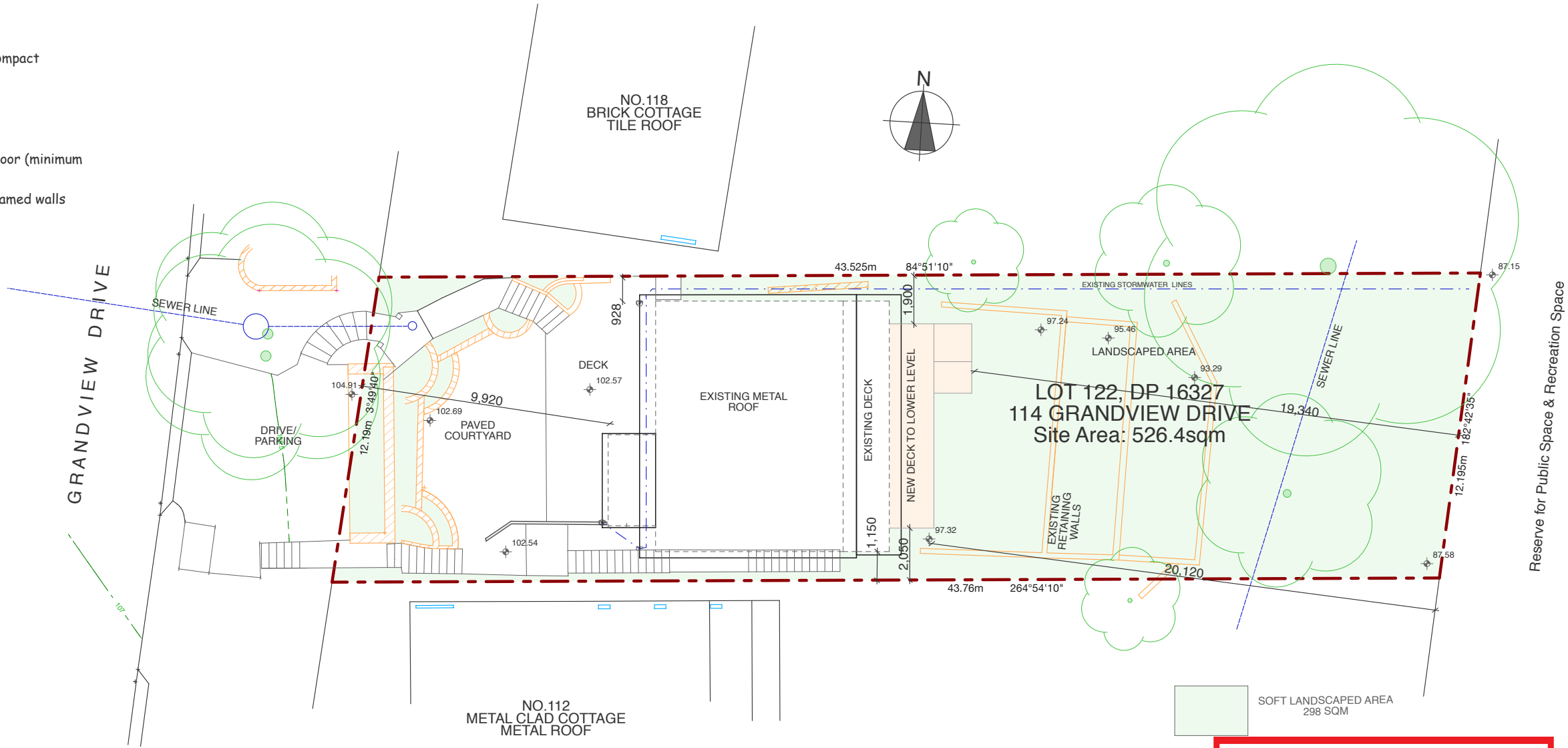


- GENERAL NOTES
- 1. The Works shall be constructed in accordance with NCC2019/BCA and all relevant Australian Standards together with any amendment or replacement of those Standards
 - 2.Smoke alarms shall be installed in accordance with 3.7.5 of the BCA, AS 3786 and Manufacturers Specification recommendations and connected to consumer mains power and interconnected where there is more than one alarm
 - 3. Balustrade construction shall comply with the provisions of Part 3.9.2 of the BCA . Balustrades shall have a minimum height of 1m and no openings greater than 125mm

- BASIX COMMITMENTS:
- 1.All construction to comply with BASIX certificate A403233
 - 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
 - 3. Minimum 3 star water rating shower heads to be installed
 - 4. Minimum 3 star water rating toilets to be installed
 - 5.Minimum 3 star water taps to be installed
 - 6.Minimum R0.8 insulation to be installed below open suspended floor (minimum combined Rvalue with construction R1.5)
 - 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)



SITE CALCULATIONS

Site Area : 526.4 sqm

Existing Soft Landscaped area - 316sqm = 60.03%

Proposed Soft Landscaped area - 298 sqm = 56.6%

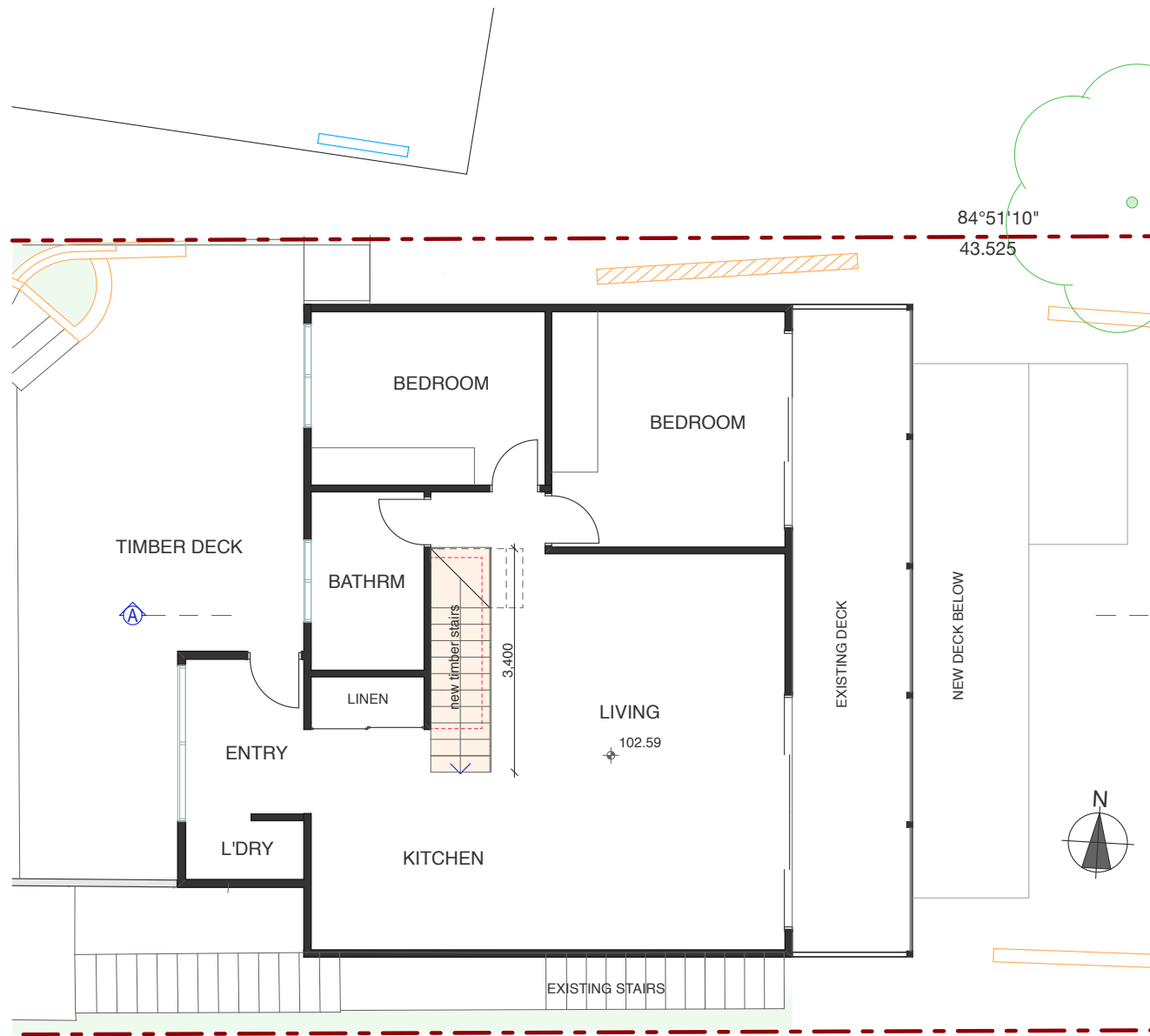


northern
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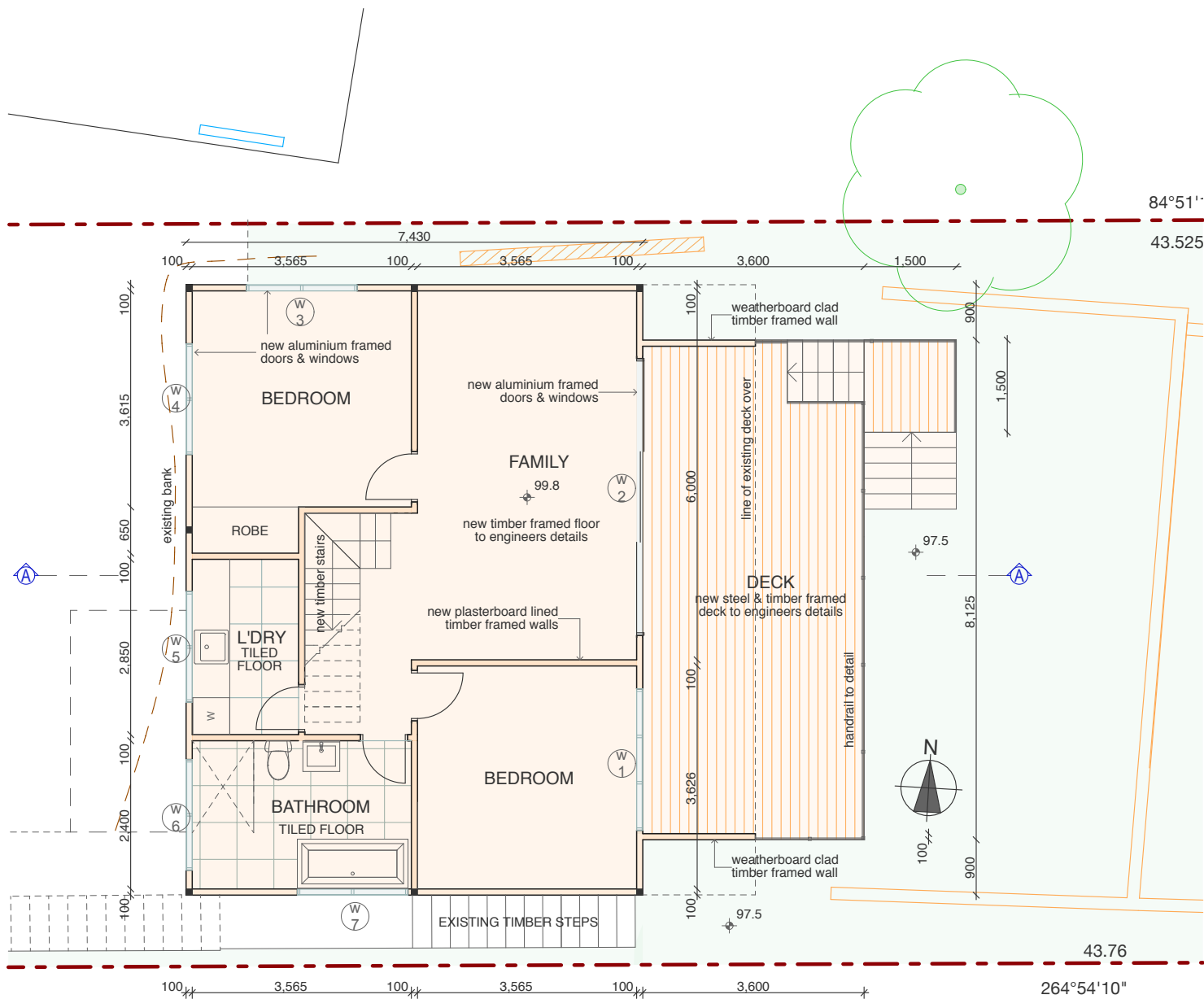
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0266

AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS AND ADDITIONS for: T. Casson & A. Hannon at: LOT 122, DP 16327, 114 Grandview Drive NEWPORT, 2106	drawing title SITE PLAN	date: FEBRUARY 2021 scale: 1:200 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-01



UPPER FLOOR PLAN



LOWER FLOOR PLAN

BASIX COMMITMENTS:

- 1.All construction to comply with BASIX certificate A403233
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R0.8 insulation to be installed below open suspended floor (minimum combined Rvalue with construction R1.5)
- 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0266

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

PROPOSED ALTERATIONS AND ADDITIONS

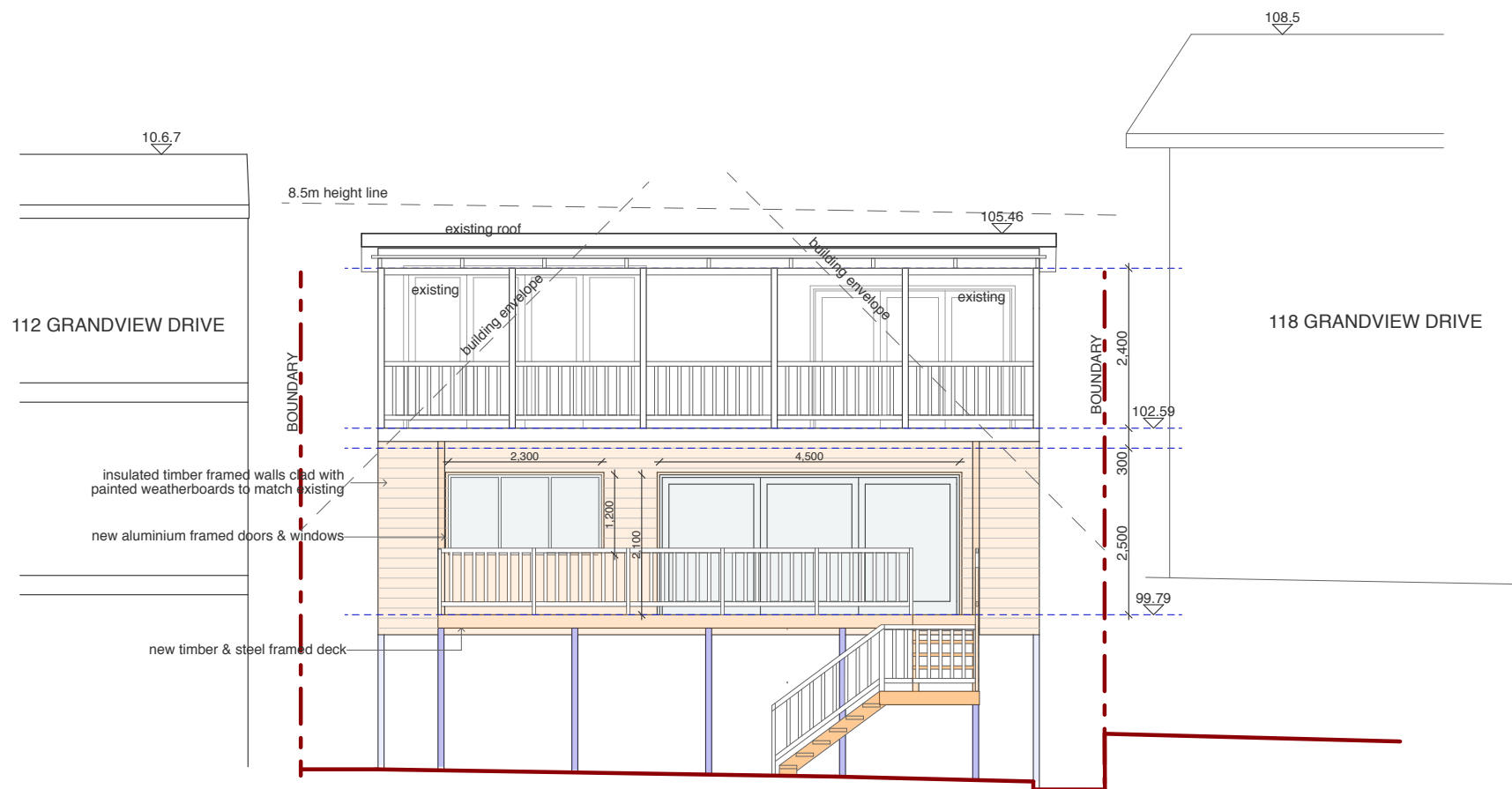
for: T. Casson & A. Hannon
at: LOT 122, DP 16327, 114 Grandview Drive
NEWPORT, 2106

drawing title
FLOOR PLANS

NOTE: Use figured dimension only.
Do not scale off drawings . All levels and
dimensions to be verified prior to construction
of work

date: FEBRURAY 2021
scale: 1:100 (A3)

drawing number
DA-02

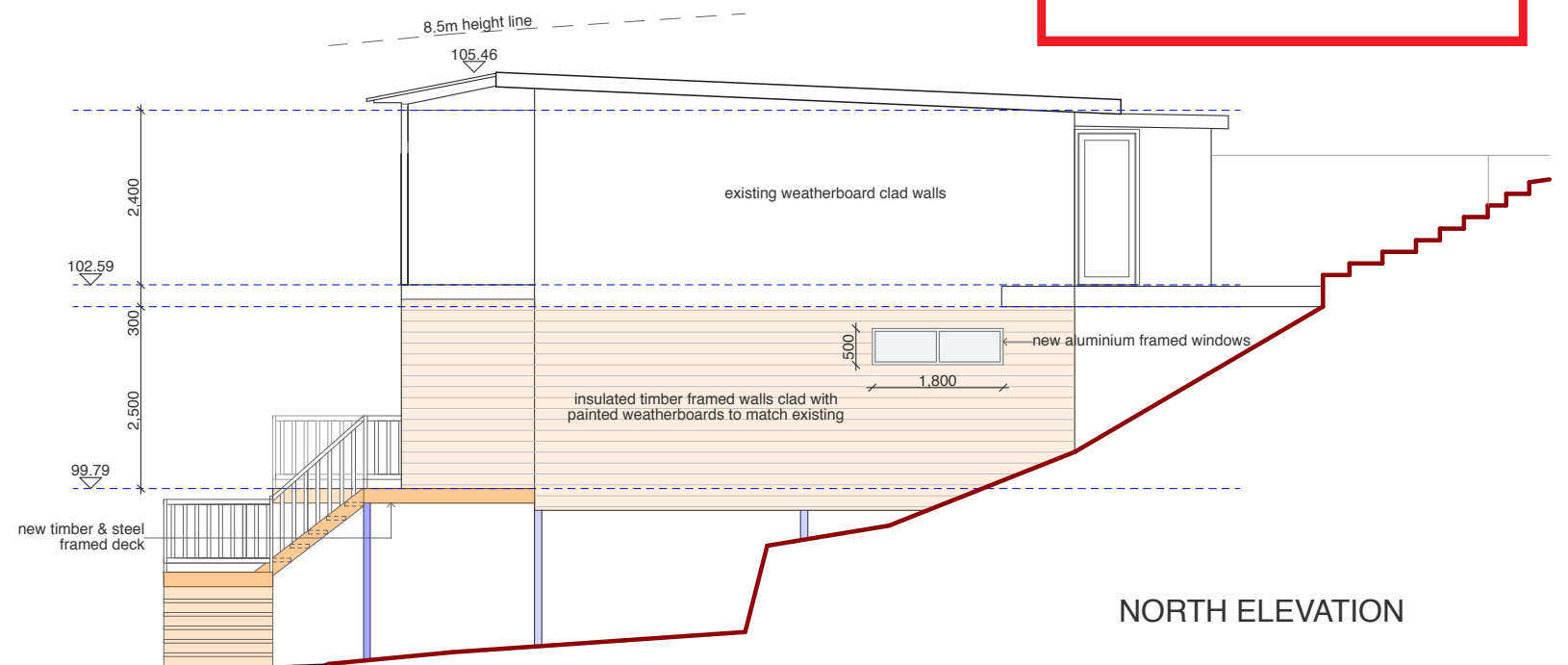


EAST ELEVATION

 northern
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council

**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2021/0266



NORTH ELEVATION

BASIX COMMITMENTS:

- 1.All construction to comply with BASIX certificate **A403233**
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R0.8 insulation to be installed below open suspended floor (minimum combined Rvalue with construction R1.5)
- 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

PROPOSED ALTERATIONS AND ADDITIONS

for: T. Casson & A. Hannon
at: LOT 122, DP 16327, 114 Grandview Drive
NEWPORT, 2106

drawing title

ELEVATIONS

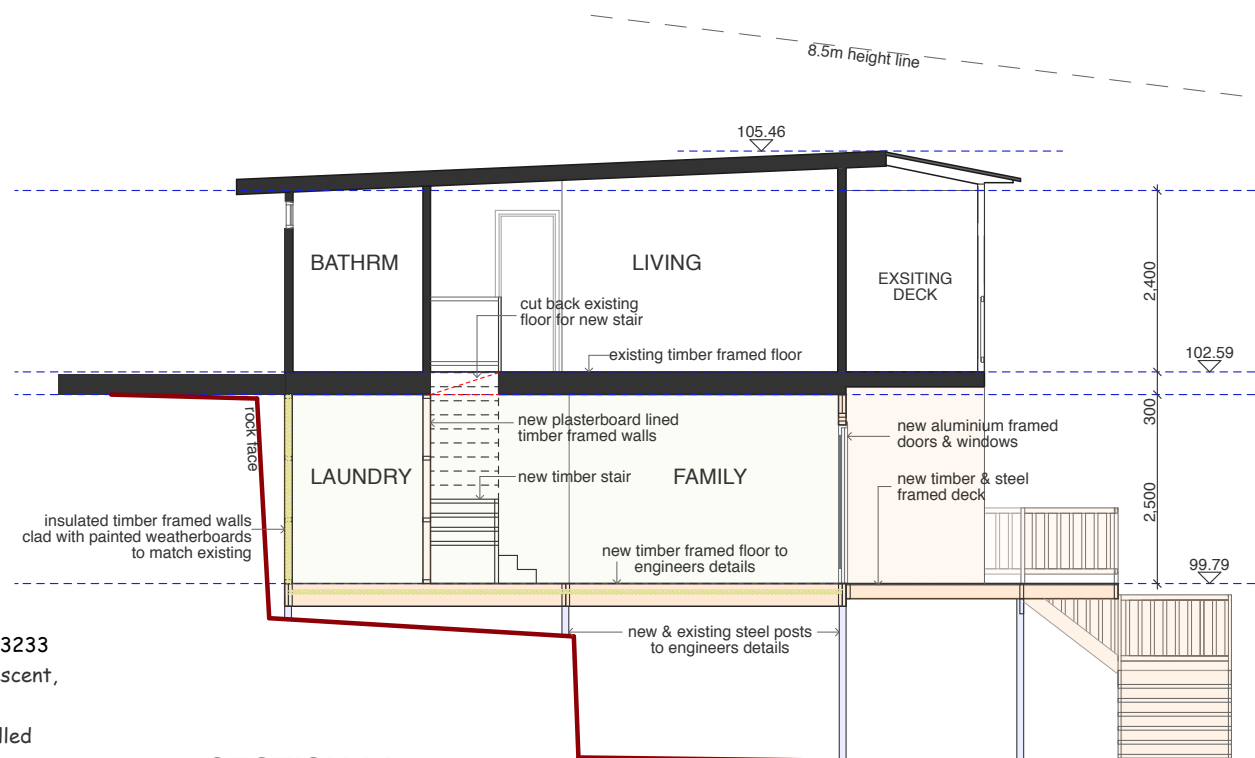
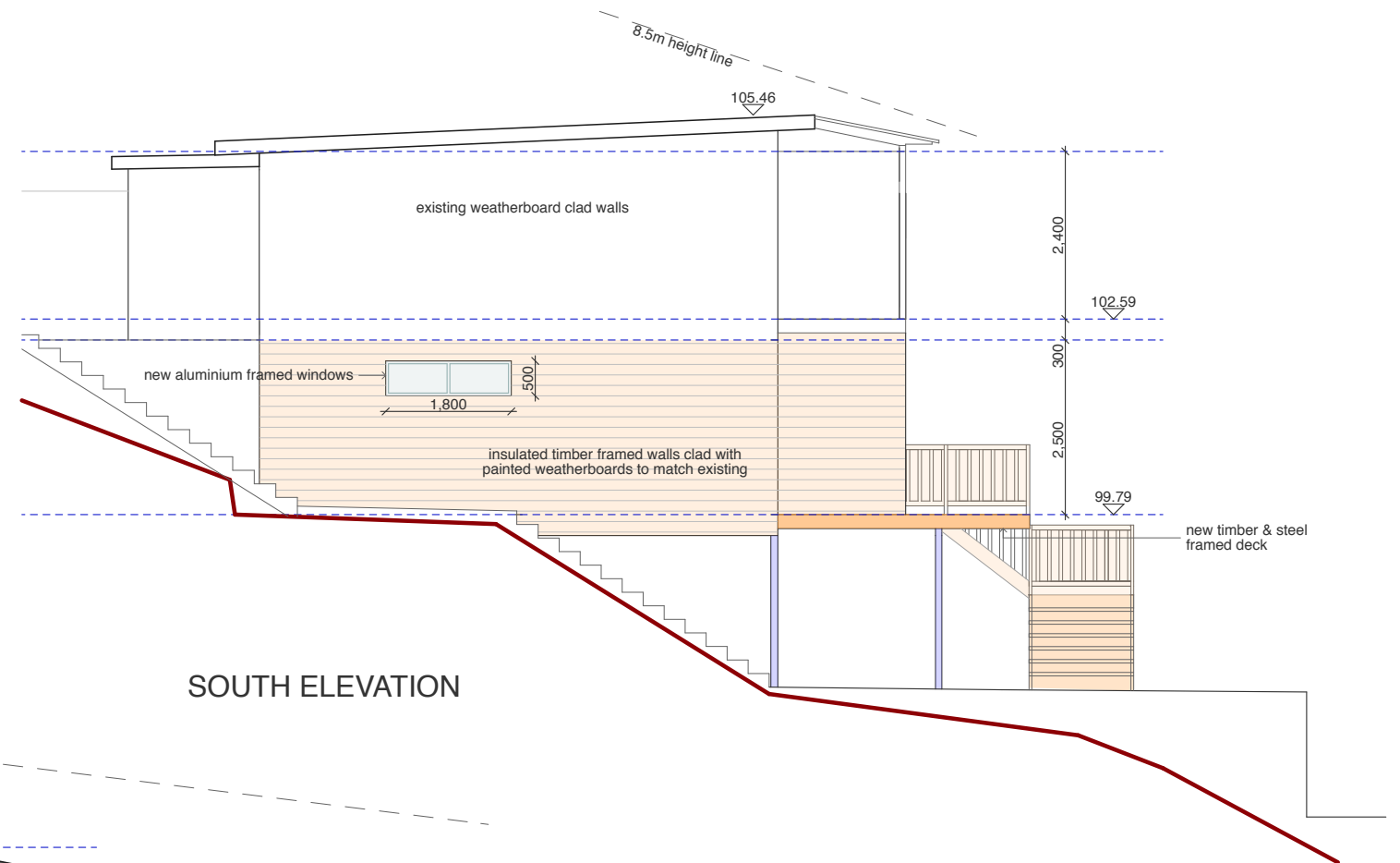
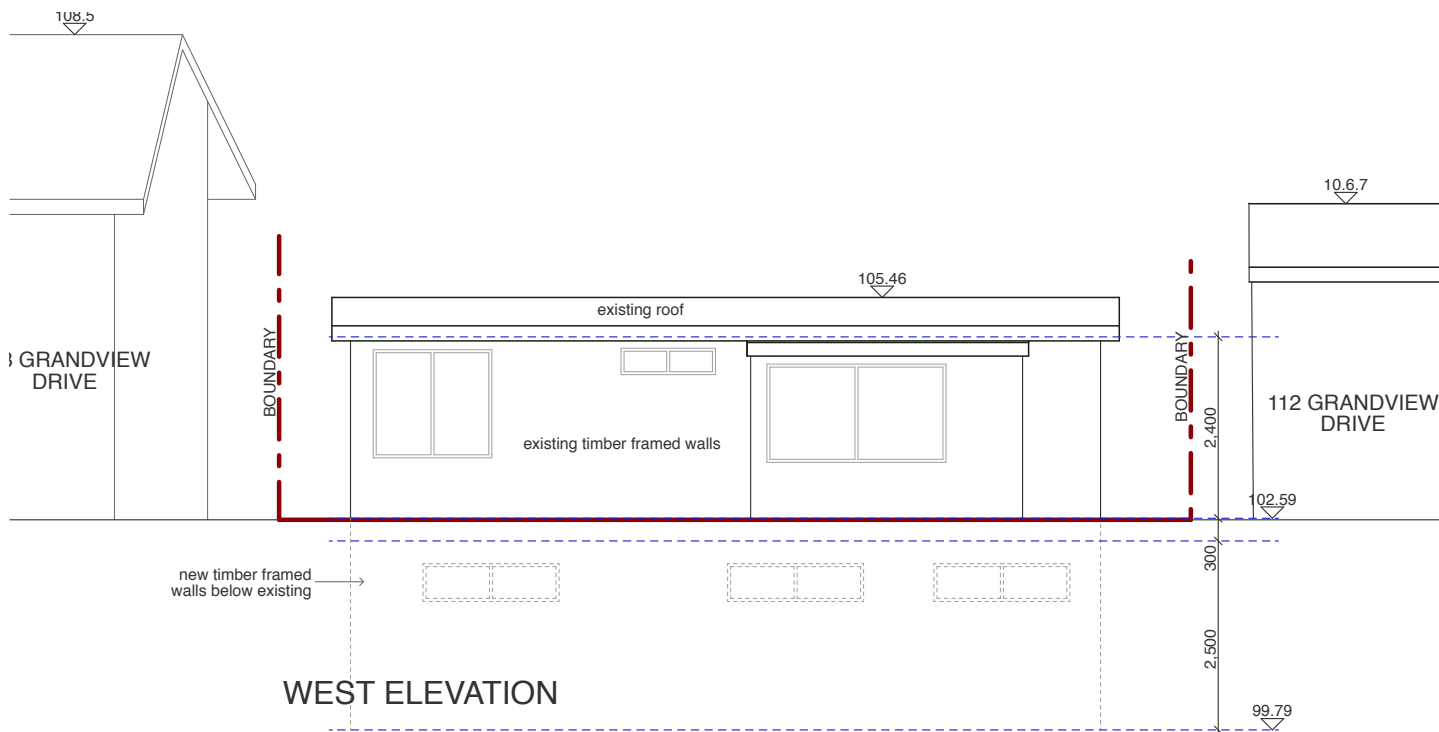
NOTE: Use figured dimension only.
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dimensions to be verified prior to construction
of work

date: FEBRUARY 2021

scale: 1:100 (A3)

drawing number

DA-03



BASIX COMMITMENTS:

- 1.All construction to comply with BASIX certificate A403233
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R0.8 insulation to be installed below open suspended floor (minimum combined Rvalue with construction R1.5)
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**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0266

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

PROPOSED ALTERATIONS AND ADDITIONS

for: T. Casson & A. Hannon
at: LOT 122, DP 16327, 114 Grandview Drive
NEWPORT, 2106

drawing title

ELEVATIONS

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dimensions to be verified prior to construction
of work

date: FEBRUARY 2021

scale: 1:100 (A3)

drawing number

DA-04