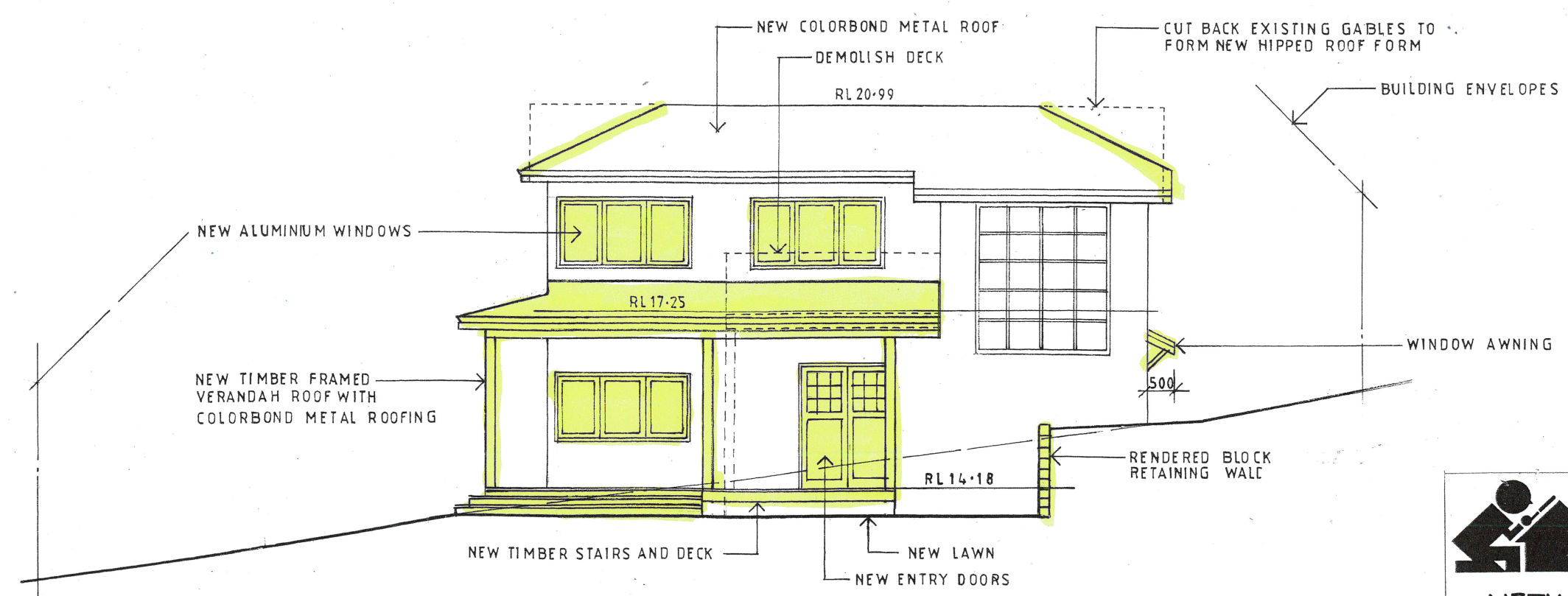


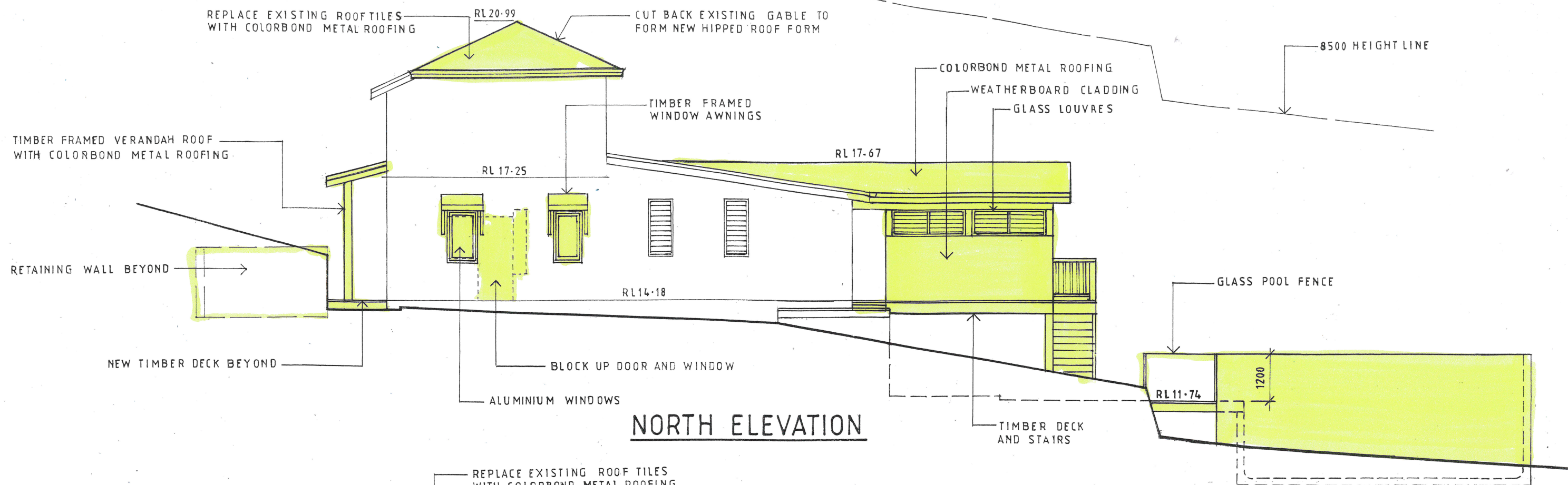
SOUTH ELEVATION



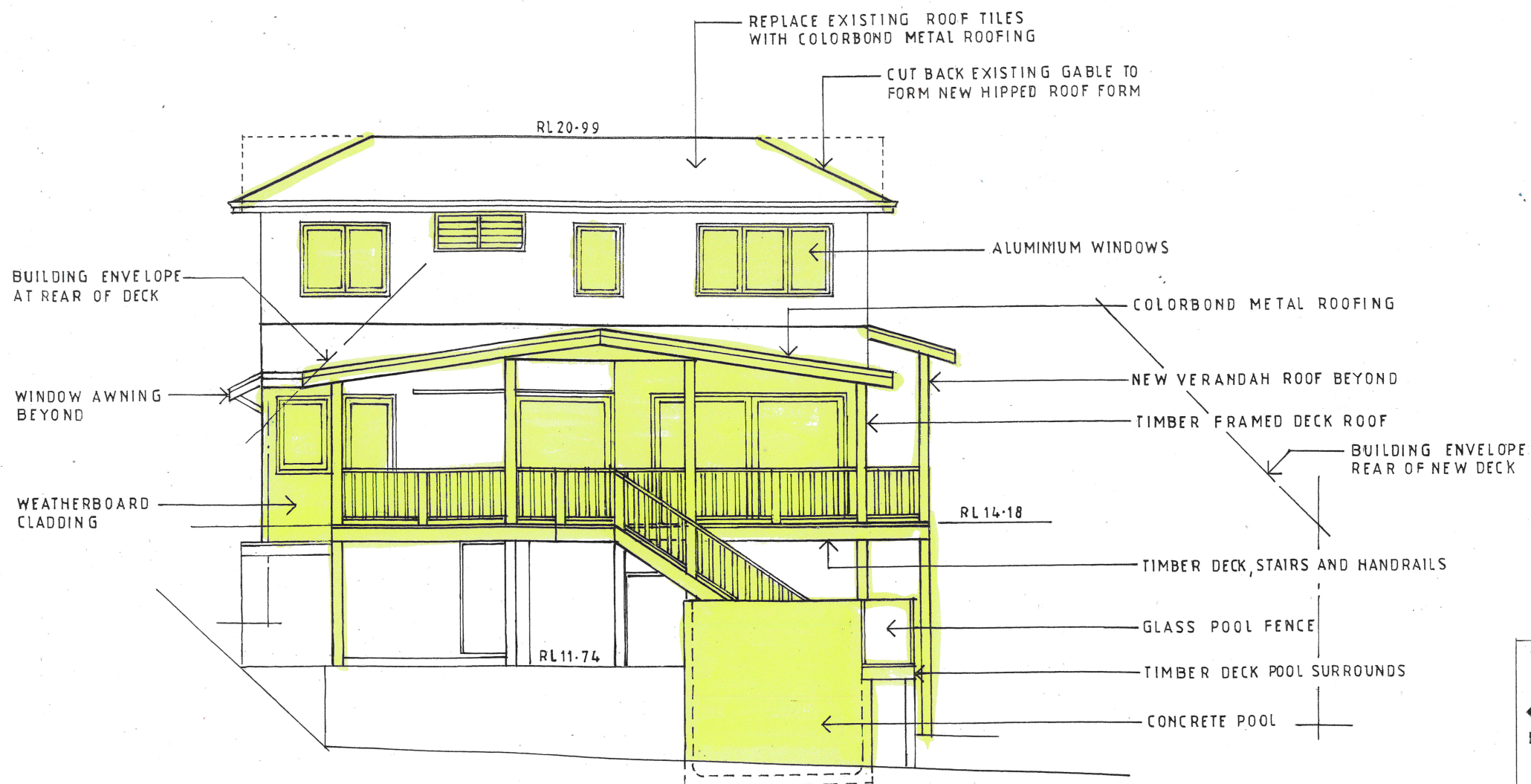
EAST ELEVATION

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ALTERATIONS AND ADDITIONS		
56 CRESCENT ROAD, NEWPORT LOT 37L DP402192		
CLIENT JOSH AND REBECCA LISLE		
SOUTH AND EAST ELEVATION		
DATE JUNE 2018	DRAWN J.WRIGHT	DRG. NO. 06-18-CRE
SCALE 1:100	ISSUE: DA	SHEET NO. 4



NORTH ELEVATION



WEST ELEVATION



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ALTERATIONS AND ADDITIONS

56 CRESCENT ROAD, NEWPORT

LOT 37L DP402192

CLIENT

JOSH AND REBECCA LISLÉ

NORTH AND WEST ELEVATION

DATE

JUNE 2018

DRAWN

J.WRIGHT

DRG. NO.

06-18-CRE

SCALE

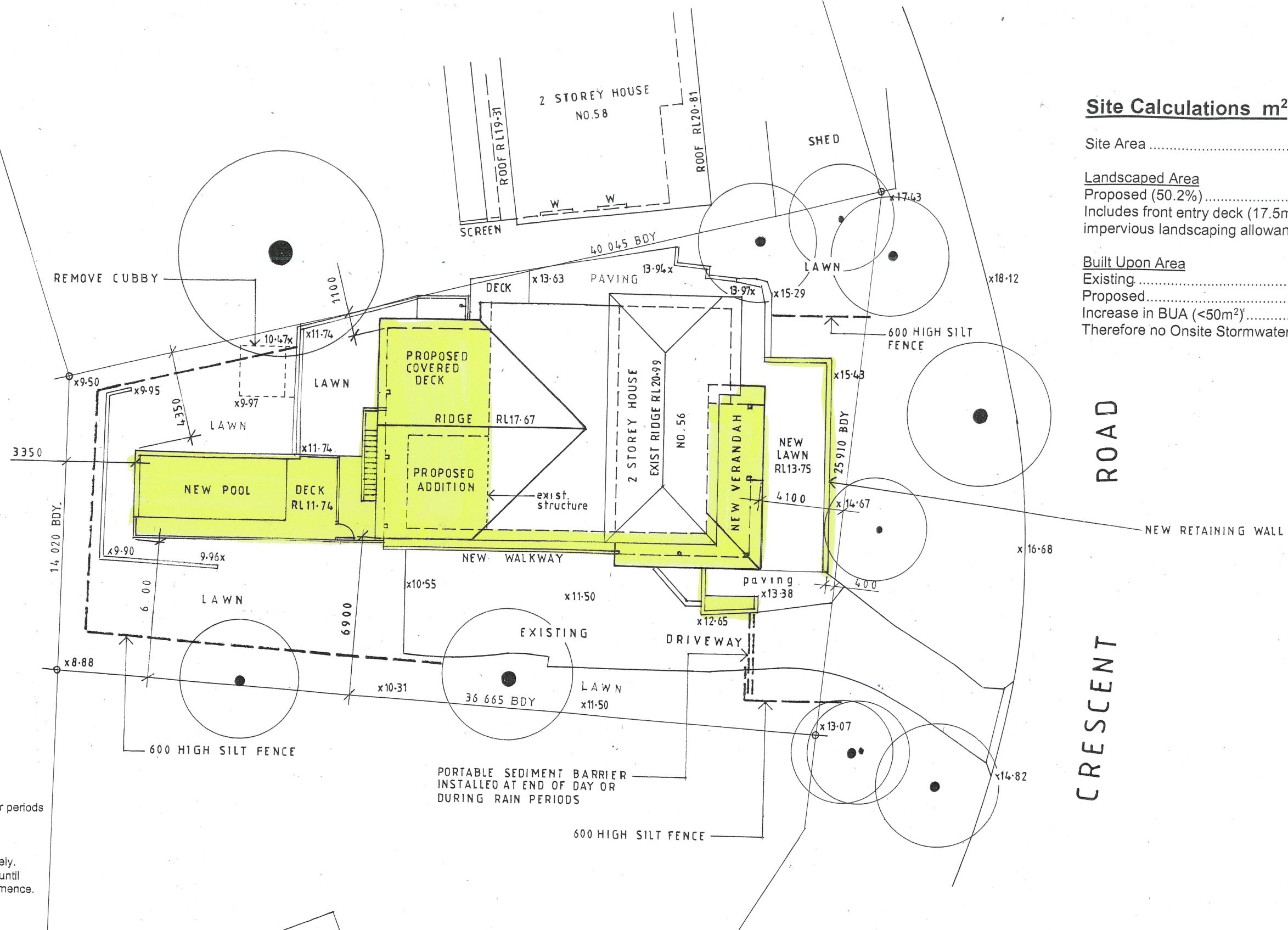
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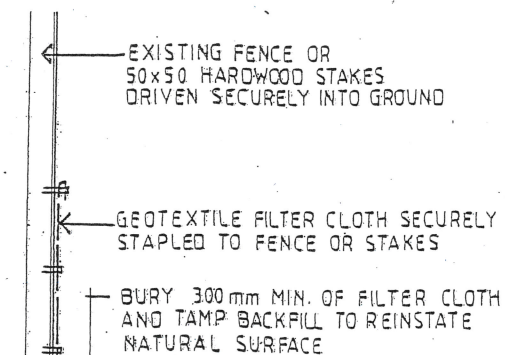
SHEET NO.

5



Sediment and Erosion Control

- Install 600 high silt fence as shown.
- Clear fences of sediment periodically and after periods of heavy rain.
- Repair any damage to silt fence immediately.
- Brush clean truck tyres before leaving site.
- Clean up spillages outside silt fence immediately.
- Sediment control measures to be left in place until boundary fences and landscaping works commence.



SITE PLAN



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Site Calculations m²

Site Area746.1

Landscaped Area

Proposed (50.2%)	374.5
------------------------	-------

Includes front entry deck (17.5m²) as
impervious landscaping allowance

Built Upon Area

Existing 342.6

Proposed.....	389.1
---------------	-------

Increase in BUA (<50m ²)	46.5
--------------------------------------	------

Therefore no Onsite Stormwater Detention required

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
D1	NW	8.64	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	4.32	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D3	NW	4.32	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	NW	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	NW	1.35	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	NE	1.01	5.1	4.4	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NE	1.01	5.6	4.6	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D8	SE	2.27	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	SE	2.88	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	SW	1.92	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	NW	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W13	NW	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	NW	1.12	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	NW	1.92	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W16	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	SW	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Pool and Spa

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 39.9 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: solar only.

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)



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ALTERATIONS AND ADDITIONS

56 CRESCENT ROAD, NEWPORT
LOT 37L DP402192

CLIENT

JOSH AND REBECCA LISLE

BASIX COMMITMENTS

DATE
JUNE 2018

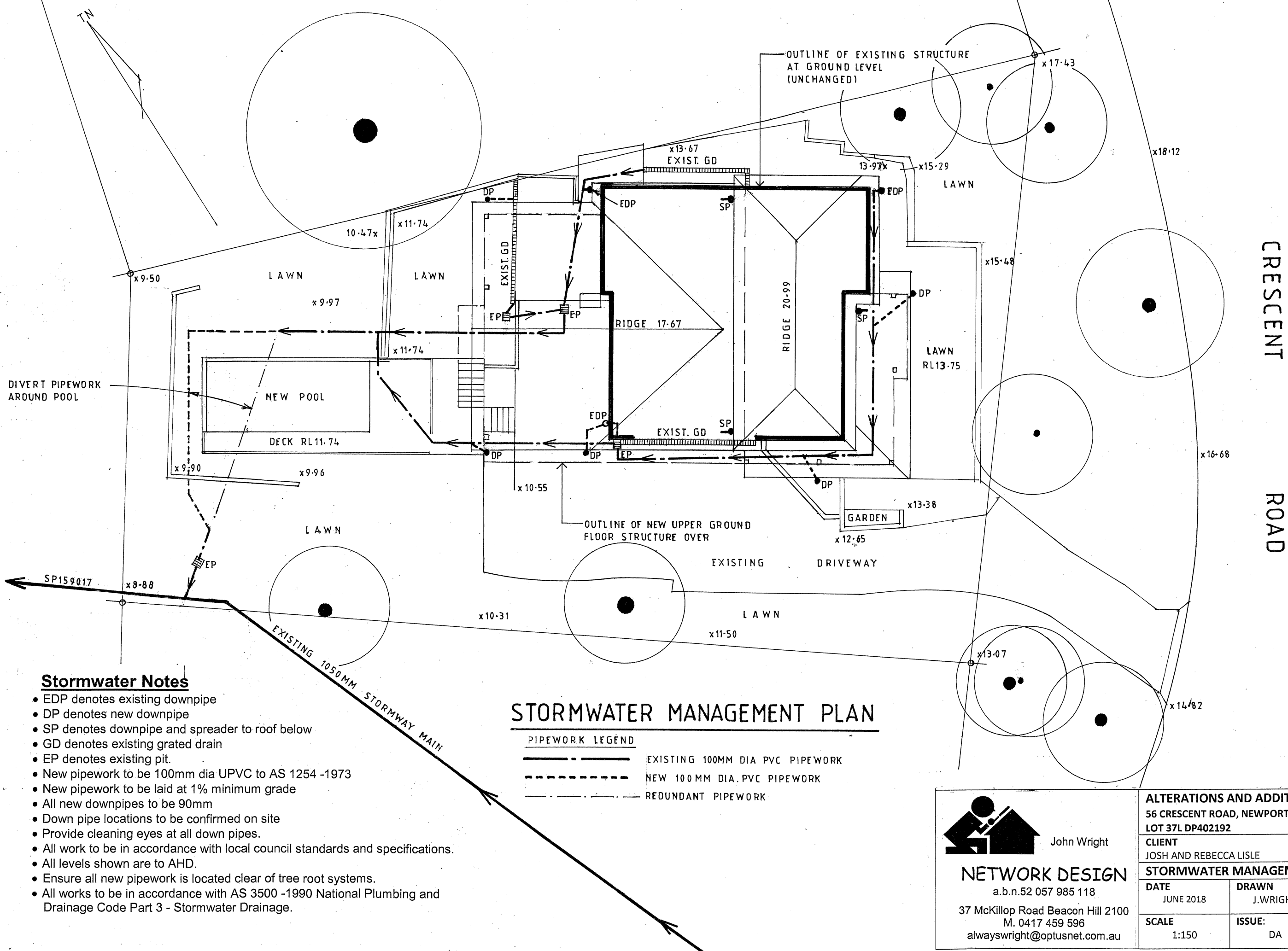
DRAWN
J.WRIGHT

DRG. NO.
06-18-CRE

SCALE
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ISSUE:
DA

SHEET NO.
8



Stormwater Notes

- EDP denotes existing downpipe
- DP denotes new downpipe
- SP denotes downpipe and spreader to roof below
- GD denotes existing grated drain
- EP denotes existing pit.
- New pipework to be 100mm dia UPVC to AS 1254 -1973
- New pipework to be laid at 1% minimum grade
- All new downpipes to be 90mm
- Down pipe locations to be confirmed on site
- Provide cleaning eyes at all down pipes.
- All work to be in accordance with local council standards and specifications.
- All levels shown are to AHD.
- Ensure all new pipework is located clear of tree root systems.
- All works to be in accordance with AS 3500 -1990 National Plumbing and Drainage Code Part 3 - Stormwater Drainage.

STORMWATER MANAGEMENT PLAN

PIPEWORK LEGEND

- — — — — EXISTING 100MM DIA PVC PIPEWORK
- - - - - NEW 100MM DIA PVC PIPEWORK
- . - . - . REDUNDANT PIPEWORK

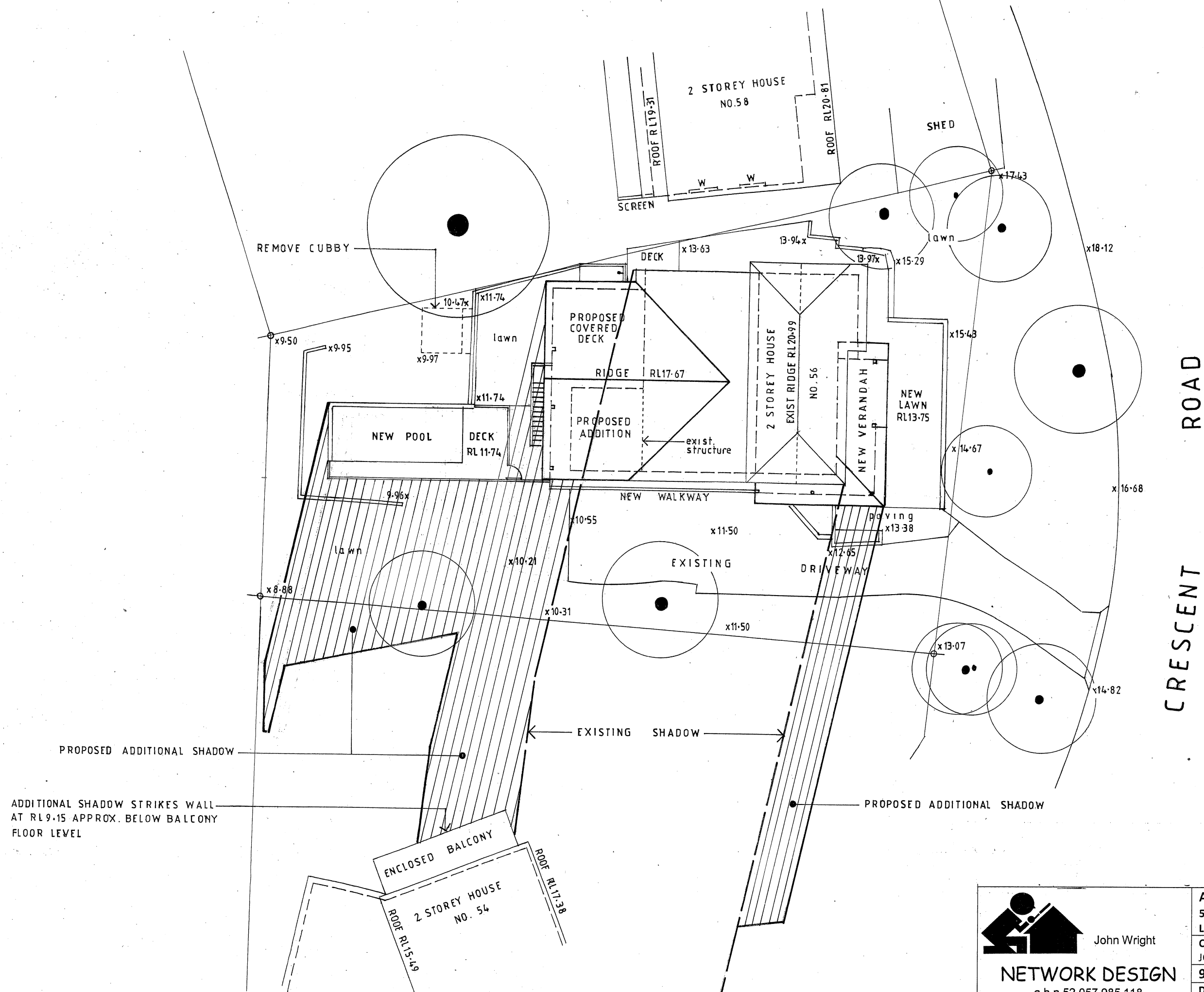


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ALTERATIONS AND ADDITIONS 56 CRESCENT ROAD, NEWPORT LOT 37L DP402192		
CLIENT JOSH AND REBECCA LISLE		
STORMWATER MANAGEMENT PLAN		
DATE JUNE 2018	DRAWN J.WRIGHT	DRG. NO. 06-18-CRE
SCALE 1:150	ISSUE: DA	SHEET NO. 9



ADDITIONAL SHADOW STRIKES WALL
AT RL9.15 APPROX. BELOW BALCONY
FLOOR LEVEL

9AM WINTER SHADOW PLAN



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LOT 37L DP402192

CLIENT
JOSH AND REBECCA LISLE

9AM WINTER SHADOW PLAN

DATE
JUNE 2018

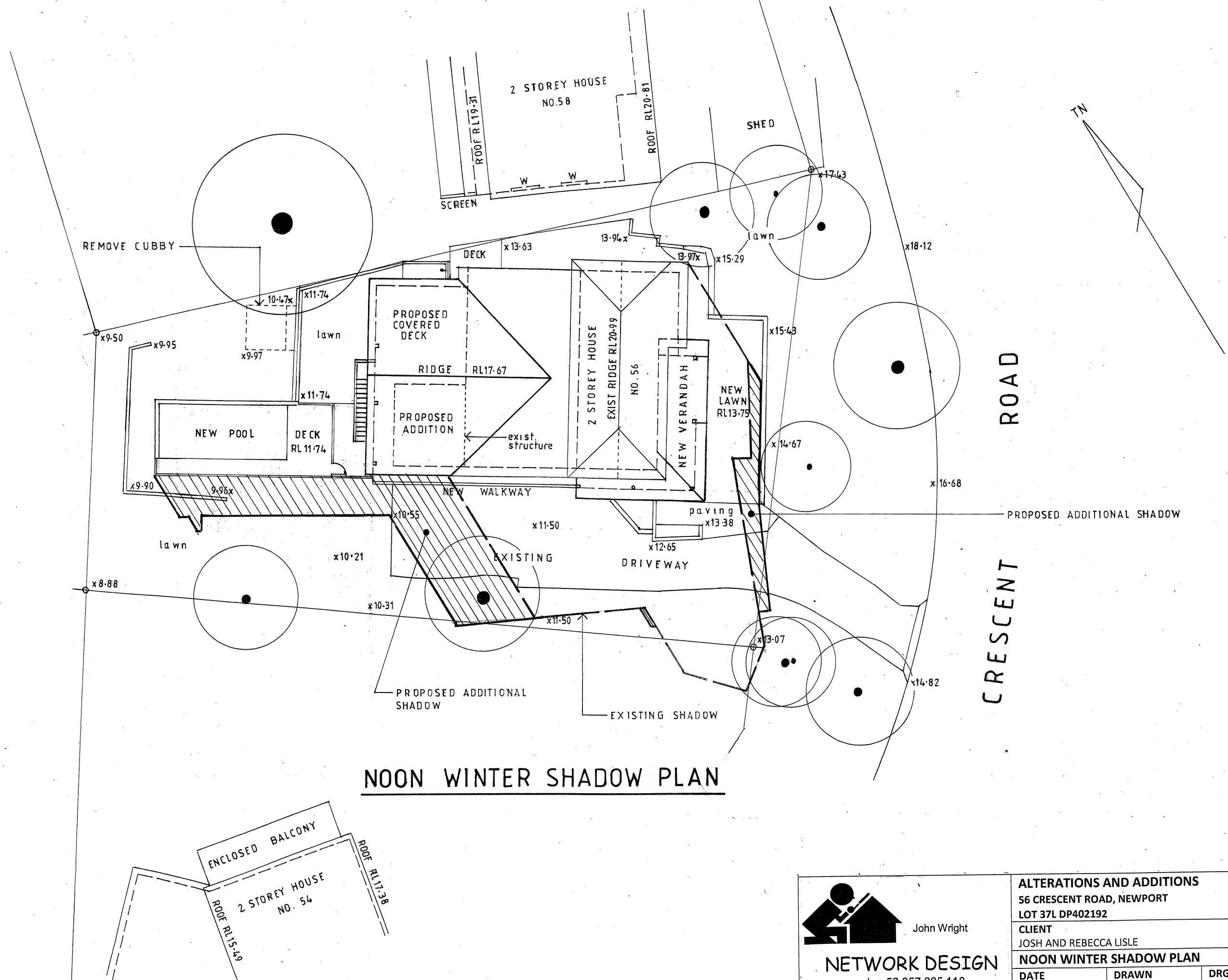
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06-18-CRE

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10



NOON WINTER SHADOW PLAN



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JOSH AND REBECCA LISLE

NOON WINTER SHADOW PLAN

DATE

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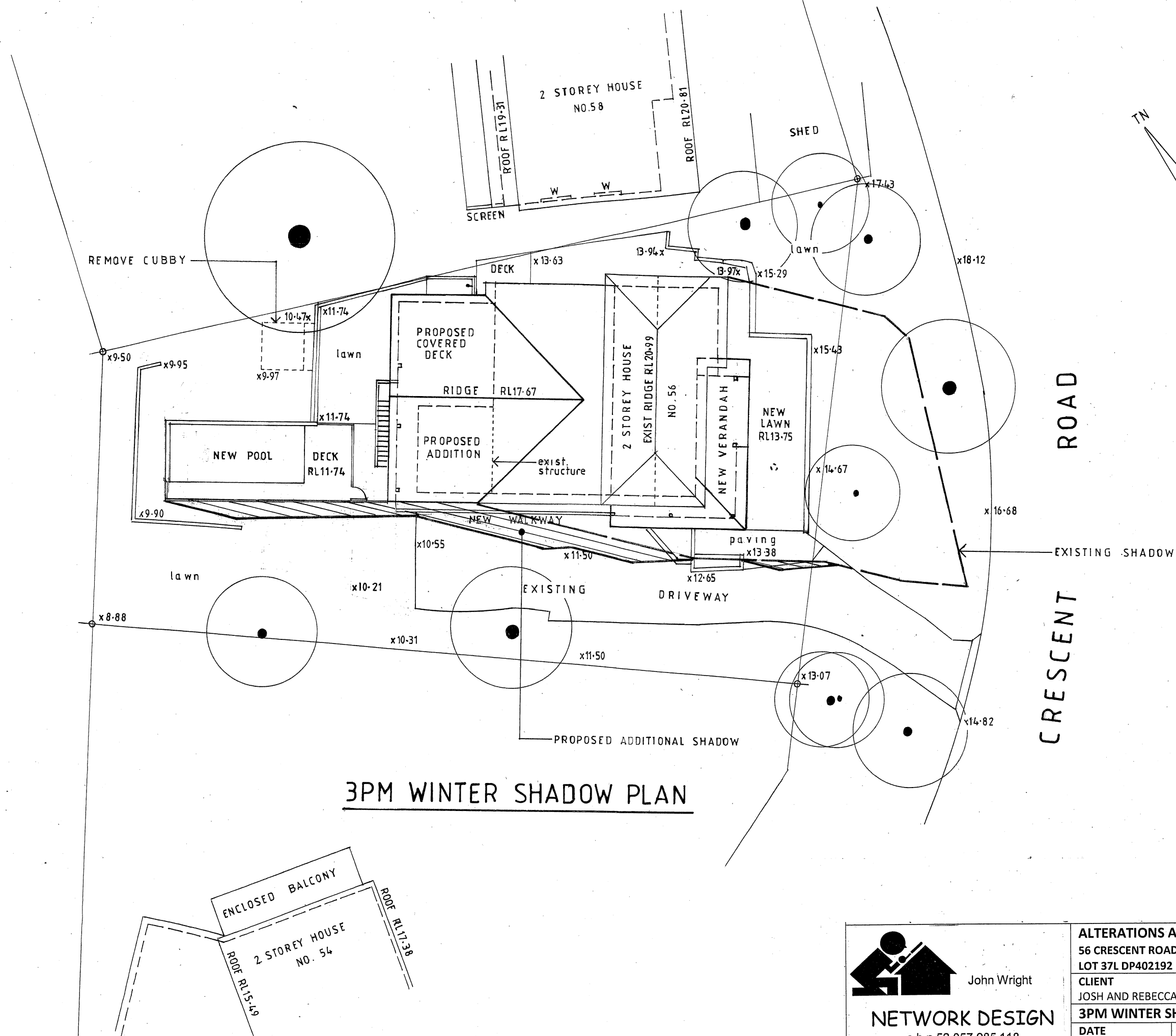
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3PM WINTER SHADOW PLAN



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CLIENT

JOSH AND REBECCA LISLE

3PM WINTER SHADOW PLAN

DATE

JUNE 2018

DRAWN

J. WRIGHT

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06-18-CRE

SCALE

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DA

SHEET NO.

12

Schedule of Exterior Finishes

Alterations and Additions at
56 Crescent Road, Newport



NEW WEATHERBOARD CLADDING TO MATCH EXISTING INCLUDING WALL COLOUR
TIMBER FASCIAS AND TRIM - WHITE TO MATCH EXISTING
ALUMINIUM WINDOWS – WHITE TO MATCH EXISTING
NEW COLORBOND ROOFING AND GUTTERS TO MATCH EXISTING METAL ROOFING
AT REAR INCLUDING COLOUR – WOODLAND GREY

Woodland Grey

