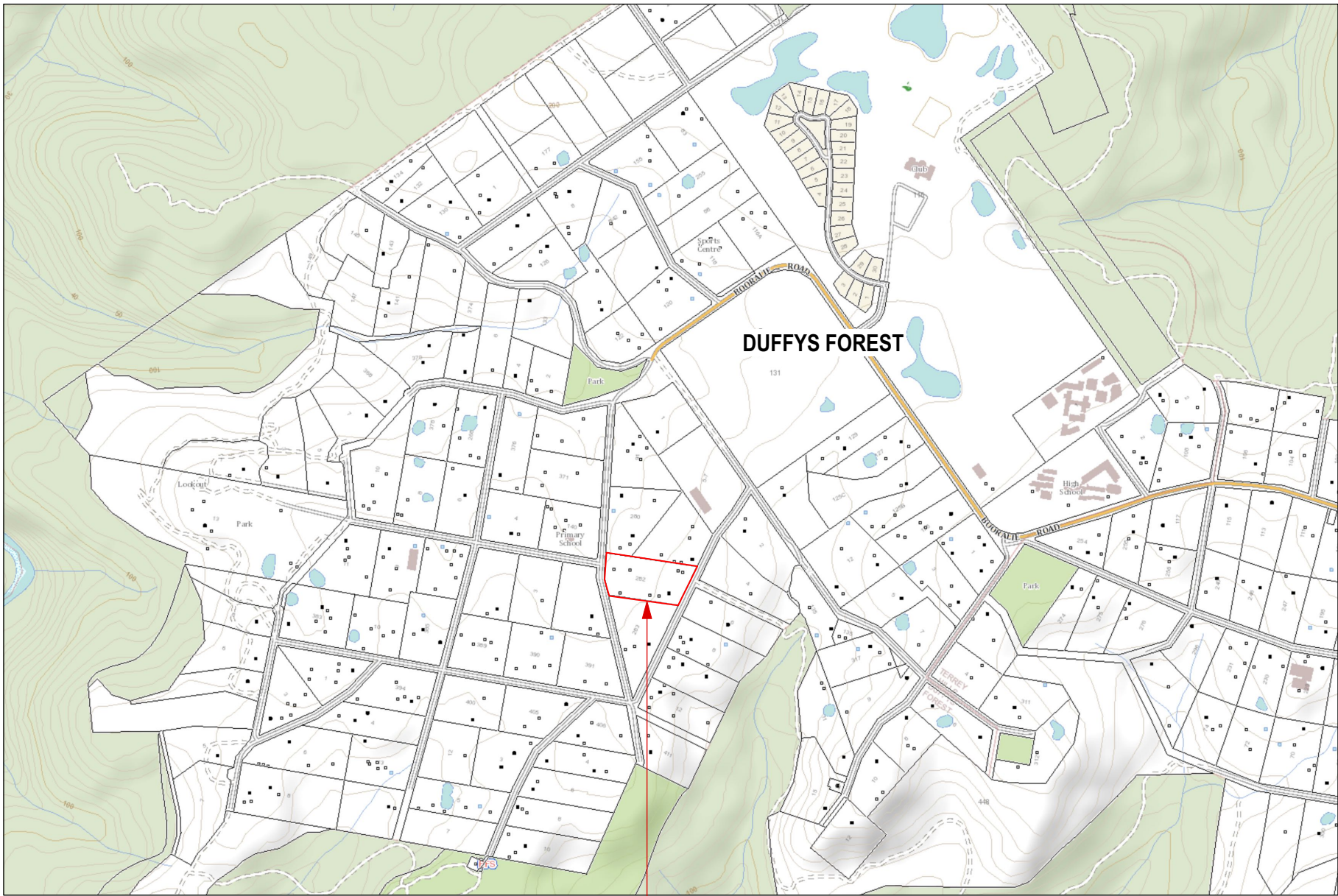


DRAWING REGISTER

		Issue Date
		day 6
		month 8
		year 19
Drawing Number	Drawing Title	Revision
A00	Drawing Register & Location Plan	o
A01	Site Analysis Plan 1:200	o
A02	Site Plan 1:200, Area Calculations	o
A03	Ground Floor Plan - Existing 1:100	o
A04	Ground Floor Plan - Proposed 1:100	o
A05	First Floor Plan - Proposed 1:100	o
A06	North & East Elevation 1:100	o
A07	South & West Elevation 1:100	o
A08	Section A 1:100, Pedestrian Entry Gate Plan / Elevation	o
A09	Section B, Section C 1:100	o
A10	Erosion & Sediment Control Plan 1:200	o
A11	External Window & Door Schedule / External Finishes Schedule	o
A12	BASIX Requirements (sheet 1)	o
Document Distribution:		DA1
Client		o
Structural Engineer		
Hydraulic Engineer		
Landsc. Consultant		
Approval Authority		o

GENERAL BUILDING SPECIFICATION

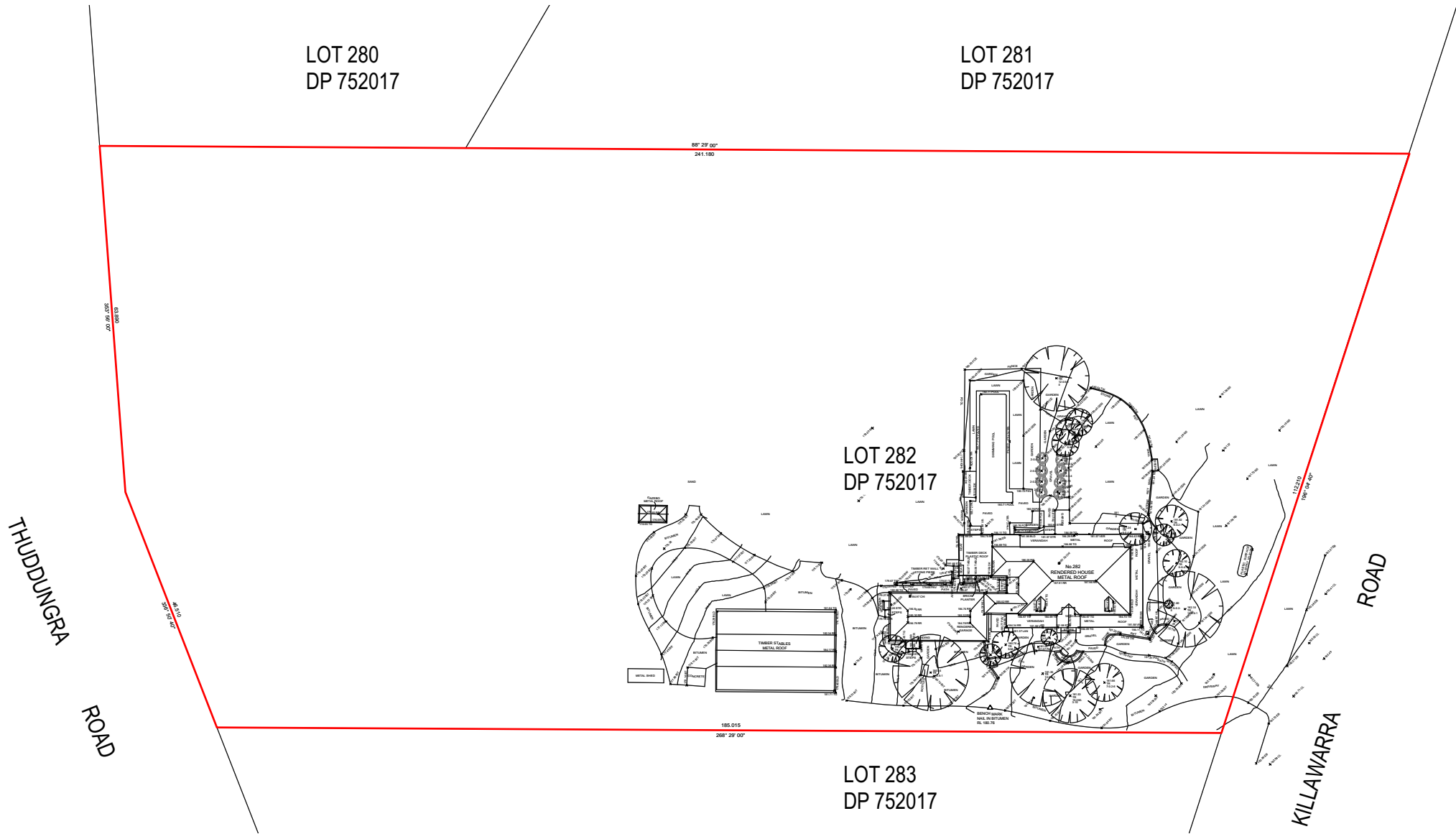
- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to an on-site system accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Design before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.



LOCATION PLAN

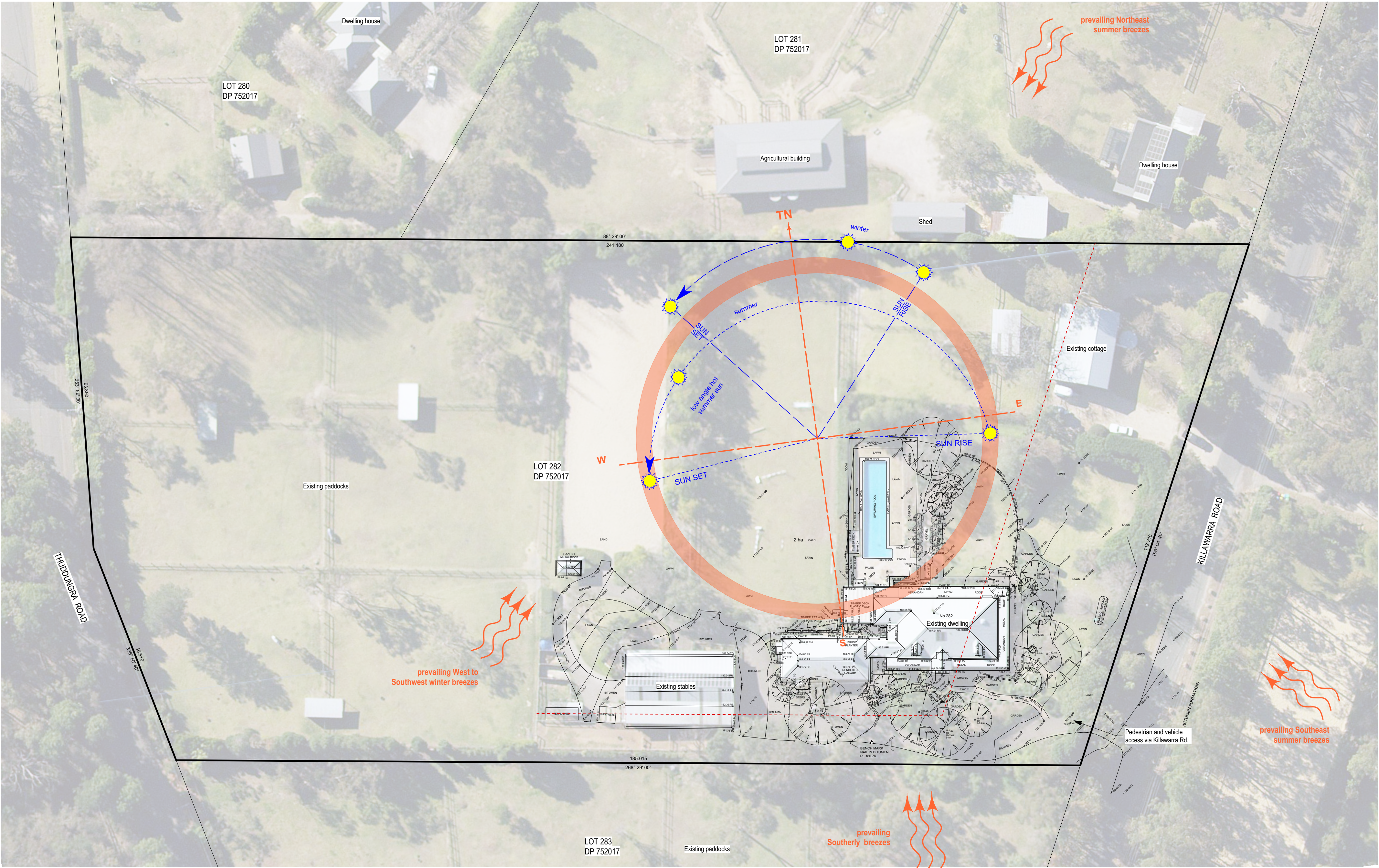
NOT TO SCALE. Source: SIXMaps

LOT 282 DP 752017
282 Thuddungra Rd, also known as
282 Killawarra Rd



LOT DIAGRAM

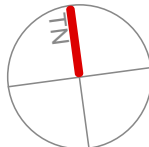
1:1000. Source: Survey



1 Site Analysis Plan
Scale: 1:500



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PTY LTD
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Terrey Hills, NSW, 2084,
P 9450 1950
E info@cadenceandco.com.au
ABN: 12 168 714 752
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REVISION DATE REVISION NOTE

CLIENT:
Kristi & Sean Muffet

PROJECT:
282 Thuddungra Road, Duffys Forest
Being LOT 282 in D.P. 752017

DRAWING:
Site Analysis

PROJECT NO:
H18/109

ISSUE TYPE:
DA1

DRAWN:
SS

CHKD:

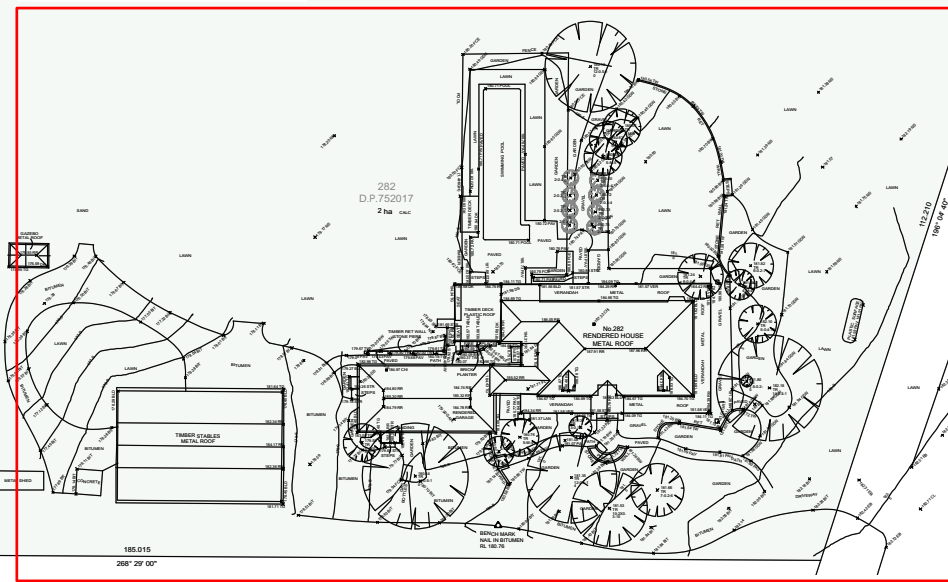
ISSUE DATE:
6/8/19

SHEET NO:
A01

SCALE @ A2:
1:500

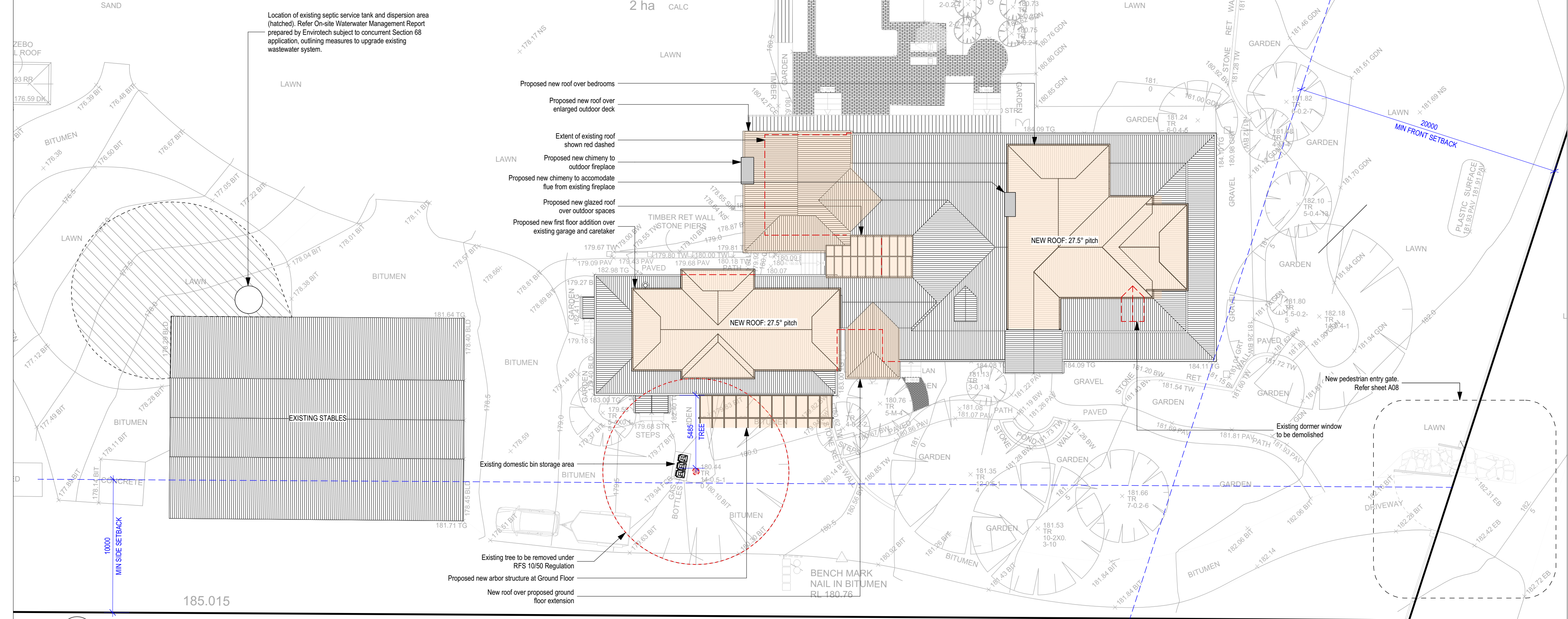
REVISION:

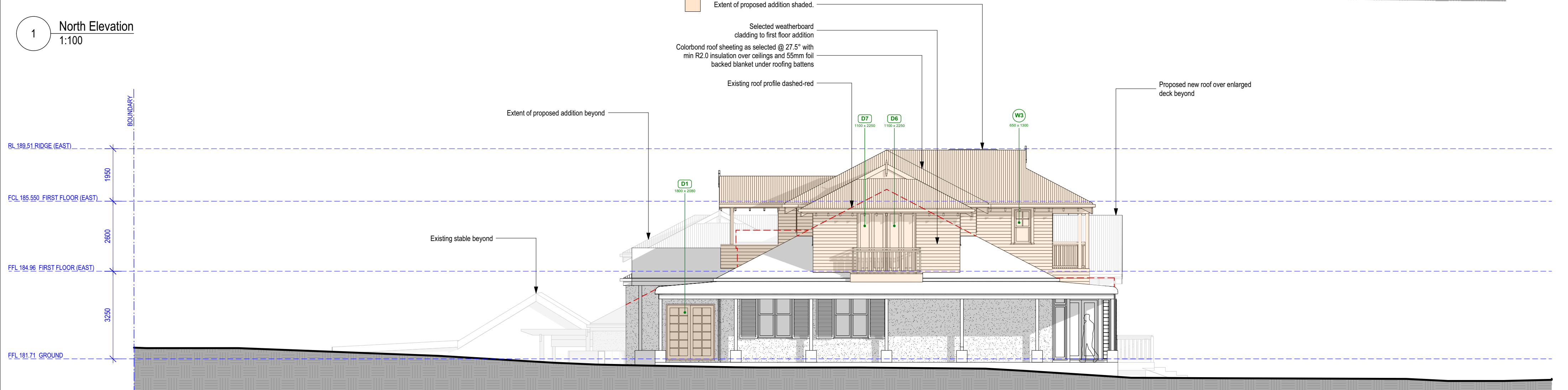
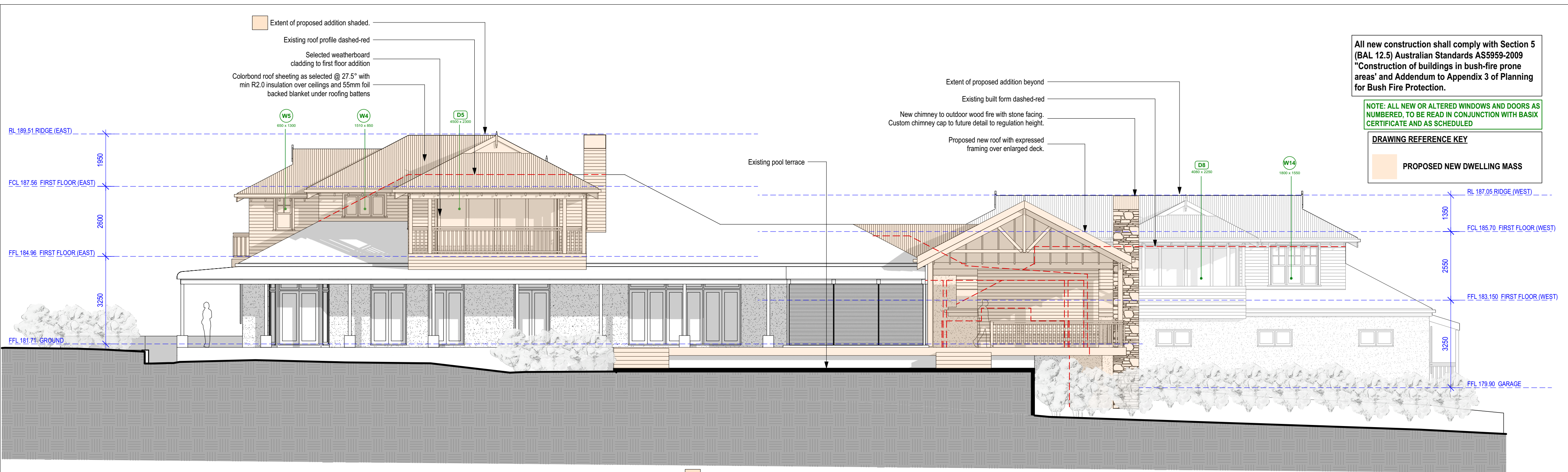
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.




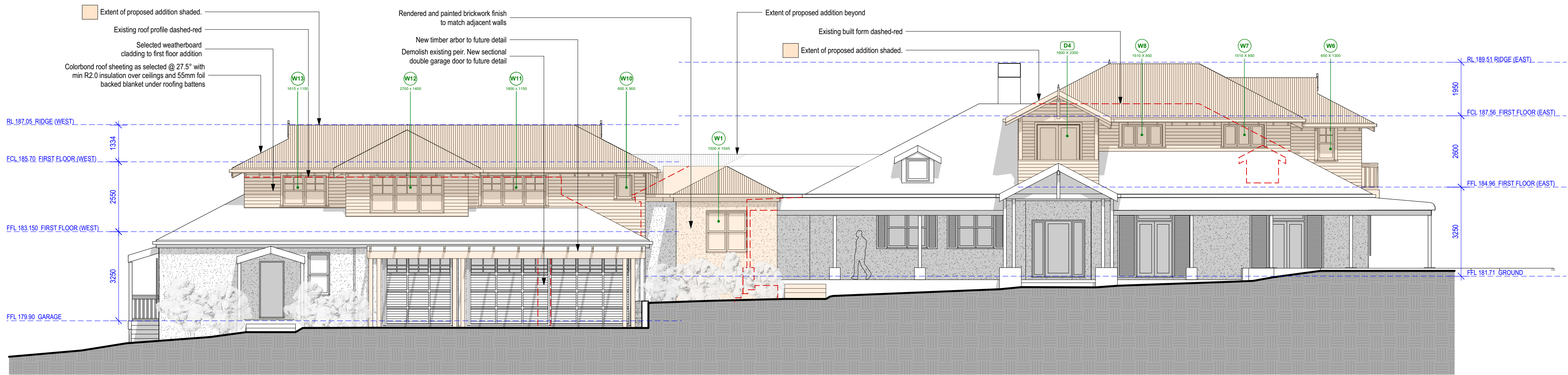
SAND

Location of existing septic service tank and dispersion area (hatched). Refer On-site Wastewater Management Report prepared by Envirotech subject to concurrent Section 68 application, outlining measures to upgrade existing wastewater system.





<div><div>CADENCE & CO</div></div> <div>Suite 7, 287 Mona Vale Rd, Terry Hills, NSW, 2084, P 9450 1950 E info@cadenceandco.com.au ABN: 12 168 714 752 Copyright © CADENCE & CO DESIGN PTY LTD</div>	<div>CADENCE & CO DESIGN</div> <div>PTY LTD</div>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
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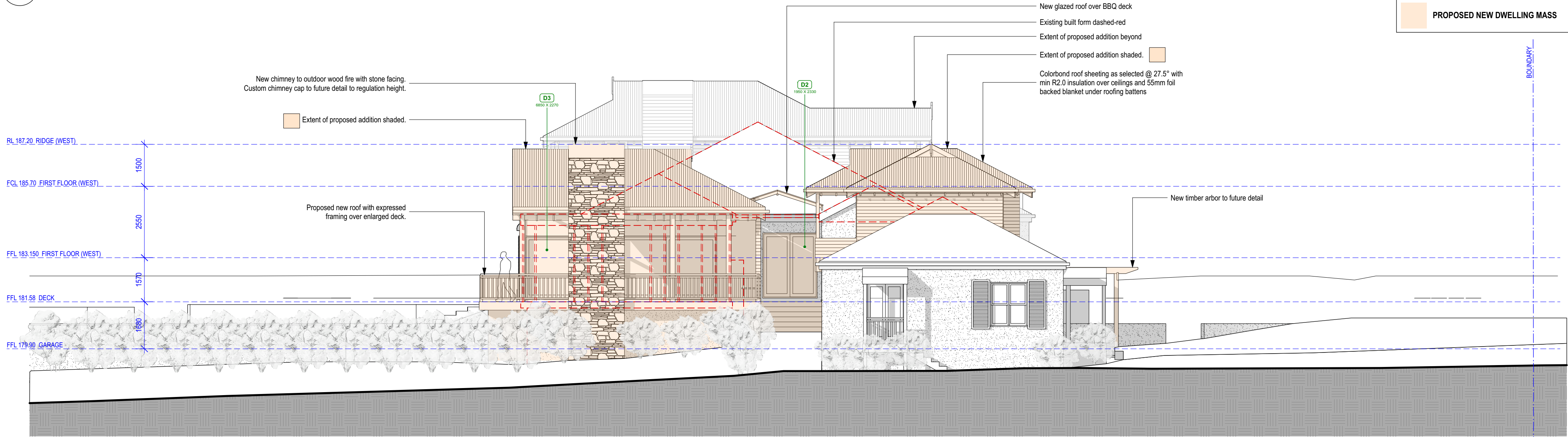
All new construction shall comply with Section 5 (BAL 12.5) Australian Standards AS5959-2009 "Construction of buildings in bush-fire prone areas" and Addendum to Appendix 3 of Planning for Bush Fire Protection.

NOTE: ALL NEW OR ALTERED WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND AS SCHEDULED

DRAWING REFERENCE KEY

PROPOSED NEW DWELLING MASS

1 South Elevation
1:100



3 West Elevation
1:100



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P 9450 1960
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ABN: 12 168 714 752
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REVISION	DATE	REVISION NOTE
----------	------	---------------

CLIENT:
Kristi & Sean Muffet

PROJECT:
**282 Thuddungra Road, Duffys Forest
Being LOT 282 in D.P. 752017**

DRAWING:
South & West Elevation

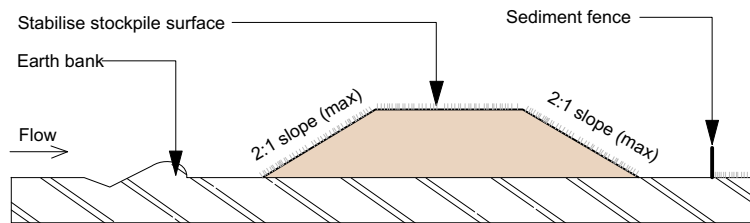
PROJECT NO:
H18/109

ISSUE TYPE:
DA1

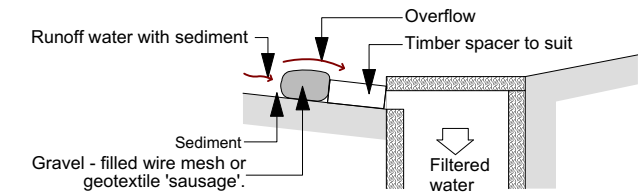
DRAWN:	SHEET NO:
SS	A07
CHKD:	SCALE @ A2:
	1:100
ISSUE DATE:	REVISION:
9/8/19	

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

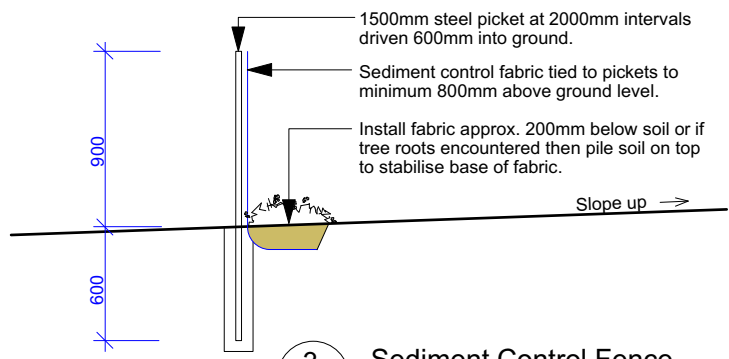
SEDIMENT AND EROSION CONTROL MEASURES



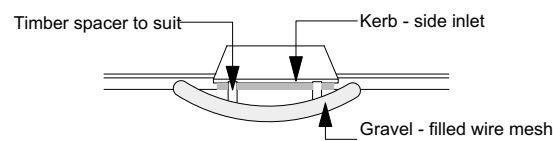
2 Soil Stockpile detail
Section NTS



4 Mesh & gravel inlet filter
Section NTS



3 Sediment Control Fence
Section NTS

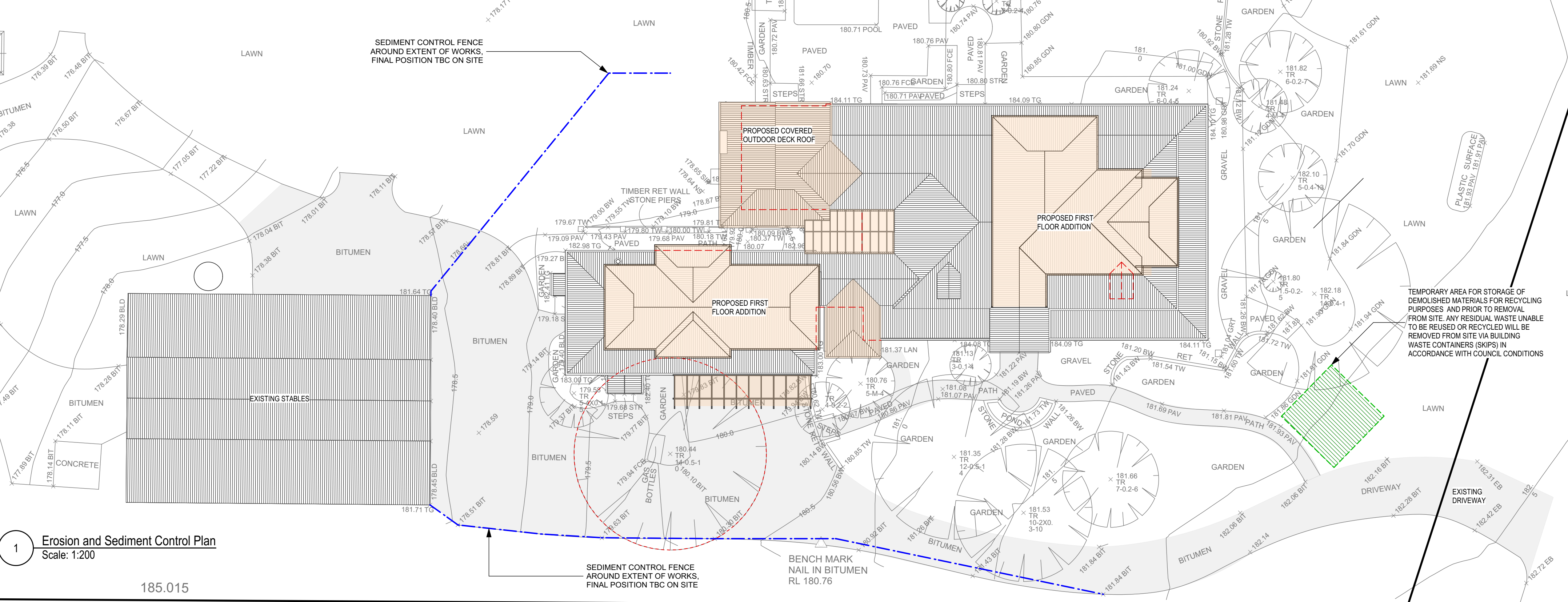


5 Mesh & gravel inlet filter
Plan NTS

GENERAL NOTES:

- Install temporary sediment control fence as shown.
- Provide temporary haybales where sediment control fence requires dismantling for site access.
- Install mesh and drainage inlet protection on stormwater inlets down slope of site

282
P.752017
2 ha CALC



1 Erosion and Sediment Control Plan
Scale: 1:200

185.015

268° 29' 00"



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REVISION DATE REVISION NOTE

CLIENT:

Kristi & Sean Muffet

PROJECT:

282 Thuddungra Road, Duffys Forest
Being LOT 282 in D.P. 752017

DRAWING:

Erosion and Sediment Control Plan

PROJECT NO:

H18/109

ISSUE TYPE:

DA1

DRAWN:

SS

CHKD:

ISSUE DATE:

6/8/19

SHEET NO:

A10

SCALE @ A2:

1:200

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.


EXTERNAL WINDOW AND DOOR SCHEDULE

WINDOWS SCHEDULE								
ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	Comments	
W1	double-hung	1545 mm	1500 mm	2.317 m2	single clear	2400		
W2	awning	1300 mm	650 mm	0.845 m2	single clear low-e	2300		
W3	awning	1300 mm	650 mm	0.845 m2	single clear low-e	2300		
W4	casement (3)	850 mm	1510 mm	1.284 m2	single clear low-e	2300		
W5	awning	1300 mm	650 mm	0.845 m2	single clear low-e	2250		
W6	awning	1300 mm	650 mm	0.845 m2	single clear	2250		
W7	casement (3)	850 mm	1510 mm	1.284 m2	single clear	2300		
W8	casement (3)	850 mm	1510 mm	1.284 m2	single clear	2300		
W9	awning	900 mm	600 mm	0.54 m2	single clear	2250		
W10	awning	900 mm	600 mm	0.54 m2	single clear	2250		
W11	double-hung	1150 mm	2400 mm	2.76 m2	single clear	2250		
W12	double-hung	1400 mm	2700 mm	3.78 m2	single clear	2250		
W13	double-hung	1150 mm	1615 mm	1.857 m2	single clear	2250		
W14	double-hung	1550 mm	1800 mm	2.79 m2	single clear low-e	2250		
W15	double-hung	1550 mm	1800 mm	2.79 m2	single clear low-e	2250		
DOORS SCHEDULE								
ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	No. Doors	Comments
D1	french-door pair	2080 mm	1800 mm	3.744 m2	single clear	2030		
D2	french-door pair	2330 mm	1950 mm	4.543 m2	single clear	2330		
D3	sliding stacker	2270 mm	6850 mm	15.55 m2	single clear	2270	OOOF	
D4	french-door pair	2300 mm	1600 mm	3.68 m2	single clear	2300		
D5	sliding stacker	2300 mm	4500 mm	10.35 m2	single clear	2300	FOOF	
D6	french-door pair	2250 mm	1100 mm	2.475 m2	single clear low-e	2250		
D7	french-door pair	2250 mm	1100 mm	2.475 m2	single clear low-e	2250		
D8	sliding stacker	2250 mm	4000 mm	9 m2	single clear	2250	OOOF	

NOTES

1. All external glazing units to have painted timber frames as selected. Owner to give final approval to external glazing units before ordering.
2. Refer to Thermal Assessment Report for glazing requirements.
3. Typically Viridian '**ComfortPlus Clear**' glazing throughout, '**Comfortplus Clear**' 6mm toughened to 'low-e' windows. All glazing to comply with Part 3.6 of the current BCA.
4. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Cadence & Co Design if dimensions conflict.
5. Refer to Elevations for fixed/openable sashes.
6. Provide approved matching insect screens to opening window and door sashes.
7. Internal door sixes generally as noted on plan, to be painted flush solid core doors unless noted otherwise.
8. Provide Brio (or similar) retractable screens to all glazed external sliding doors
9. Code: LV = Louvre, FX = Fixed
8. All new construction (including Windows and Doors) shall comply with section 5 (BAL 12.5) Australian Standards AS5959-2009 "Construction of buildings in bush-fire prone areas" and Addendum to Appendix 3 of Planning for Bush Fire Protection.

EXTERNAL FINISHES SCHEDULE FOR DA




WEATHERBOARD CLADDING

PAINTED WARM GREY




TIMBER FRAMED WINDOWS & DOORS

WARM WHITE



DECKING

HARDWOOD AS SELECTED




EXTERNAL WOODWORK / FASCIAS & GUTTERS

MID GREY OR SIMILAR



METAL ROOFING

CORRUGATED PROFILE (TO MATCH EXISTING)
COLOUR: WALLABY OR SIMILAR (MEDIUM)



EXTERNAL STONE CLADDING

ECO OUTDOOR 'COOLUM' or similar

NOTE:

- All colour selections shall be sampled and swatch tested on subject surface prior to final application.
- Colours represented on this schedule do NOT necessarily reflect true colours.
- All new construction (including Windows and Doors) shall comply with section 5 (BAL 12.5) Australian Standards AS5959-2009 "Construction of buildings in bush-fire prone areas" and Addendum to Appendix 3 of Planning for Bush Fire Protection.

page 1 / 7

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A354139

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Alterations and Additions Definitions' dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au.

Secretary

Date of issue: Friday, 09, August 2019

To be valid, this certificate must be lodged within 3 months of the date of issue.

Planning &
Environment

Description of project

Project address	
Project name	282 Killawarra Rd
Street address	282 thuddungra Road duffys forest 2074
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 752017
Lot number	262
Section number	

Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Cadence & Co Design Pty Ltd

ABN (if applicable): 12168714752

BASIX Certificate number: A354139

page 2 / 7

Fixtures and systems				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water						
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).				✓	✓	✓
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.					✓	✓
Fixtures						
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.					✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.					✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.					✓	✓

Planning & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A354139

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)		
suspended floor above garage: framed (R0.7)	nil		
floor above existing dwelling or building	nil		
external wall: cavity brick	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (65 mm)	medium (solar absorptance 0.475 - 0.70)	

BASIX Certificate number: A3541399

page 4 / 7

Glaizing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Performance Rating Council (NPRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/alq/gap/clear glazing, or toned/alq/gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Performance Rating Council (NPRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	S	2.52	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	E	0.85	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W3	W	0.85	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)

Planning & Environment

Building Sustainability Index www.basis.nsw.gov.au

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overhanging Height (m)	Distance (m)	Shading device	Frame and glass type		
W4	N	1.28	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)		
W5	N	0.85	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)		
W6	S	0.85	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W7	S	1.28	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W8	S	1.28	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W9	E	0.54	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W10	S	0.54	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W11	S	3.1	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W12	S	3.78	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W13	S	2.07	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W14	N	2.79	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)		
W15	N	2.79	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)		
D1	E	3.74	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type		
D2	W	4.54	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
D3	W	15.55	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
D4	S	3.68	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
D6	N	10.35	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
D8	E	2.48	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)		
D7	E	2.48	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)		
D8	N	9	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		

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Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	