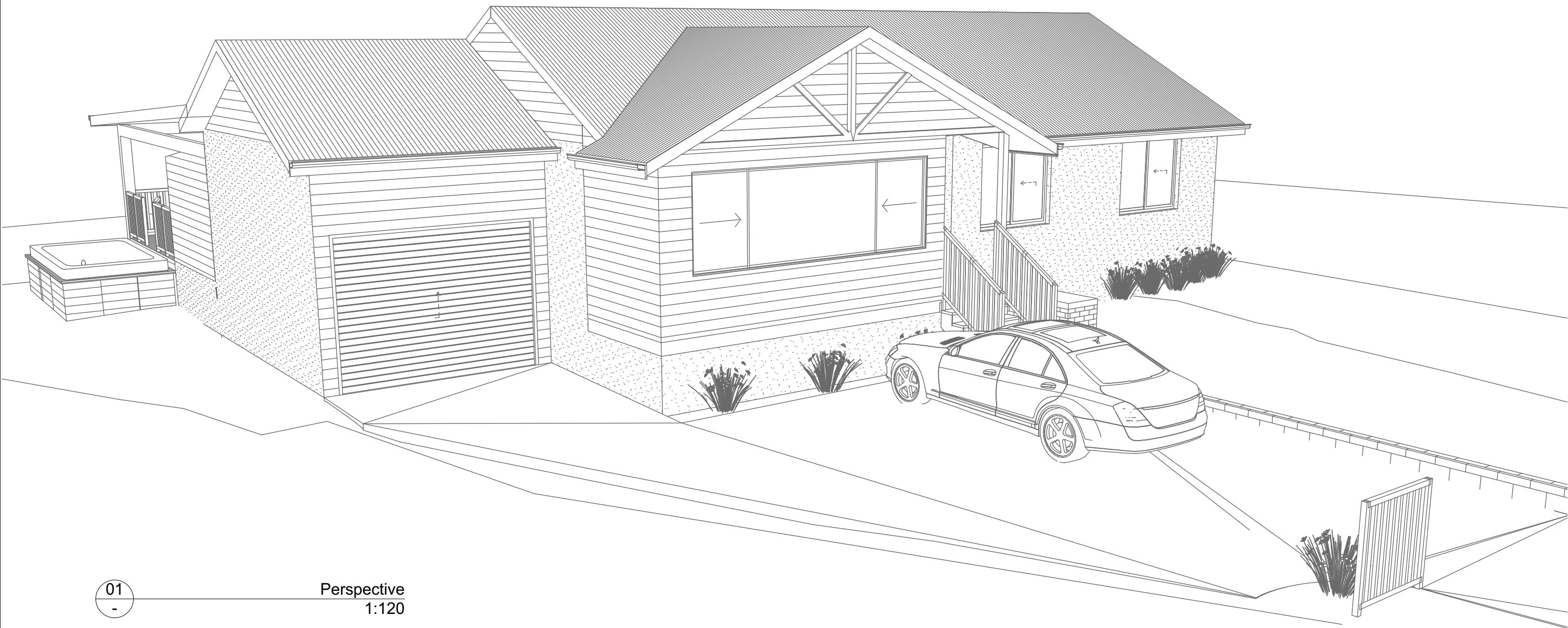
Glazing requirements
<b>Windows and glazed doors</b>
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Glazing requirements							
Windows and glazed doors glazing requirements							
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type	
W1	N	1.1	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	
W2	E	0.4	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	
W3	N	0.5	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	
W4	N	1.3	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	
W5	N	2.9	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	

Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	S	2.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	2.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	S	6.8	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	5.7	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	N	9.9	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

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**NOT FOR CONSTRUCTION**



01  
-

Perspective  
1:120

**DA APPLICATION  
ONLY  
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**NOTES**  
8 Michele Road Cromer is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
8 Michele Road Cromer is not considered a heritage item  
**Certifying**  
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**Construction**  
Timber Floor, Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1783392  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	556.4m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	42%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	58%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	0.7m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.2m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



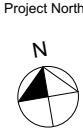
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Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
13/02/2025  
RP0924WOO  
DA  
Chris & Natasha Wood  
8 Michele Road Cromer

Sheet Size: A3

**DRAWING TITLE :**  
SHADOW PLANS  
**PERSPECTIVE**

**PROJECT NAME :**  
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**13-2-2025**  
DRAWING NO.  
**DA5000**



Denotes Sheet Metal Roof (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).  
Owner To Confirm Type & Colour



Denotes Cladded Wall (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Stairs & Handrail (Typical).  
Owner To Confirm Type & Colour



Denotes Swim Spa (Typical).  
Owner To Confirm Type & Colour



Denotes Alloy Window (Typical).  
Owner To Confirm Type & Colour



Glazing requirements	
Windows and glazed doors	
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	
The following requirements must also be satisfied in relation to each window and glazed door:	
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGC's must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	1.1	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single pyrolytic low-e, (U-value: 6.44, SHGC: 0.46)
W2	E	0.4	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single pyrolytic low-e, (U-value: 6.44, SHGC: 0.75)
W3	N	0.5	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single pyrolytic low-e, (U-value: 6.44, SHGC: 0.46)
W4	N	1.3	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single pyrolytic low-e, (U-value: 6.44, SHGC: 0.46)
W5	N	2.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single pyrolytic low-e, (U-value: 6.44, SHGC: 0.46)

Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	S	2.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	2.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single clear, (U-value: 6.44, SHGC: 0.75)
W8	S	6.8	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	5.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single clear, (U-value: 6.44, SHGC: 0.75)
D2	N	9.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminum, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

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**Rapid Plans**  
Building Design and Architectural Drafting

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**BDA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



**BDA**  
ACCREDITED  
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
8 Michelle Road Cromer is zoned R2 Low Density Residential  
8 Michelle Road Cromer is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue  
**Construction**  
Timber Floor Cladded Stud Walls  
Roof Sheet Metal to have R1.45 Insulation  
Insulation to External Cladded Stud Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1854  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A1783392**  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	556.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	58%	Yes
Maximum cut into gnd (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 13/02/2025  
Project NO.: RP0924WOO  
Project Status DA

Client Chris & Natasha Wood

Site: 8 Michelle Road Cromer

**DRAWING TITLE**  
SHADOW PLANS  
**MATERIAL & COLOUR SAMPLE BOARD**

**PROJECT NAME:**  
**Alterations & Additions**

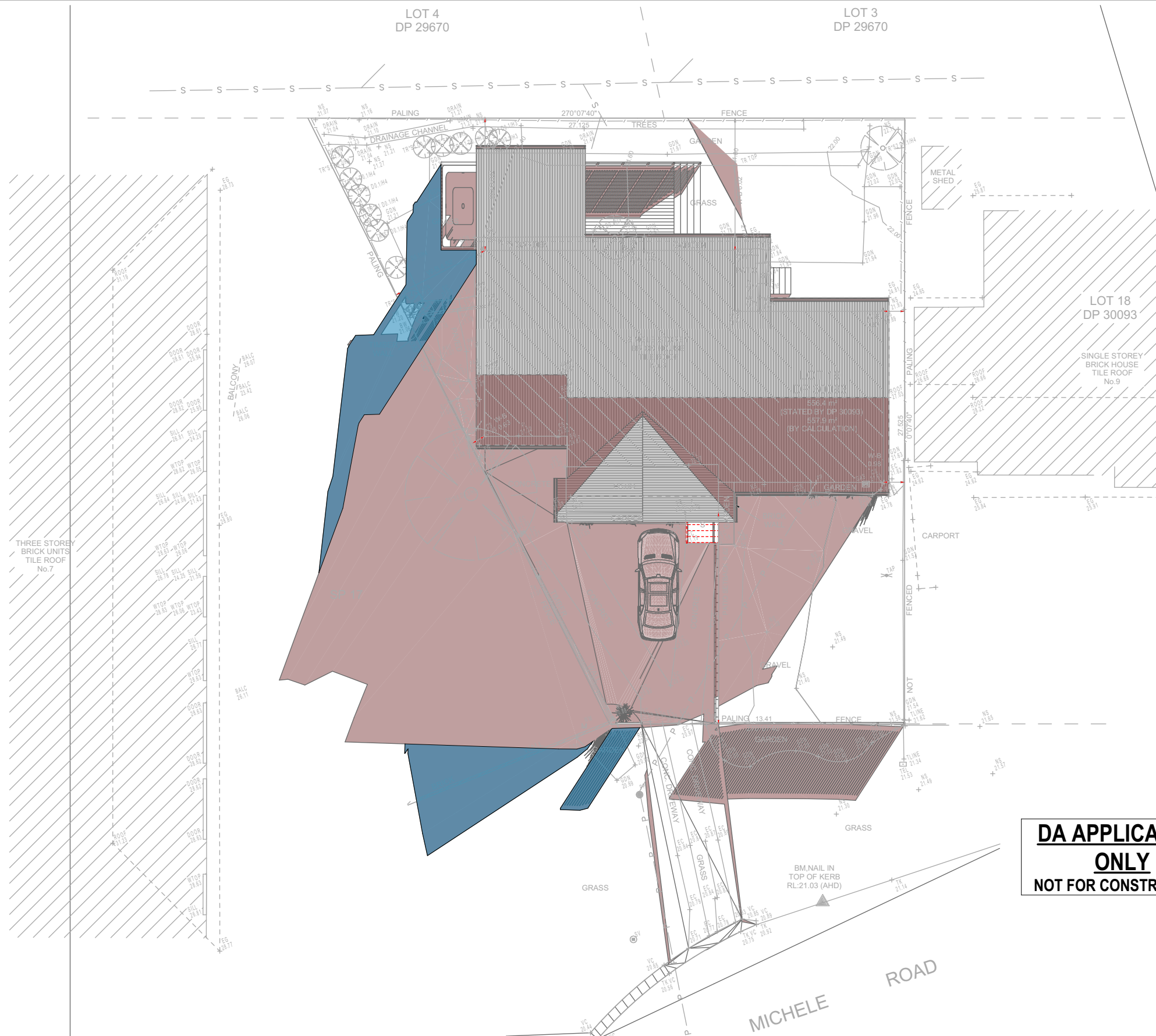
REVISION NO.	DATE
-	13-2-2025

DRAWING NO.  
**DA5001**

Plot Date: 13/02/2025  
Sheet Size: A3

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Denotes Existing Shadow

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01  
-  
Shadow 21st June 9am  
1:200



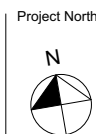
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Fax: (02) 9905-8865  
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Checked  
Plot Date:  
Project No.  
Project Status

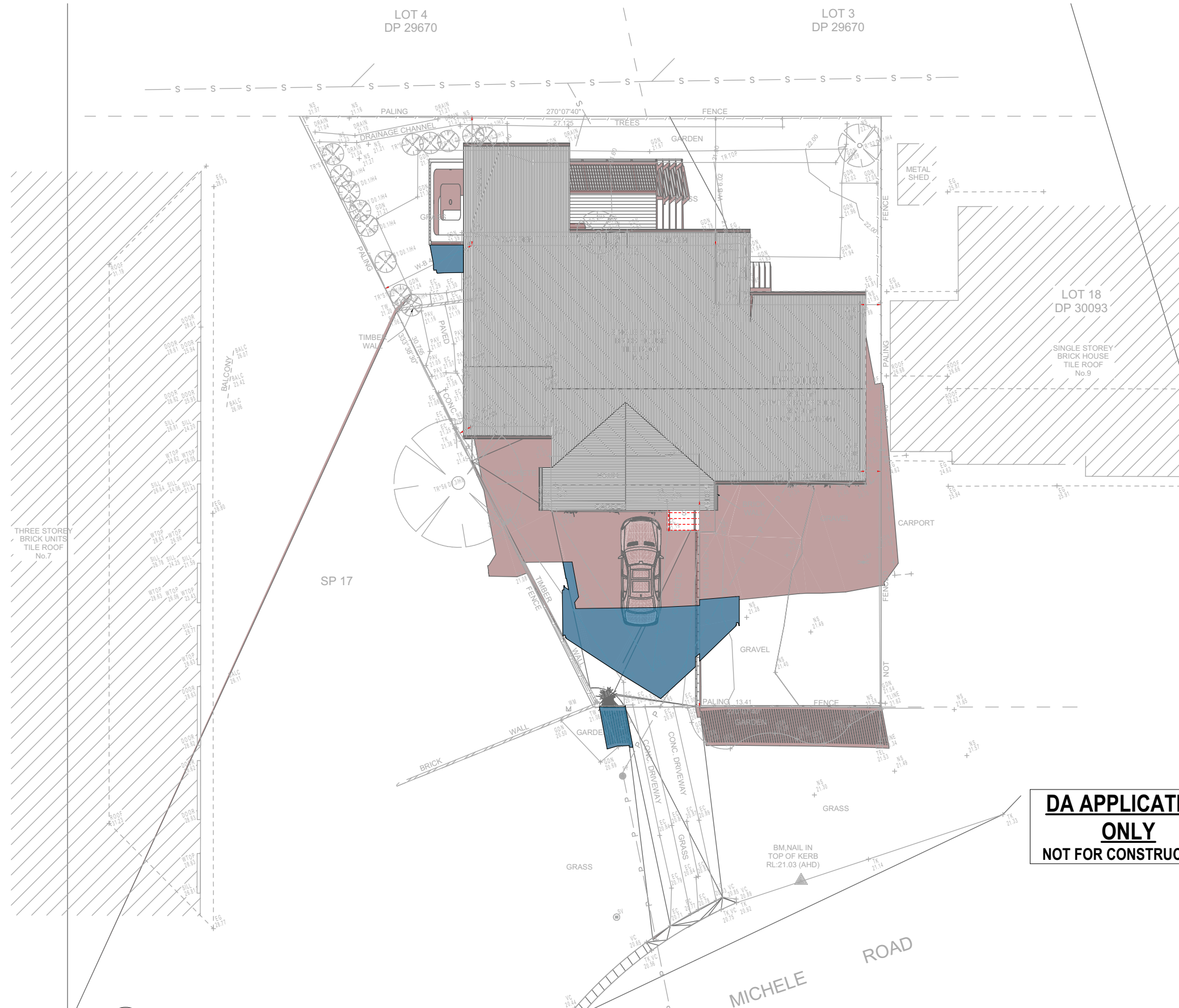
GBJ  
13/02/2025  
RP0924WOO  
DA  
Chris & Natasha Wood  
8 Michele Road Cromer

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
9am**  
PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**13-2-2025**  
DRAWING NO.  
**DA5002**





Denotes Proposed Shadow

Denotes Existing Shadow

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01  
-  
Shadow 21st June 12pm  
1:200

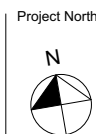


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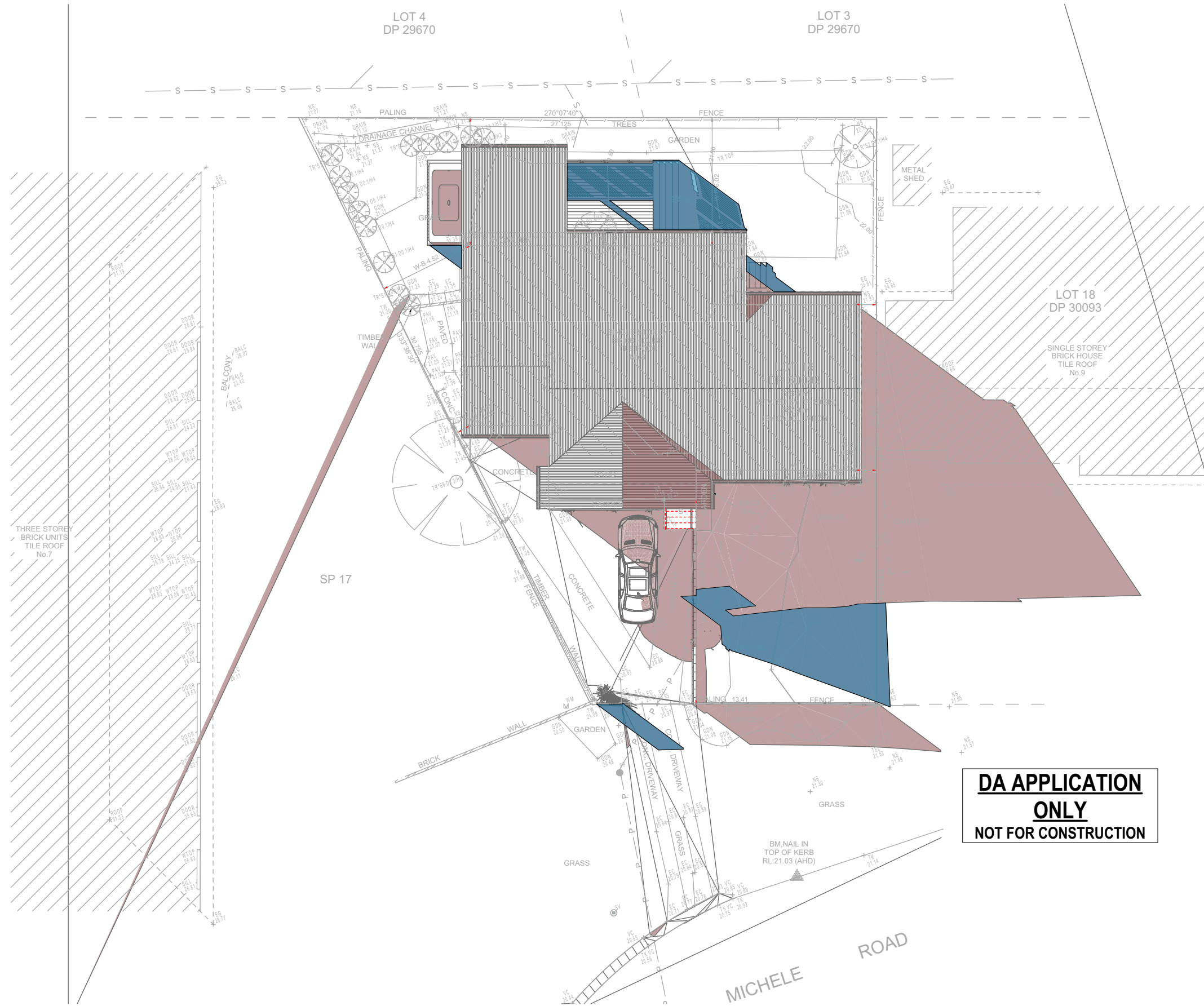
Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
13/02/2025  
RP0924WOO  
DA  
Client  
Site:  
Chris & Natasha Wood  
8 Michele Road Cromer

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
12pm**  
PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**13-2-2025**  
DRAWING NO.  
**DA5003**



Denotes Proposed Shadow

Denotes Existing Shadow

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

01  
-

Shadow 21st June 3pm  
1:200

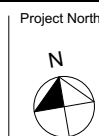


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**Builder to Check and Confirm  
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Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date: GBJ  
Project NO: 13/02/2025  
Project Status: RP0924WOO  
DA  
Client: Chris & Natasha Wood  
Site: 8 Michele Road Cromer  
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
3pm**  
PROJECT NAME : **Alterations & Additions**

REVISION NO.  
-  
DATE: **13-2-2025**  
DRAWING NO.  
**DA5004**