

NO CHANGES ARE PROPOSED TO ANY OF THE DEVELOPMENT CALCULATIONS OR LAYOUTS APART PROPOSAL ON P8a & P9.

Construct a concrete apron upturn on both sides of the suspended concrete driveway as shown on the side elevations.

GENERAL NOTES OF COMPLIANCE

BCA Compliance:
All smoke alarms on ground floor, middle floor and first floor of main dwelling, also in the secondary dwelling and studio must comply to Part 9.5.1 BCA2022
Lift of hinges in sanitary compartments must comply to Part 10.4.2
All balustrades must comply to Part 11.3.3
All mechanical ventilation must comply to Part 10.6.2, Part 10.8.2
Raisers and goings of all stairs must comply to Part 11.2

N C C Compliance:
I...Termite treatment to comply to Part 3.4
II...Weatherproofing of Masonry walls Part 5.7
III...Part 8.3—Glazing to comply with AS1288—2006, AS2047—2014, H1D8 of the NCC2022 Manuf. Tech. Specs.
IV...Sub-floor ventilation to comply to Part 6.2.1
V...Vertical lining eave separation to comply to Part 9.3.1 (5)
VI...Non-Combustible eave lining to comply to Part 9.2.9 (4)(b)
VII...Waterproofing to comply with: NCC 2022 Part 10.2 H2D8 AS3740, AS4654.1 and AS4654.2

Development Calculations	
House No. 4 - Lot 2316 - DP 753028	
SITE AREA = 927.80 m ²	
Middle Level Living Area	117.94sqm
Lower Level Living Area	163.17sqm
Upper Level Bedrooms Area	148.14sqm
Main Dwelling Total Floor Area	429.25sqm
Main Dwelling D / Garage Area	35.40sqm
New Granny Flat Floor Area	60.00sqm
Home Office Studio Floor Area	33.10sqm
Main Dwelling Private Open Space	99.00sqm
Granny Flat Private Open Space	60.00sqm
Total Building Footprint Area	343.57sqm
Total Hard Surface Area	389.38sqm
Total Soft Landscape Area (53.24%)	494.01sqm
Main Dwelling Minimum Front Setback	7.0m
Main Dwelling Northern Side Setback	4.50m
Main Dwelling Southern Setback	4.5m / 2.5m
Granny Flat Side Setback	2.425m
Granny Flat Rear Setback	6.0m
Office Studio Side Setback	1.5m / 2.00m
Office Studio Rear Setback	7.74m

DESIGN CERTIFICATION

This is to certify that the Architectural issue B drawings have incorporated all the amendments requested in conditions 1,13&18 of DA Consent (DA2020/1691) and they comply in accordance to the general requirements of the local DCP and LEP Objectives.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.

ALL WORK TO BE DONE IN TRADESPERSON MANNER AND SHALL COMPLY IN ALL RESPECTS WITH LOCAL GOVERNMENT REQUIREMENTS, RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND INDUSTRY TRADE PRACTICE.

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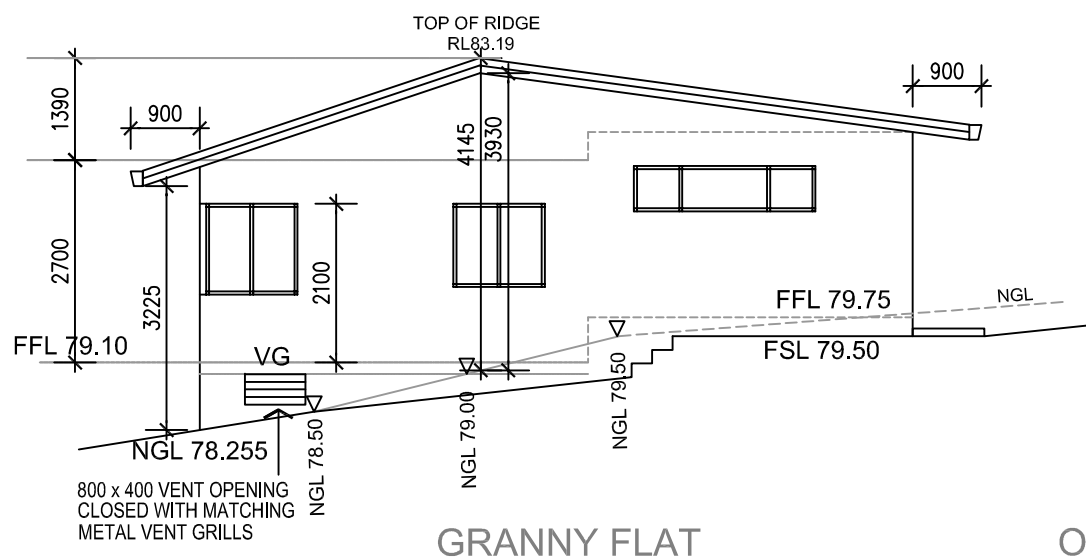
PROJECT		
Proposed modification to OSD tank and stormwater layout to reduce on site rock excavation.		
D	MODS. TO STORMWATER SEC. 4.55 APPL.	MAR. 2025
C	RAINWATER TANK REPOSITIONED TO SIDE SETBACK	MAR. 2022
B	ISSUED FOR CC APPLICATION	MAR. 2022
A	ISSUED FOR DA APPLICATION	OCT. 2020

ADDRESS		
4 Southern Cress Way Allambie Heights NSW		
CLIENT Mr. Chris Jaczac		
DRAWN AJ	SCALE 1:200	DATE 2025.03.23
DRAWING No: PR020.03, Page 1		ISSUE D

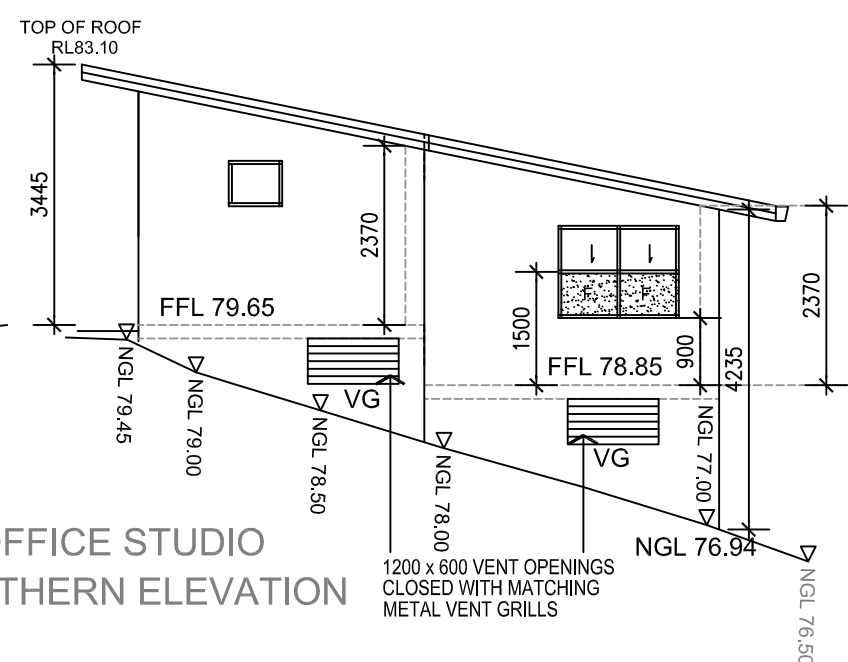
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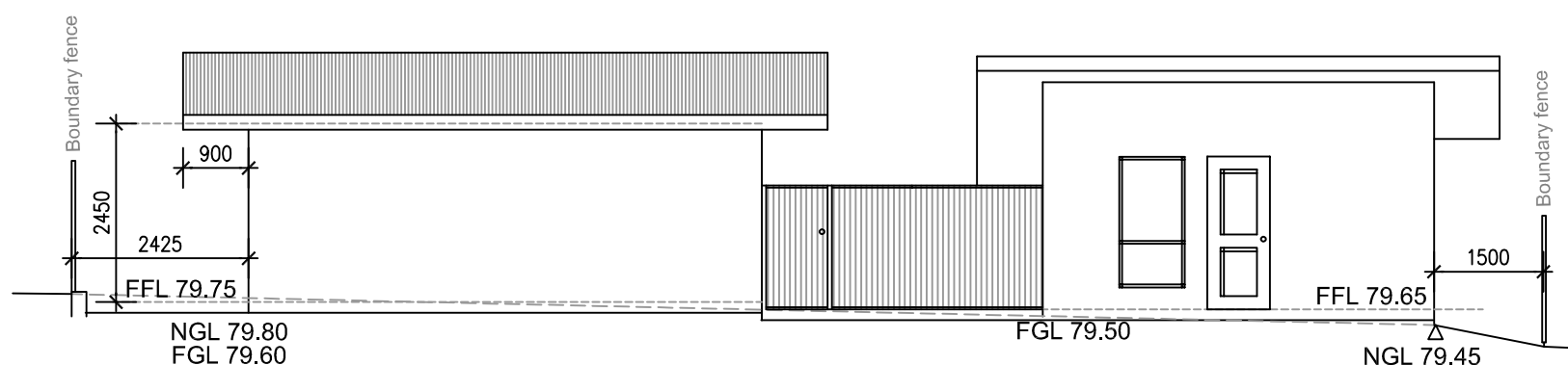
sabton@optusnet.com.au
Mob: 0408 663 223
Tel: (612) 4567 2002



GRANNY FLAT
NORTHERN ELEVATION

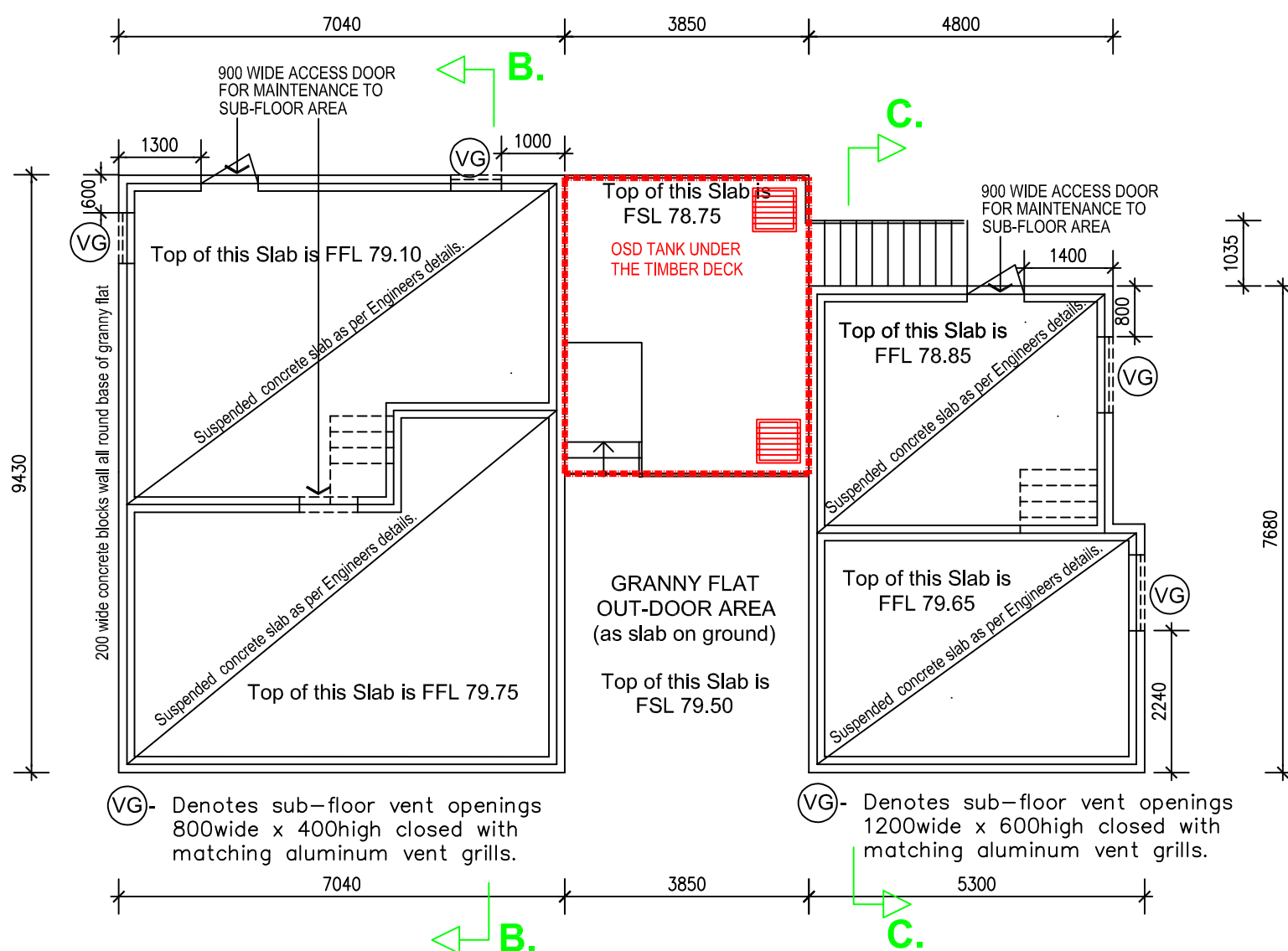


OFFICE STUDIO
SOUTHERN ELEVATION



GRANNY FLAT AND OFFICE STUDIO WESTERN ELEVATION

NOTE: NO OTHER CHANGES ARE PROPOSED FOR THIS APPLICATION



GRANNY FLAT AND STUDIO SUB-FLOOR LAYOUT

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PROJECT

Proposed modification to OSD tank and stormwater layout to reduce on site rock excavation.

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C	ISSUED FOR SEC. 4.55 APPLICATION	DEC. 2024
B	ISSUED FOR CC APPLICATION	MAR. 2022
A	ISSUED FOR DA LODGMENT	OCT. 2020

ADDRESS

4 Southern Cress Way
Allambie Heights NSW

CLIENT

Mr. Chris...

DRAWN	SCALE	DATE
AJ	1:100	2025.03.23

DRAWING No:	ISSUE
PR020.03, Page 8a	D

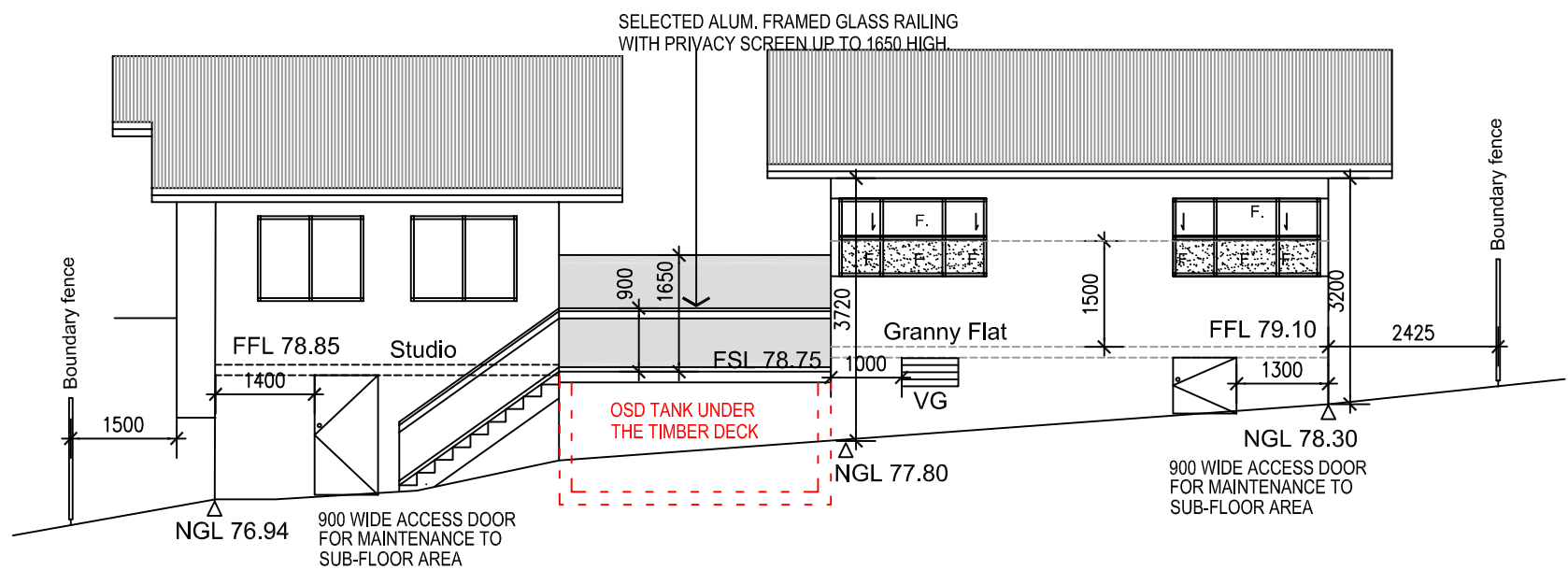
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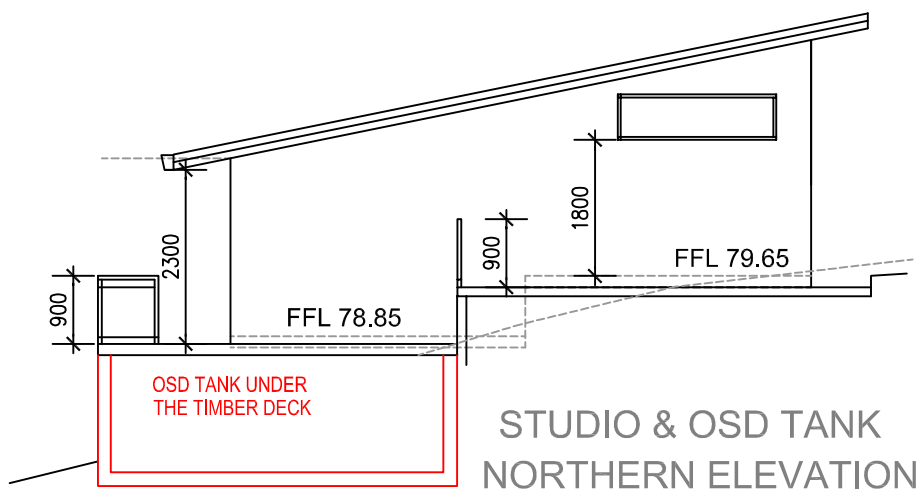
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Mob: 0408 663 223

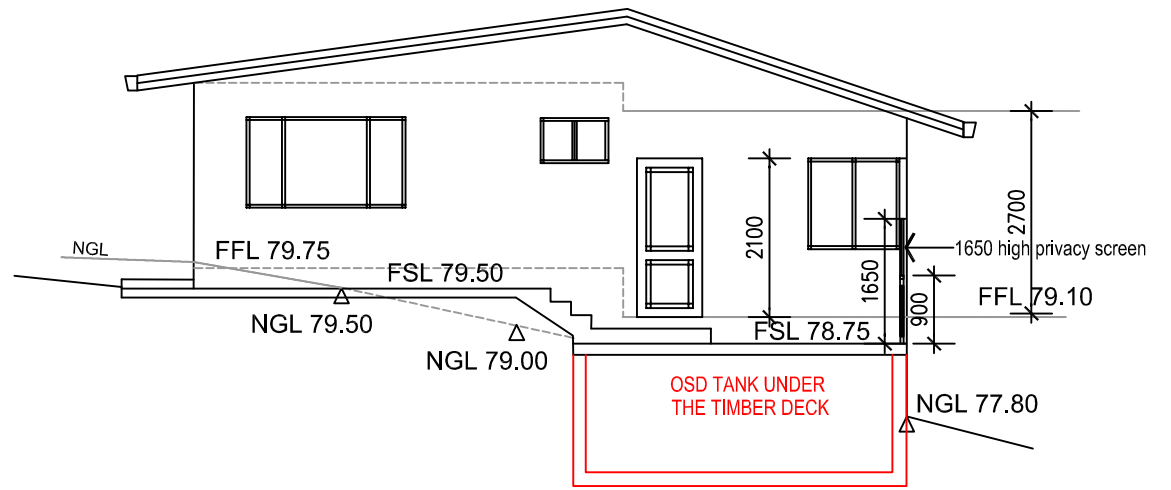
Tel: (612) 4567 2002



OFFICE STUDIO AND GRANNY FLAT EASTERN ELEVATION

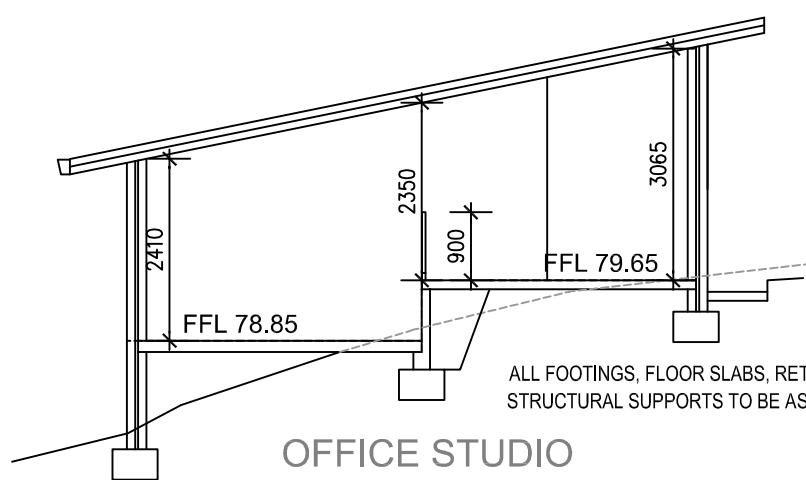


STUDIO & OSD TANK
NORTHERN ELEVATION

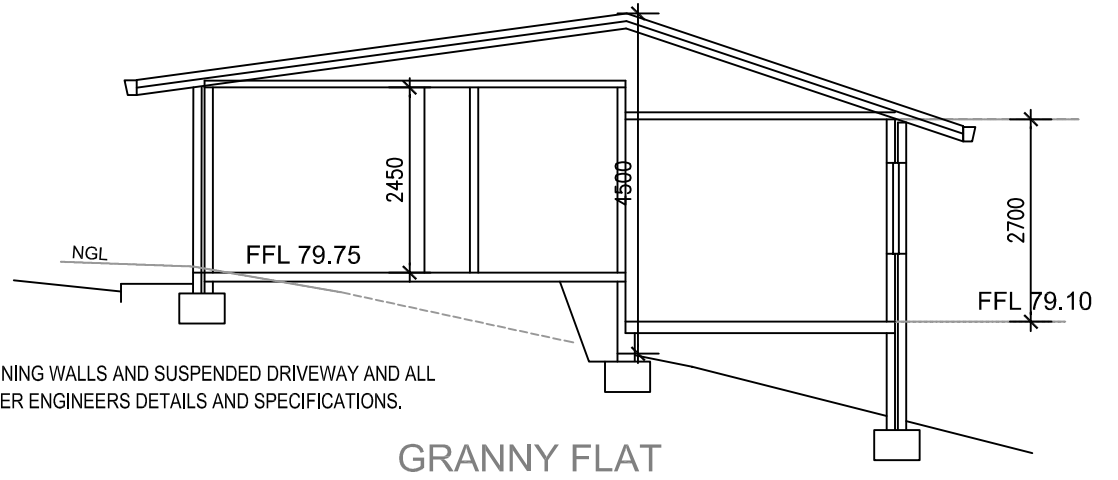


GRANNY FLAT & OSD TANK
SOUTHERN ELEVATION

N O T E: NO OTHER CHANGES ARE PROPOSED FOR THIS APPLICATION



OFFICE STUDIO
SECTION C - C



GRANNY FLAT
SECTION B - B

ALL FOOTINGS, FLOOR SLABS, RETAINING WALLS AND SUSPENDED DRIVEWAY AND ALL STRUCTURAL SUPPORTS TO BE AS PER ENGINEERS DETAILS AND SPECIFICATIONS.

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