

LITTLE MANLY BEACH KIOSK, STUART STREET, MANLY

ALTERATIONS & ADDITIONS

D R A W I N G R E G I S T E R

| Drawing No. | Revision | Date | Title |
|----------------|----------|------------|--------------------------------|
| 2019-028-A1001 | E | 24.11.2020 | SITE ANALYSIS PLAN |
| 2019-028-A1002 | E | 24.11.2020 | EXISTING GROUND FLOOR PLAN |
| 2019-028-A1003 | E | 24.11.2020 | EXISTING ROOF PLAN |
| 2019-028-A1011 | E | 24.11.2020 | DEMOLITION PLAN |
| 2019-028-A1101 | E | 24.11.2020 | PROPOSED CAFE FLOOR PLAN |
| 2019-028-A1102 | E | 24.11.2020 | PROPOSED COOL ROOM FLOOR PLAN |
| 2019-028-A1201 | E | 24.11.2020 | ROOF PLAN - CAFE |
| 2019-028-A1202 | E | 24.11.2020 | ROOF PLAN - COOL ROOM |
| 2019-028-A1301 | E | 24.11.2020 | RCP - CAFE |
| 2019-028-A1302 | E | 24.11.2020 | RCP - COOL ROOM |
| 2019-028-A1401 | E | 24.11.2020 | ELEVATIONS - CAFE |
| 2019-028-A1402 | E | 24.11.2020 | ELEVATIONS - COOL ROOM |
| 2019-028-A1501 | E | 24.11.2020 | SECTIONS |
| 2019-028-A1601 | E | 24.11.2020 | LANDSCAPE PLAN |
| 2019-028-A2001 | E | 24.11.2020 | TAKEAWAY AREA & KITCHEN DETAIL |
| 2019-028-A2011 | E | 24.11.2020 | WINDOW & ROOF DETAIL |
| 2019-028-A2021 | E | 24.11.2020 | WAITERS STATION DETAIL |
| 2019-028-A3001 | E | 24.11.2020 | 3D PERSPECTIVE 1 |
| 2019-028-A3002 | E | 24.11.2020 | 3D PERSPECTIVE 2 |
| 2019-028-A3003 | E | 24.11.2020 | 3D PERSPECTIVE 3 |
| 2019-028-A3004 | E | 24.11.2020 | 3D PERSPECTIVE 4 |
| 2019-028-A3005 | E | 24.11.2020 | 3D PERSPECTIVE 5 |
| 2019-028-A3006 | E | 24.11.2020 | 3D PERSPECTIVE 6 |
| | | | |



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STUART STREET,
MANLY
ALTERATIONS & ADDITIONS
SYDNEY RESTAURANT GROUP

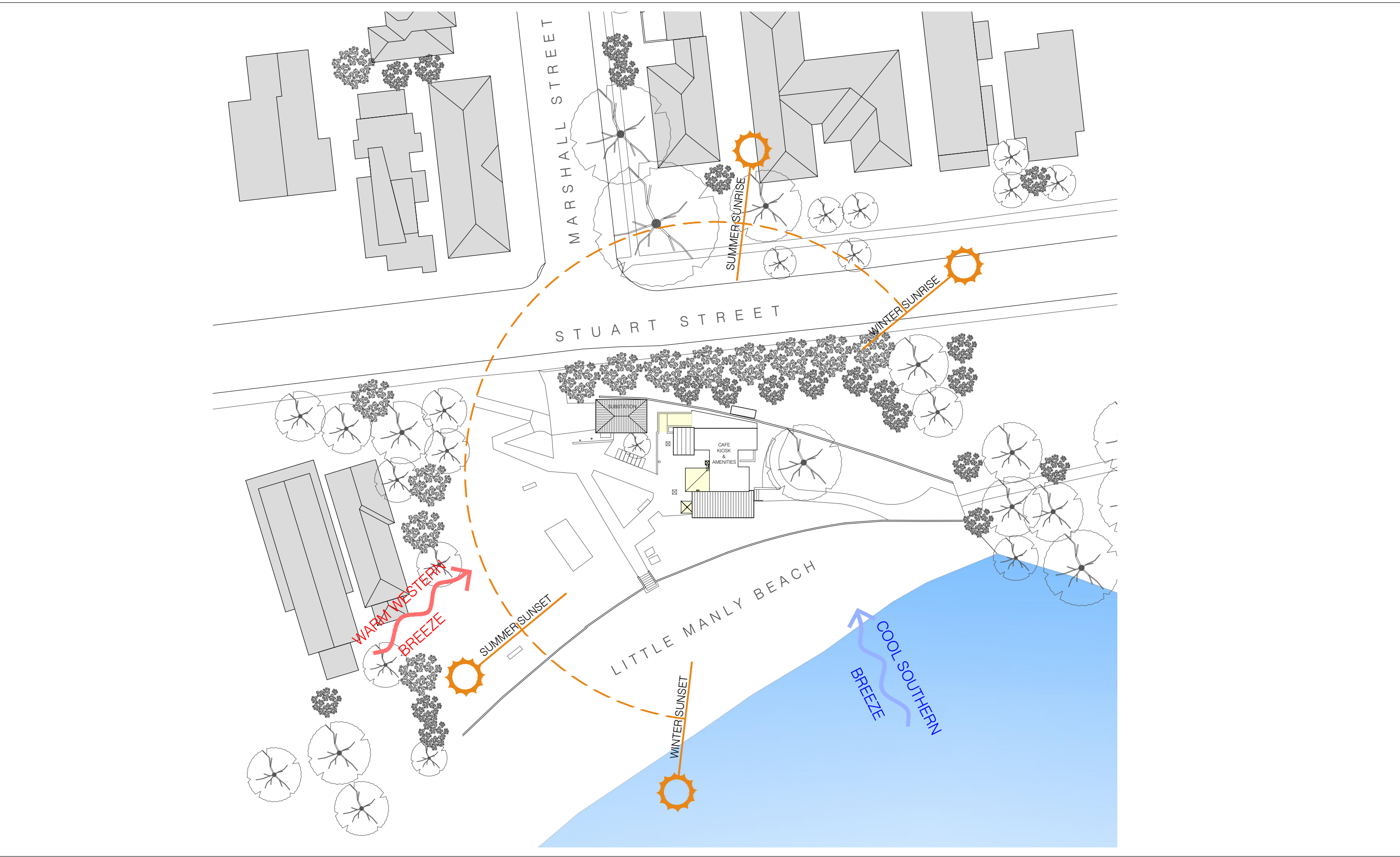
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2019-028
A1000



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SYDNEY RESTAURANT GROUP

SITE PLAN

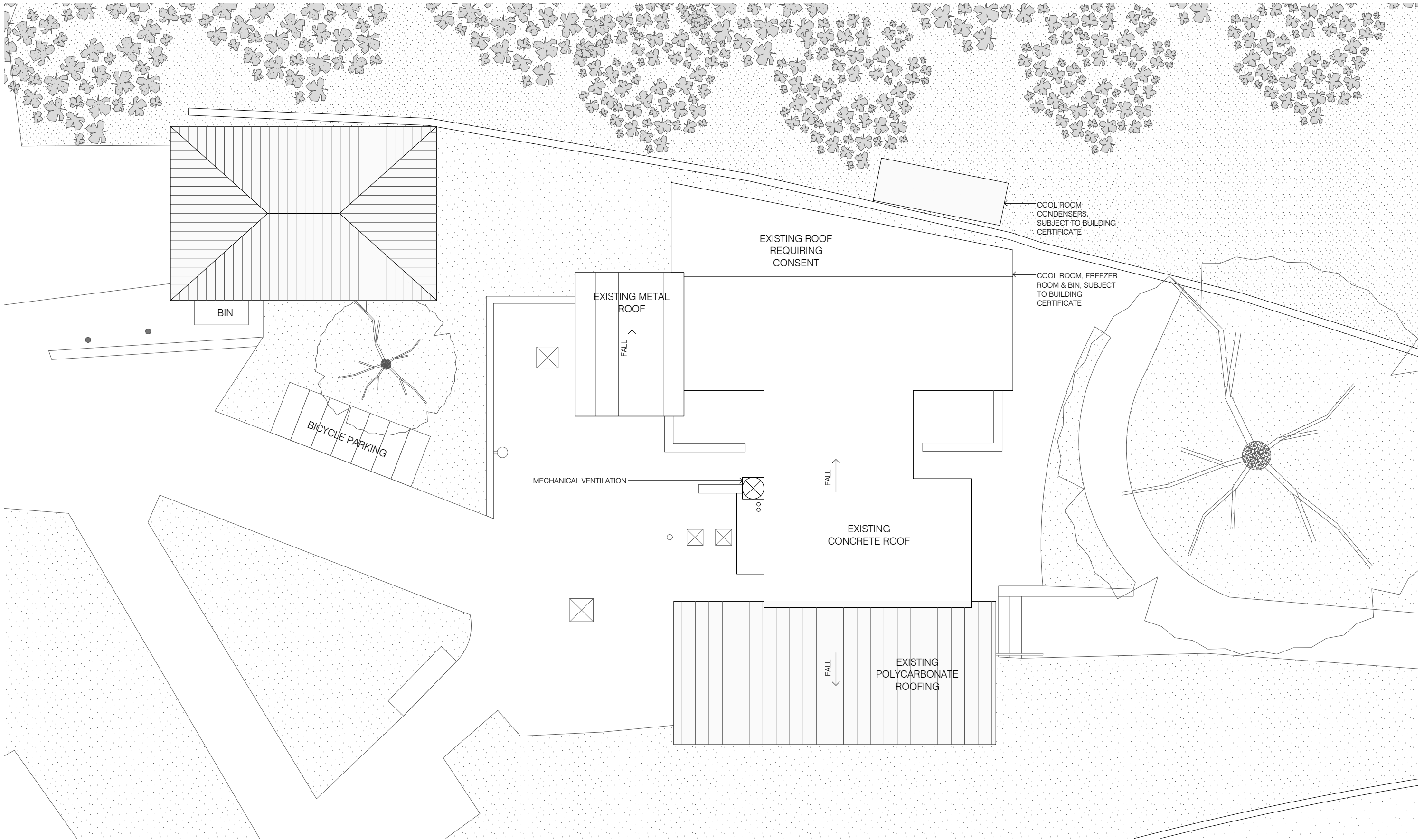
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A1001



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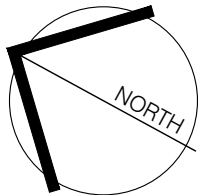
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EXISTING ROOF PLAN

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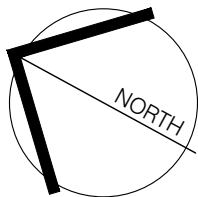
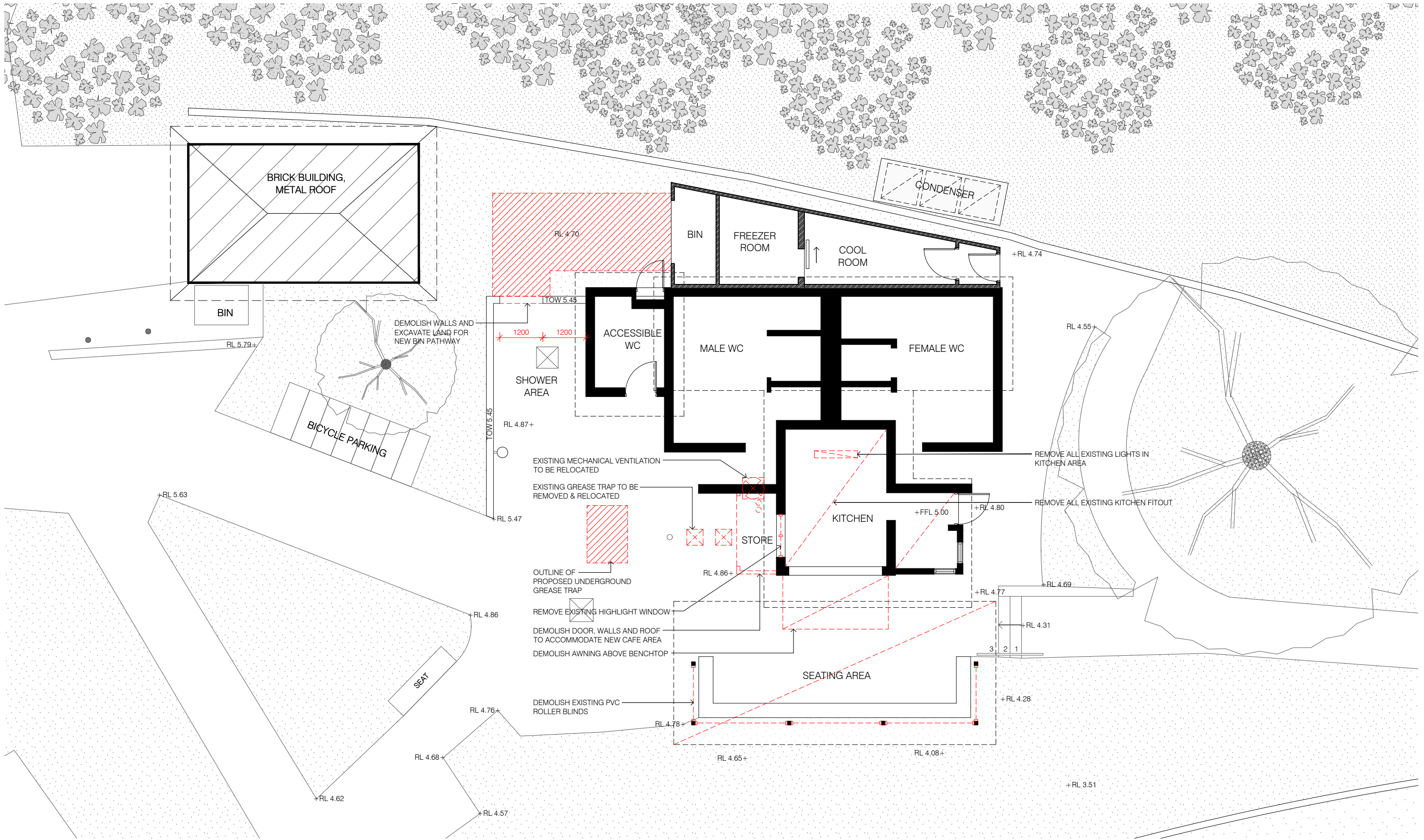
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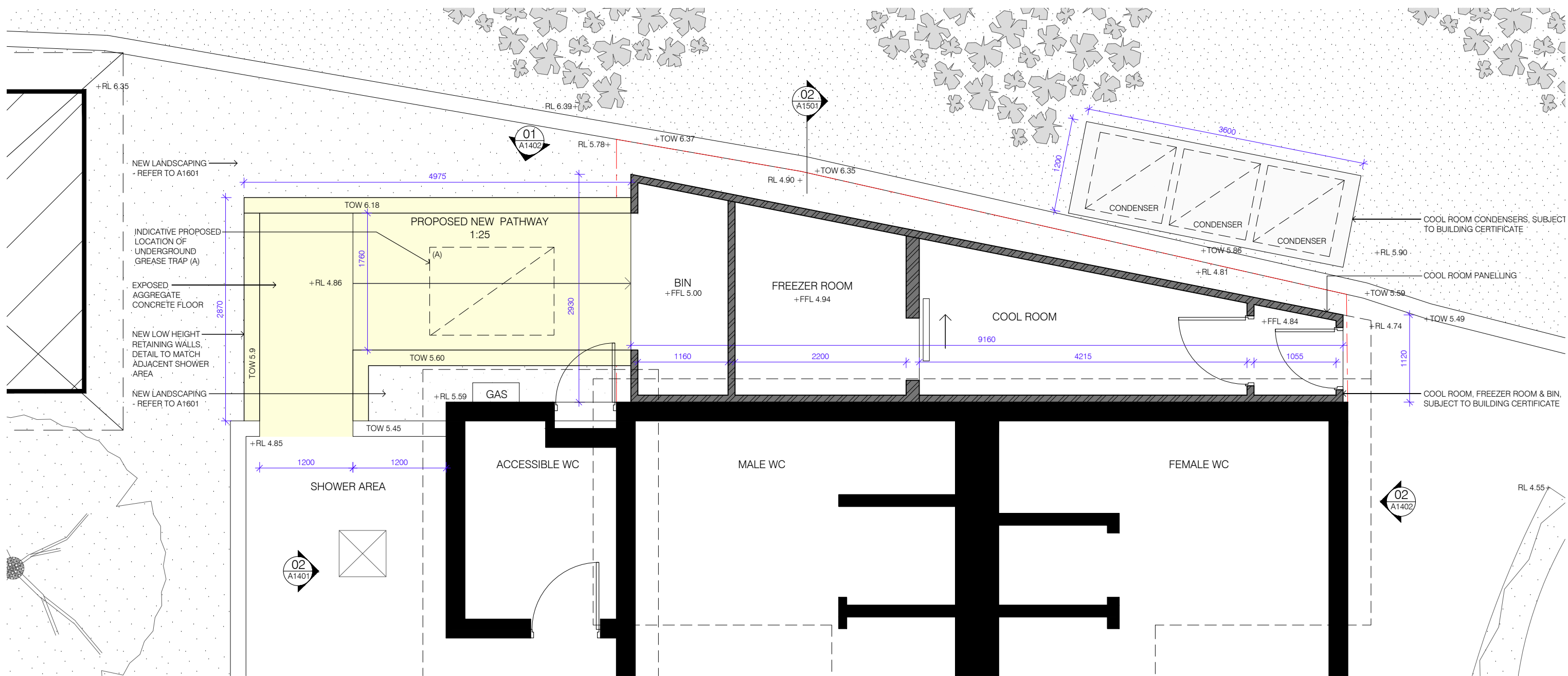
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| DEMOLITION PLAN | |
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| 2019-028 | A1011 |



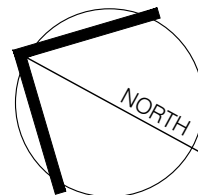
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- LEASE BOUNDARY



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PROPOSED COOL ROOM FLOOR PLAN

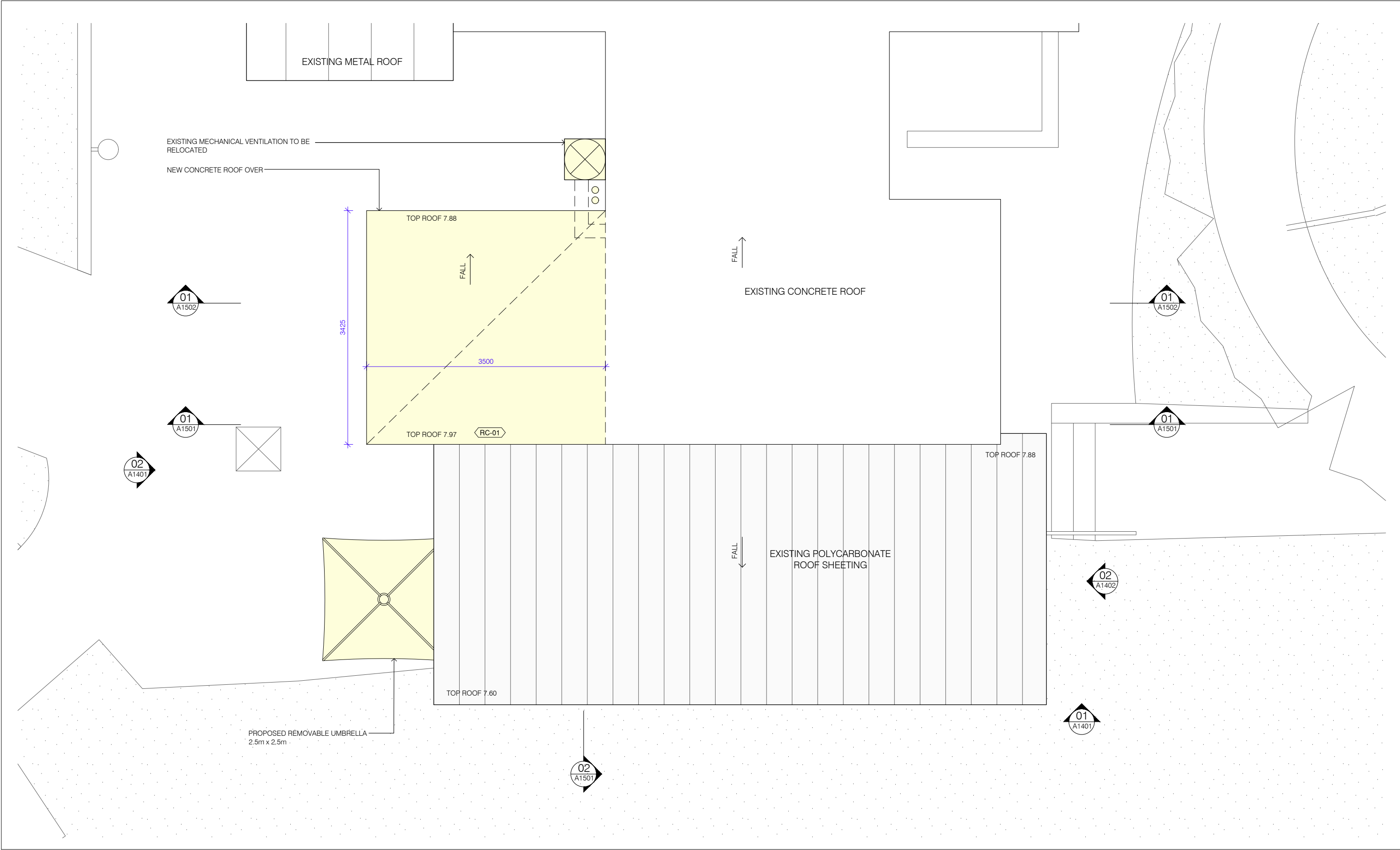
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SYDNEY RESTAURANT GROUP

ROOF PLAN - CAFE

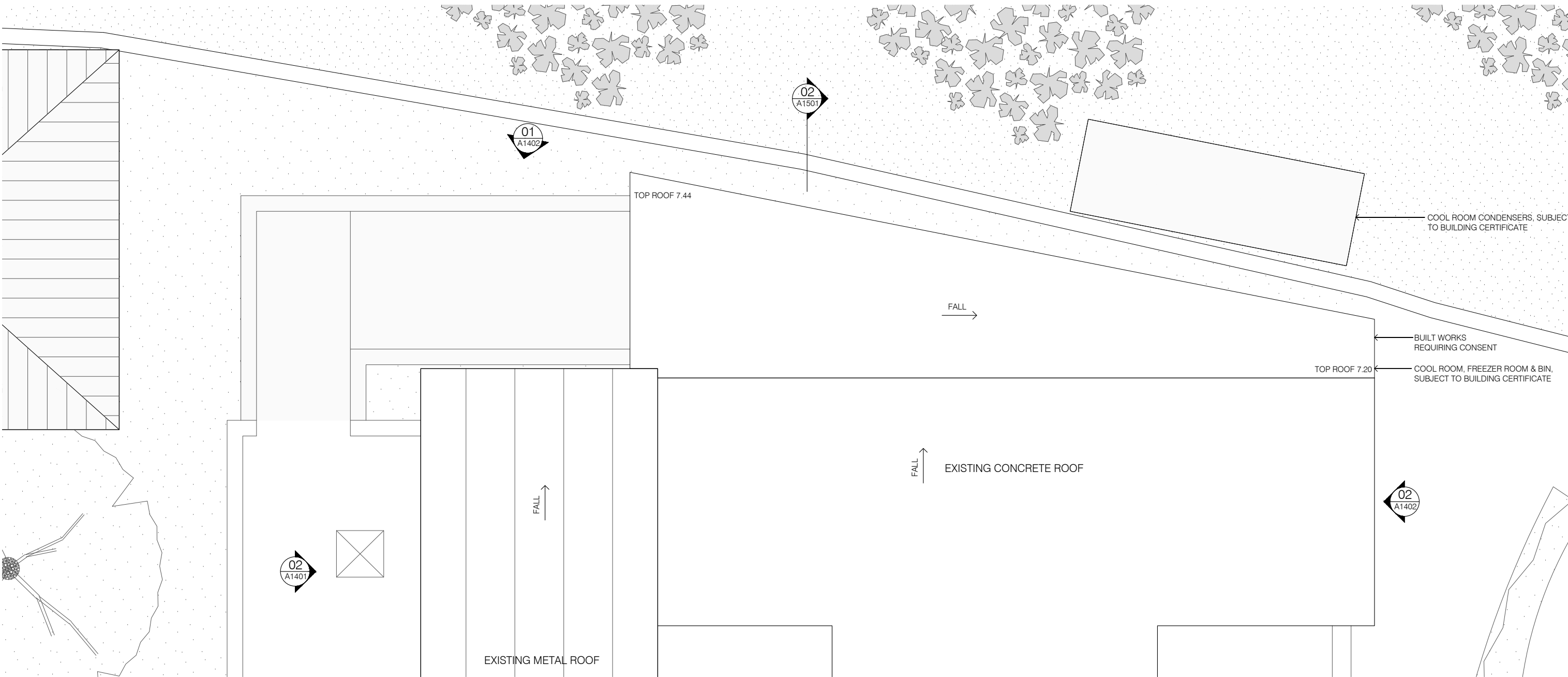
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A1201



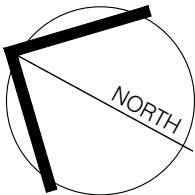
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SYDNEY RESTAURANT GROUP

ROOF PLAN - COOL ROOM

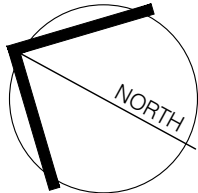
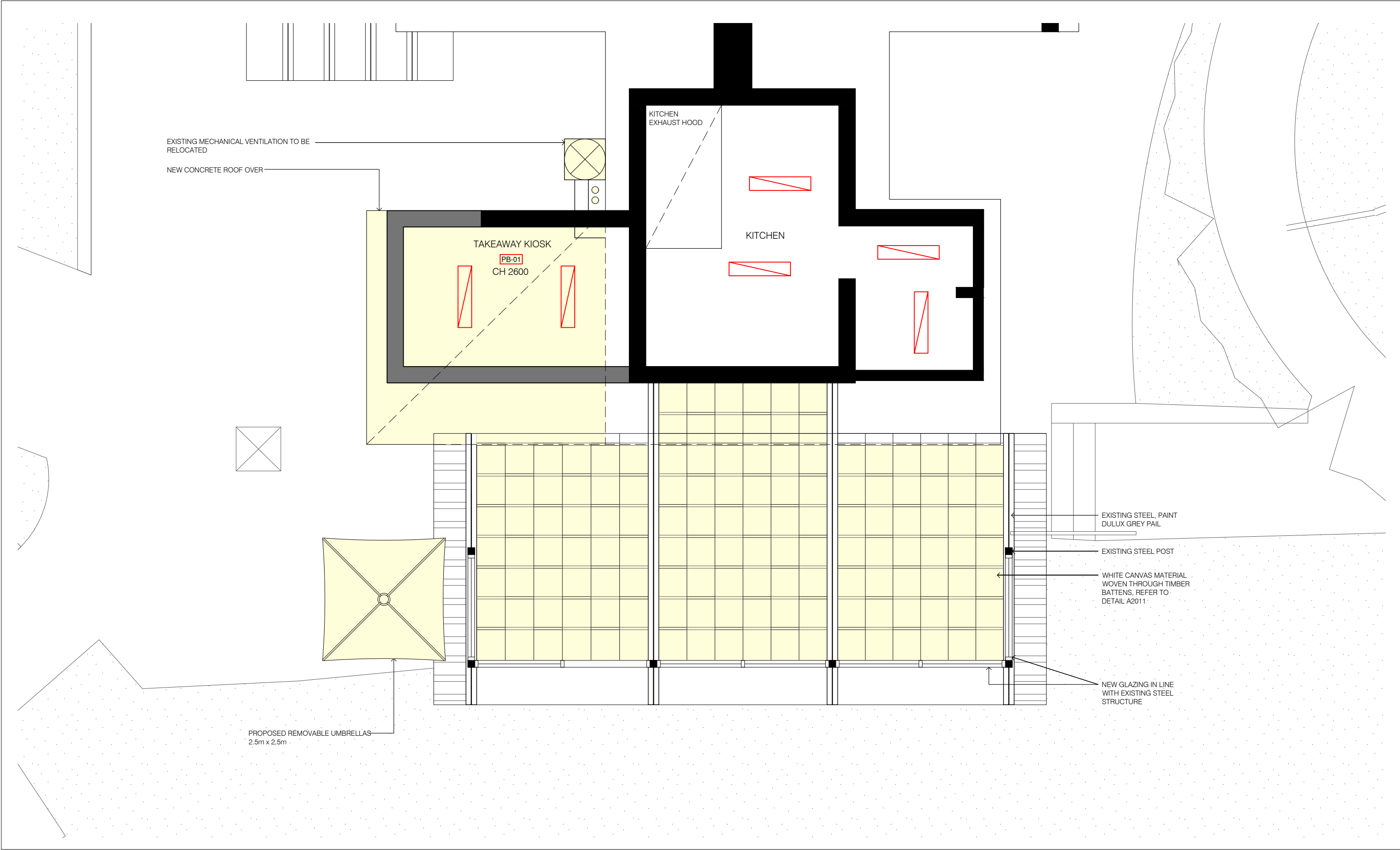
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A1202



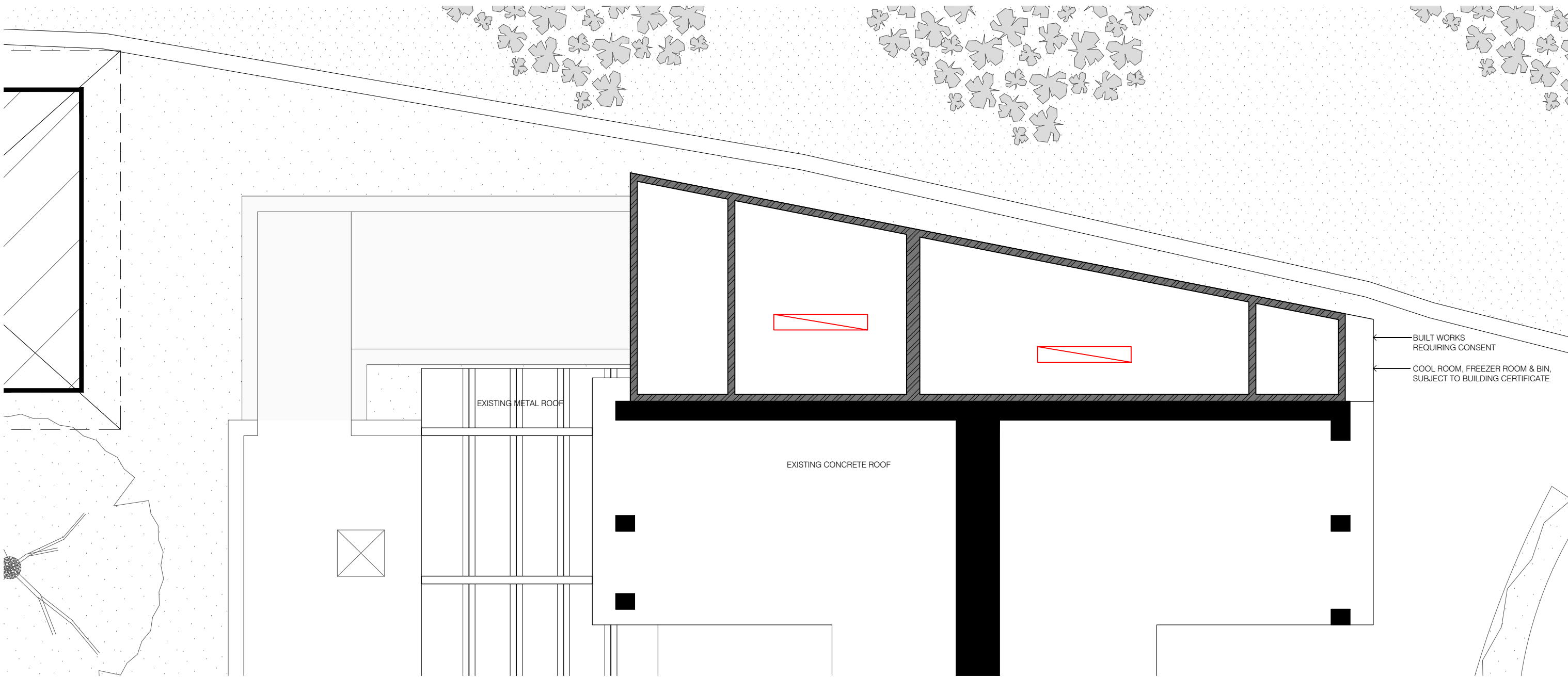
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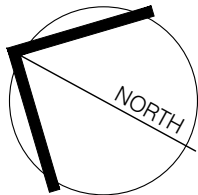
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RCP - COOL ROOM

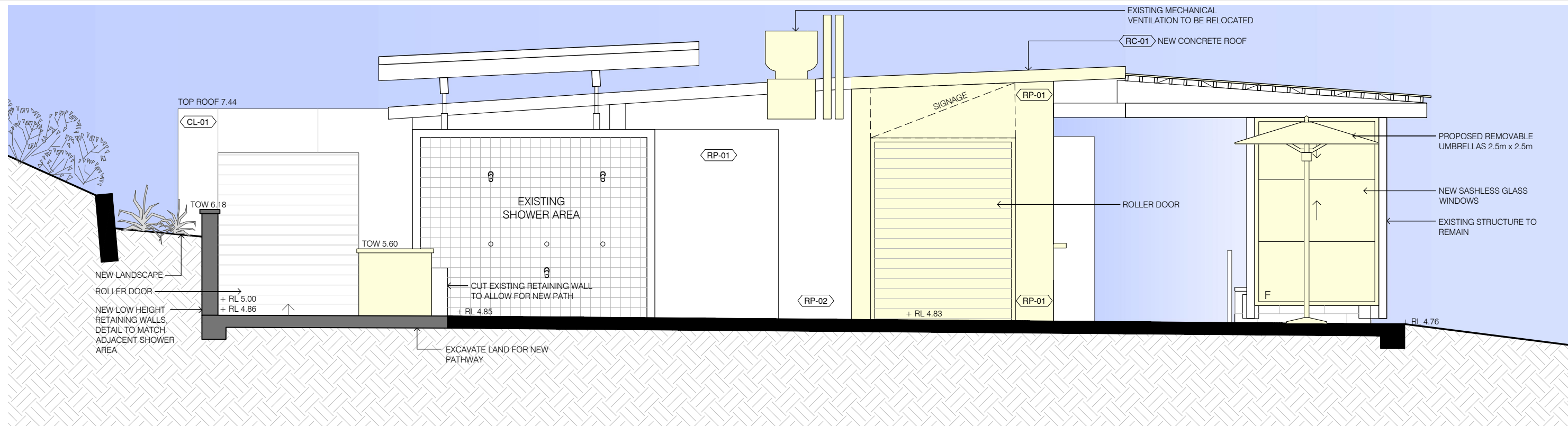
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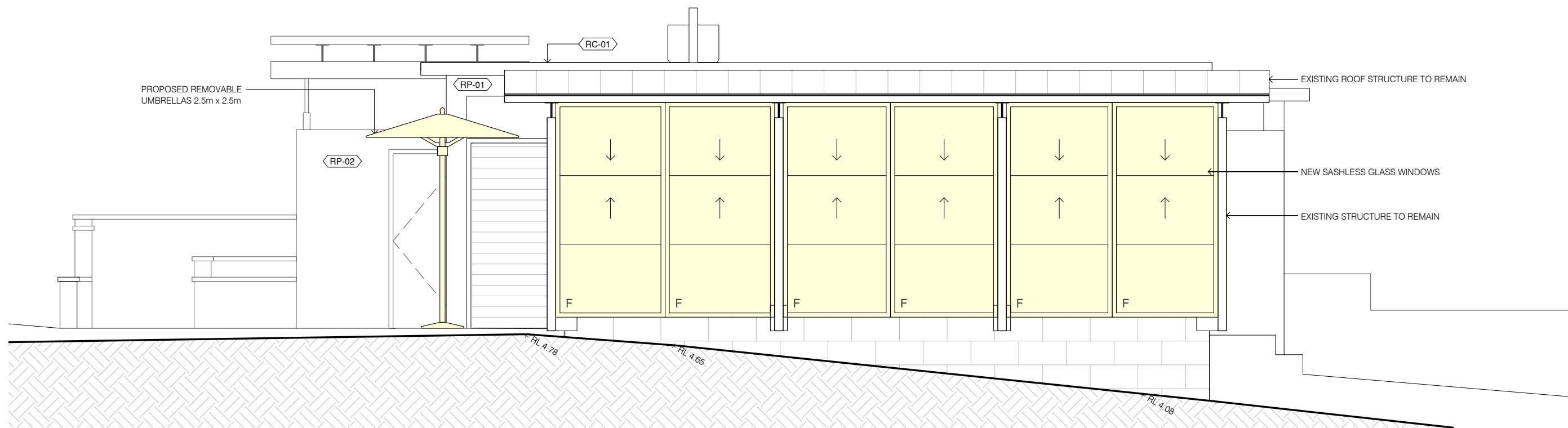
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A1302



2 NORTH WEST ELEVATION
1401 SCALE 1:50 @ A3



1 SOUTH WEST ELEVATION
1401 SCALE 1:50 @ A3

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EXTERNAL FINISHES LEGEND:

- RP-01 RENDER AND PAINT, DULUX COLOUR
- RP-02 RENDER AND PAINT, DULUX COLOUR
- RC-01 PAINT, DULUX COLOUR
- CL-01 COOL ROOM PANEL WHITE

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ELEVATIONS - CAFE

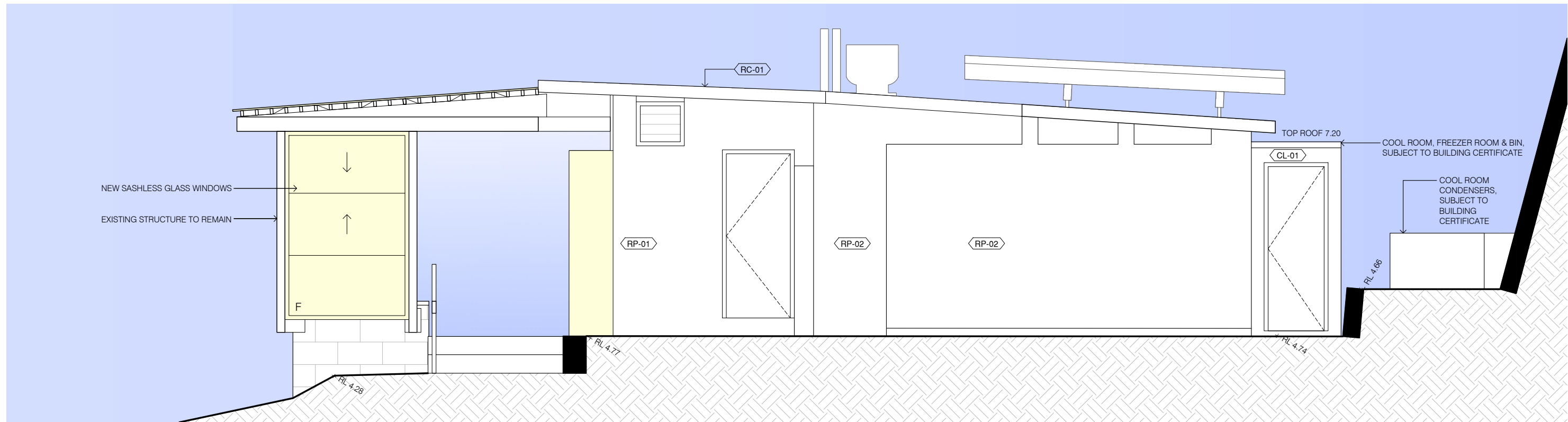
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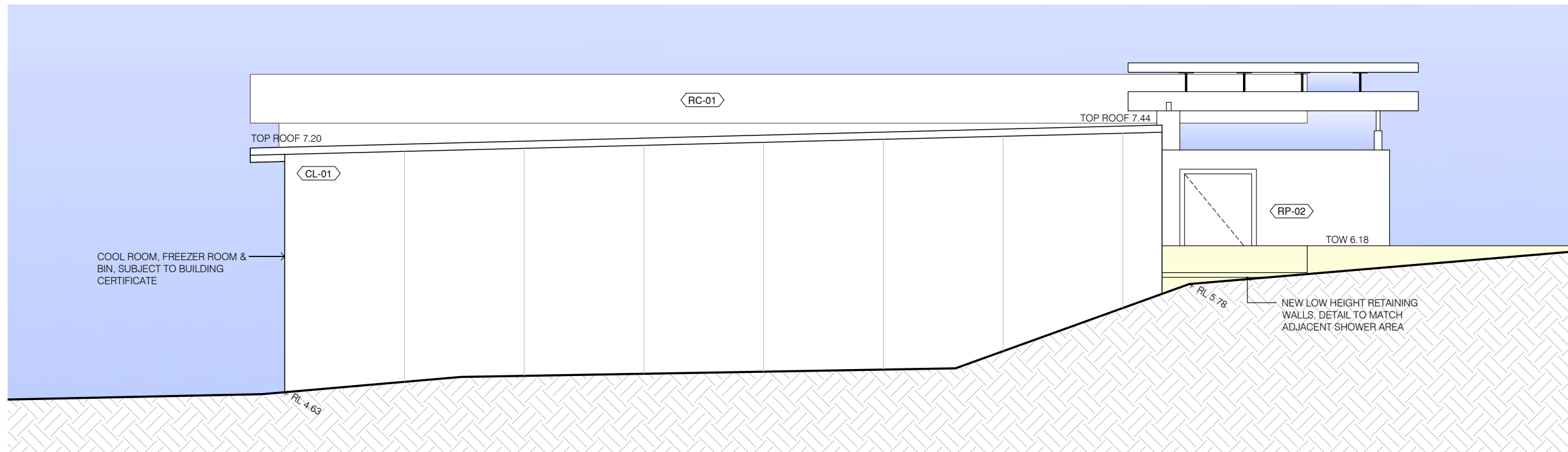
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A1401



2 SOUTH EAST ELEVATION
1402 SCALE 1:50 @ A3



1 NORTH EAST ELEVATION
1402 SCALE 1:50 @ A3

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ELEVATIONS - COOL ROOM

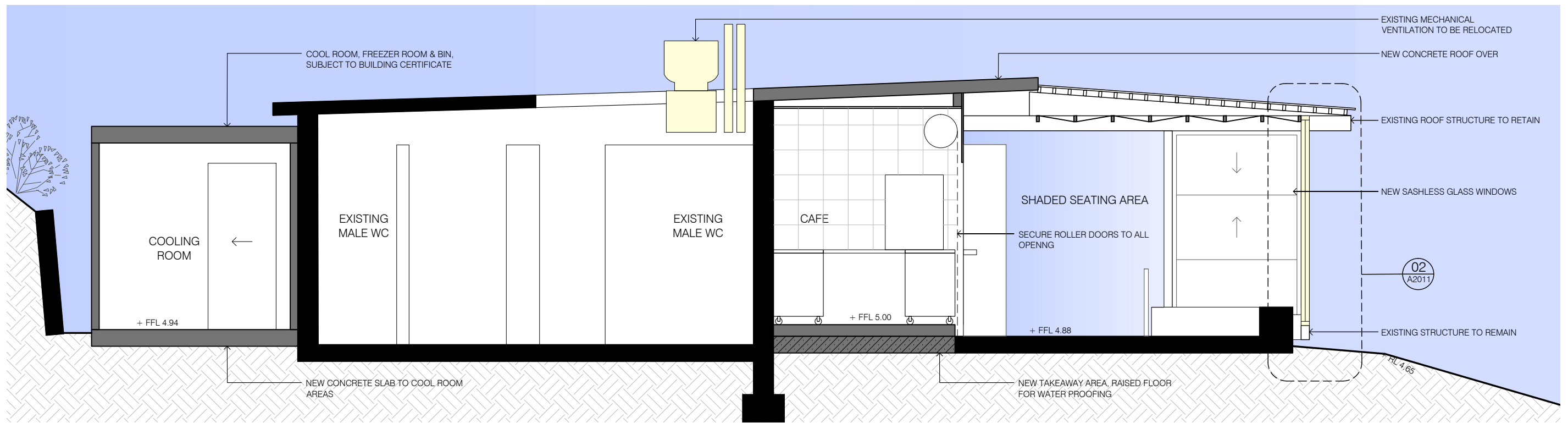
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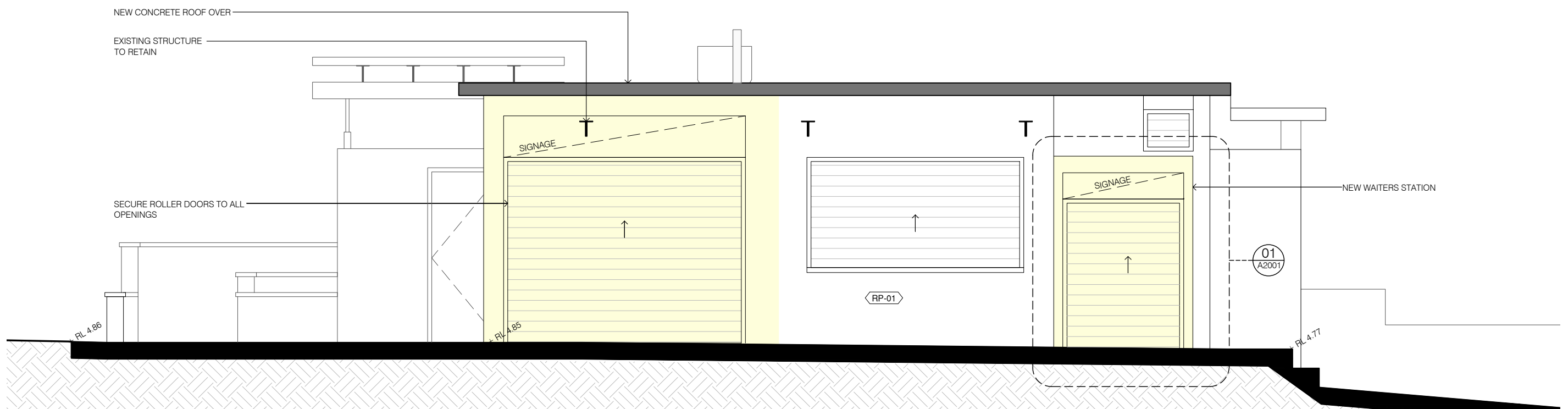
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A1402



2 SHORT SECTION
1501 SCALE 1:50 @ A3



1 CAFE FACADE SECTION
1501 SCALE 1:50 @ A3

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SECTIONS

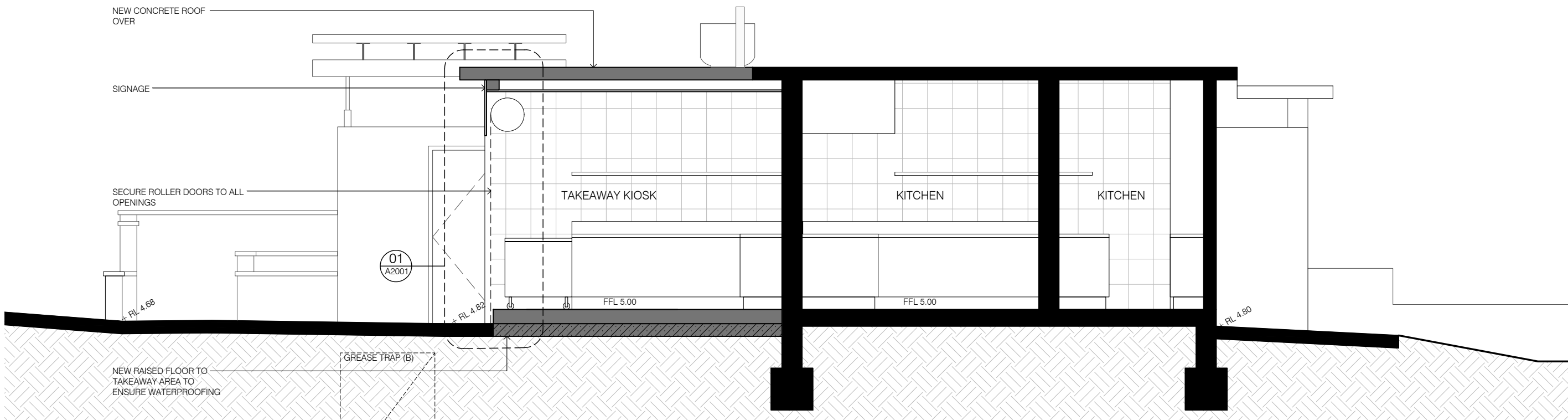
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A1501



1 CAFE FACADE SECTION
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| RP-02 | RENDER AND PAINT, DULUX COLOUR |
| RC-01 | PAINT, DULUX COLOUR |
| CL-01 | COOL ROOM PANEL WHITE |

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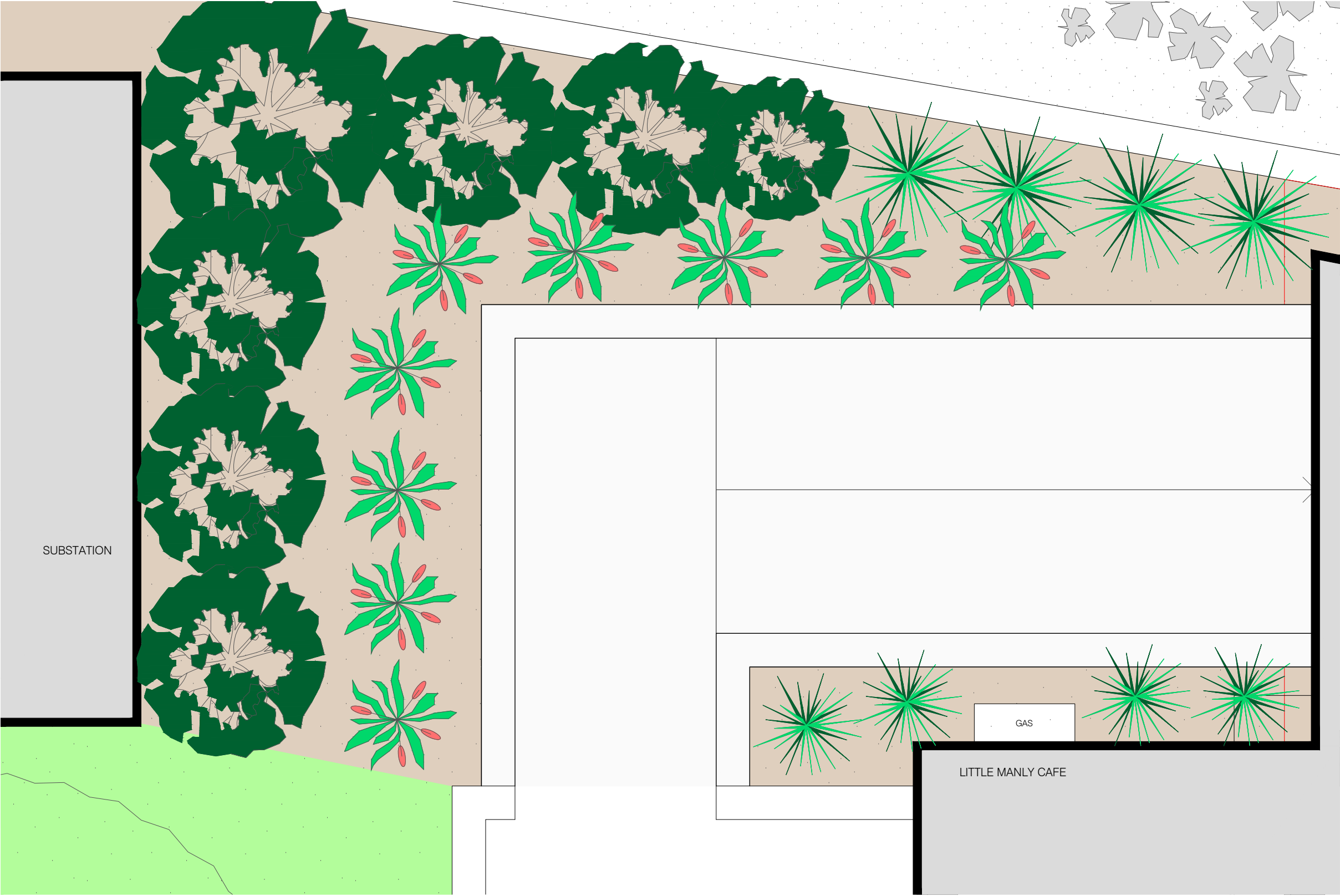
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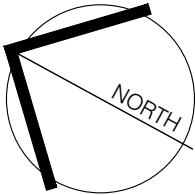


- LANDSCAPING NOTES:
- GARDEN AREAS TO CONSIST OF TOPSOIL MIX EVENLY DISTRIBUTED, LIGHTLY COMPACTED AND SMOOTHED PRIOR TO INSTALLATION OF SOFT LANDSCAPE WORKS. ALL PLANTING HOLES TO BE MINIMUM TWICE AS WIDE AND DEEP AS NOMINATED POT SIZE. IN THE CASE OF CLAY-BASED SOILS GYPSUM CLAY-BREAKER TO BE APPLIED PRIOR TO INSTALLING TOPSOIL MIX. AFTER PLANTING, POWERFEED (TM) N:P:K FERTILISER IS TO BE APPLIED AT A RATE OF 25ML PER LITRE TO ALL GARDEN BEDS.
 - RECOMMENDED LAWN SPECIES: SIR WALTER BUFFALO OR SAPPHIRE BUFFALO
 - MULCHING AS PER DETAIL, USING HORTICULTURAL GRADE MEDIUM BARK MULCH
 - NATURAL GROUND LEVELS TO BE RETAINED EXCEPT WHERE NOTED
 - ANY RETAINING WALLS AT OR ABOVE 600MM IN HEIGHT TO BE CONSTRUCTED TO ENGINEER'S DETAIL
 - ANY/ALL CARPENTRY WORK AND BUILT STRUCTURES IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND TO BUILDER OR ENGINEER'S DETAIL
 - ALL MODULAR PAVING TO BE LAID ON REINFORCED CONCRETE SLAB TO ENGINEER'S DETAIL AND TO AUSTRALIAN STANDARDS

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| | | |
| | | |

PROJECT

**STUART STREET,
MANLY**

ALTERATIONS & ADDITIONS

SYDNEY RESTAURANT GROUP

LANDSCAPE PLAN

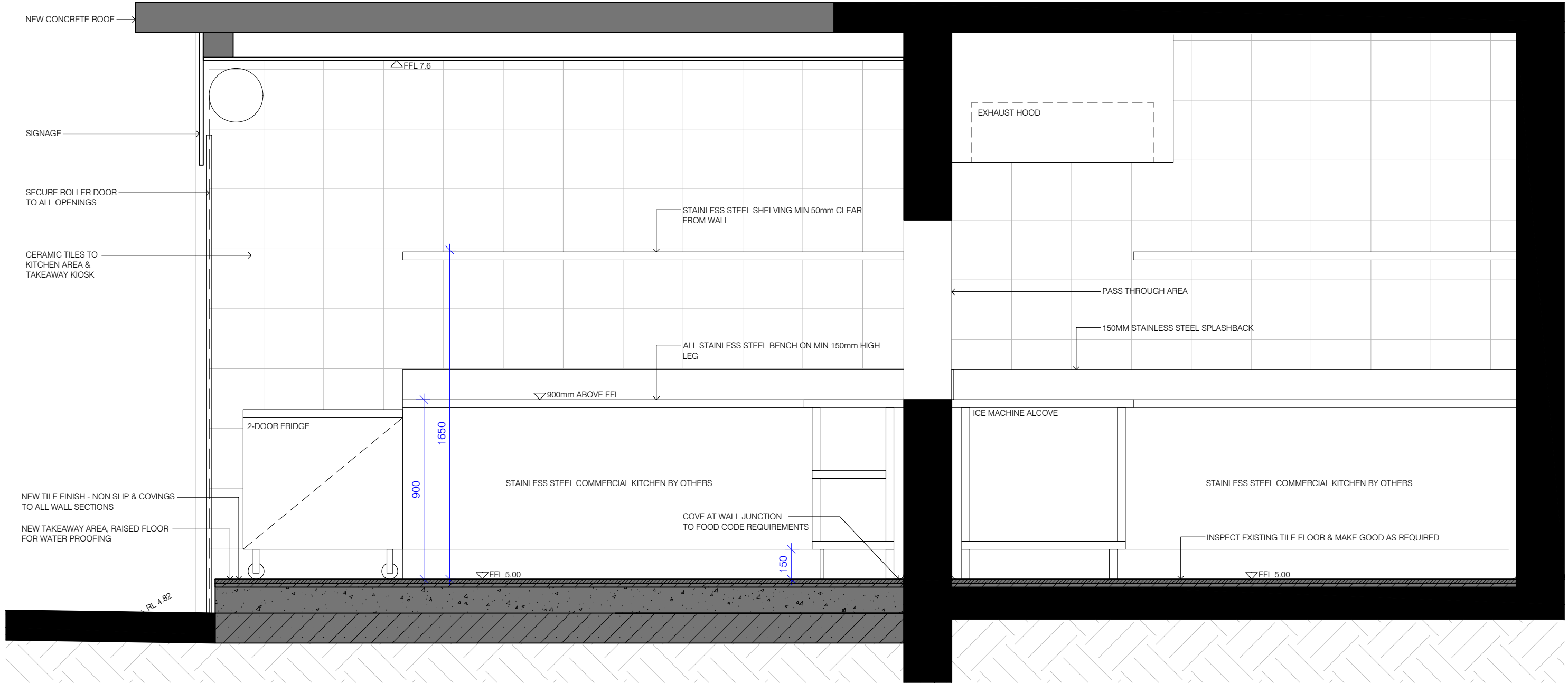
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A1601



FOOD PREMESIS COMPLIANCE SPECIFICATION:

- THE FLOORS SHALL BE OF AN IMPERVIOUS, SMOOTH FINISH COVED AT THE INTERSECTIONS OF ALL WALLS TO A MINIMUM RADIUS OF 25mm AND THE FLOOR FINISH EXTENDING AT LEAST 100mm UP THE WALL SURFACE. ALL EXISTING CRACKS IN TILE FLOOR SHOULD BE PATCHED.
- ALL FOOD PREPARATION AND STORAGE AREAS SHOULD HAVE ADEQUATE DRAINAGE TO ENSURE LIQUIDS DRAIN TO FLOOR WASTES.
- THE CEILING SHALL BE CONSTRUCTED OF A RIGID SMOOTH FACED, NON ABSORBENT MATERIAL.
- ALL EQUIPMENT, FITTINGS AND FIXTURES SHALL BE SUPPORTED CLEAR ABOVE THE FLOOR ON LEGS AT LEAST 150mm HIGH. OR, ALTERNATIVELY, SOLID CONCRETE PLINTHS COVED TO THE FLOOR SHALL BE PROVIDED AND FINISHED TO MATCH SURROUNDING WALL TO FLOOR FINISHES. WHERE NOT SUPPORTED OF THE ABOVE, THE EQUIPMENT MUST BE FITTED WITH WHEELS WITH SAFETY LOCKS.
- FITTINGS SUCH AS SINKS, BENCHES OR SIMILIAR EQUIPMENT SHALL BE FIXED TO PROVIDE A CLEAR SPACE FROM THE WALL SURFACES (REF. TO AS4674) OR ALTERNATIVELY THE FITTINGS SHALL BE BUILT INTO THE WALL SO THAT THE SPLASHBACK FINISHES LEVEL WITH THE FINISHED WALL SURFACE.
- STAFF SHALL BE PROVIDED WITH SUITABLE PERSONAL LOCKERS STORED AT LEAST 300mm CLEAR OF THE FLOOR.
- ALL PERISHABLE OR POTENTIALLY HAZARDOUS FOODSTUFFS SHALL BE KEPT EITHER BELOW 5°C OR ABOVE 60°C AS THE CASE MAY BE AND THERMOMETERS SHALL BE PROVIDED AND MAINTAINED IN A SATISFACTORY CONDITION IN THE FOOD STORAGE OR DISPLAY AREAS TO ENSURE THESE TEMPERATURE LEVELS ARE MAINTAINED.
- ALL WORKS AND OCCUPATION SHALL COMPLY WITH THE REQUIREMENTS OF SYDNEY WATER TRADE WASTE SECTION.

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LEGEND:

- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- BUILT WORKS REQUIRING CONSENT
- EXISTING STRUCTURE TO BE REPLACE
- PROPOSED AREA OF WORKS
- LEASE BOUNDARY

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STUART STREET,
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ALTERATIONS & ADDITIONS
SYDNEY RESTAURANT GROUP

TAKEAWAY AREA & KITCHEN DETAIL

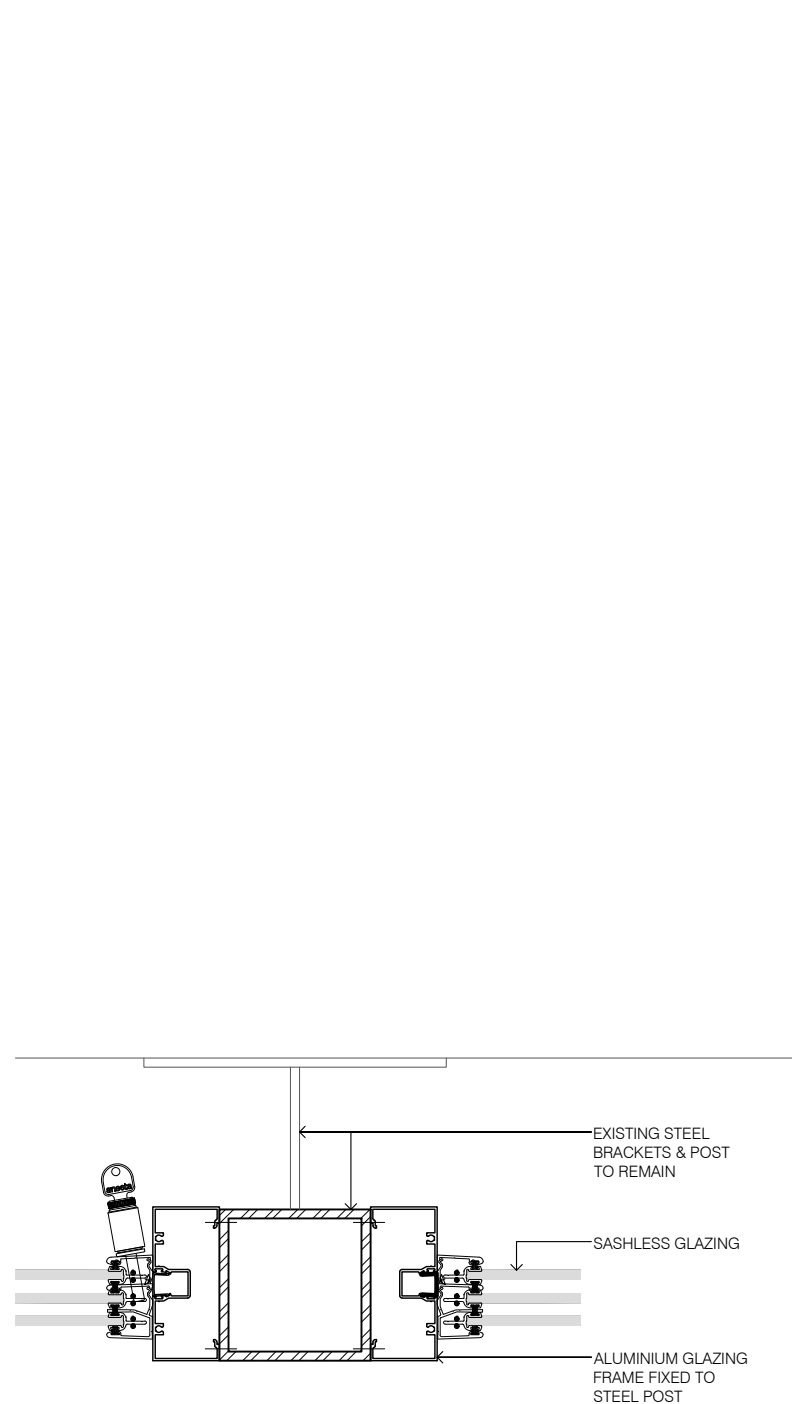
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ISSUE: E - DEVELOPMENT APPLICATION

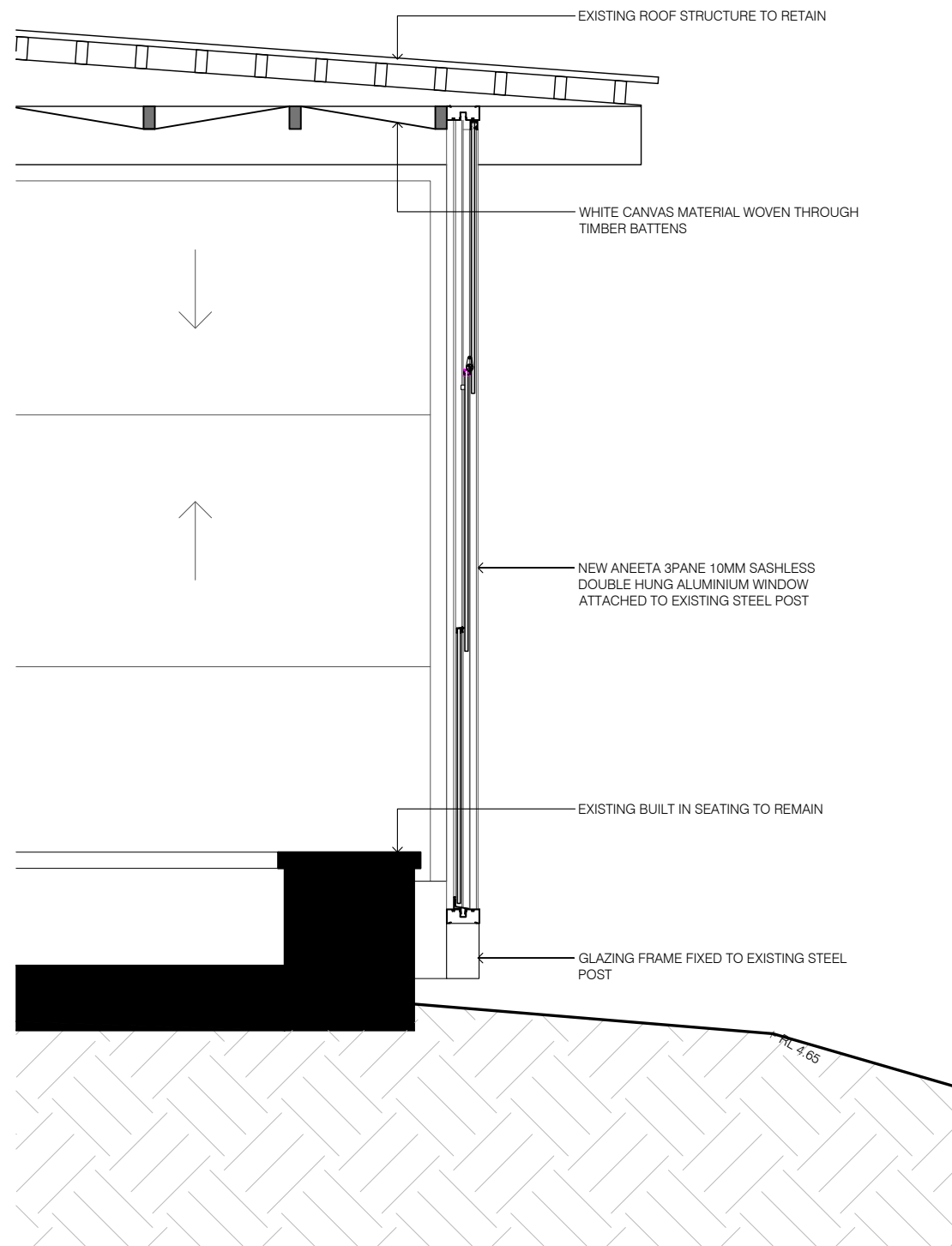
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A2001



1 FRAME TO STEEL POST DETAIL
2011 SCALE 1:5 @ A3



2 WINDOW SECTION
2011 SCALE 1:20 @ A3

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ALTERATIONS & ADDITIONS
SYDNEY RESTAURANT GROUP

WINDOW & ROOF DETAIL

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ISSUE: E - DEVELOPMENT APPLICATION

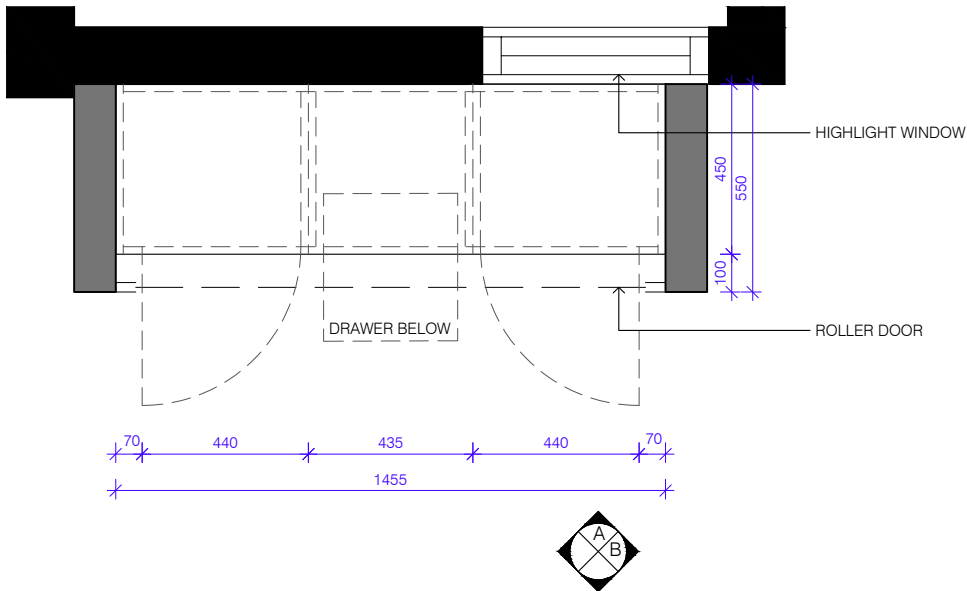
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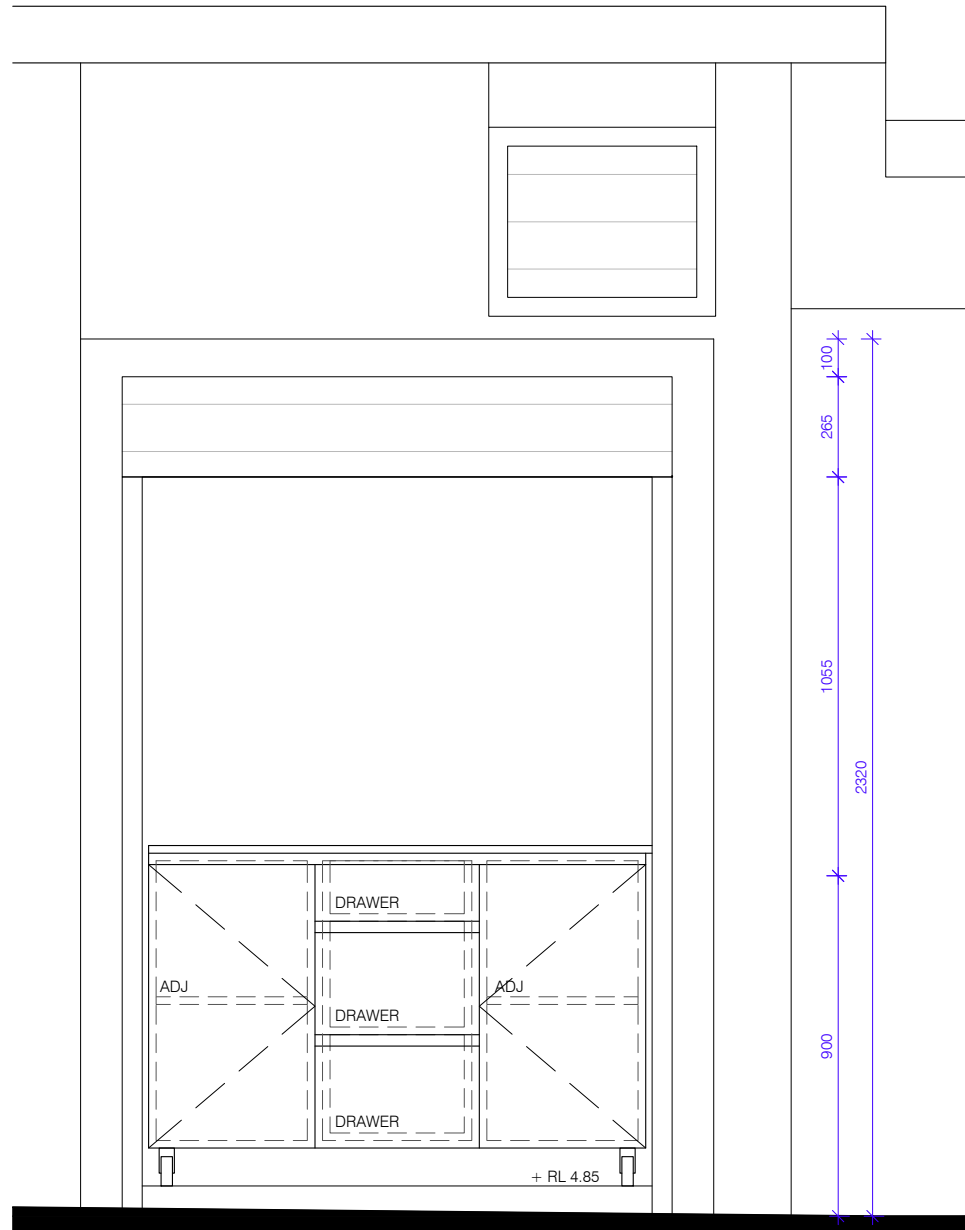
A2011



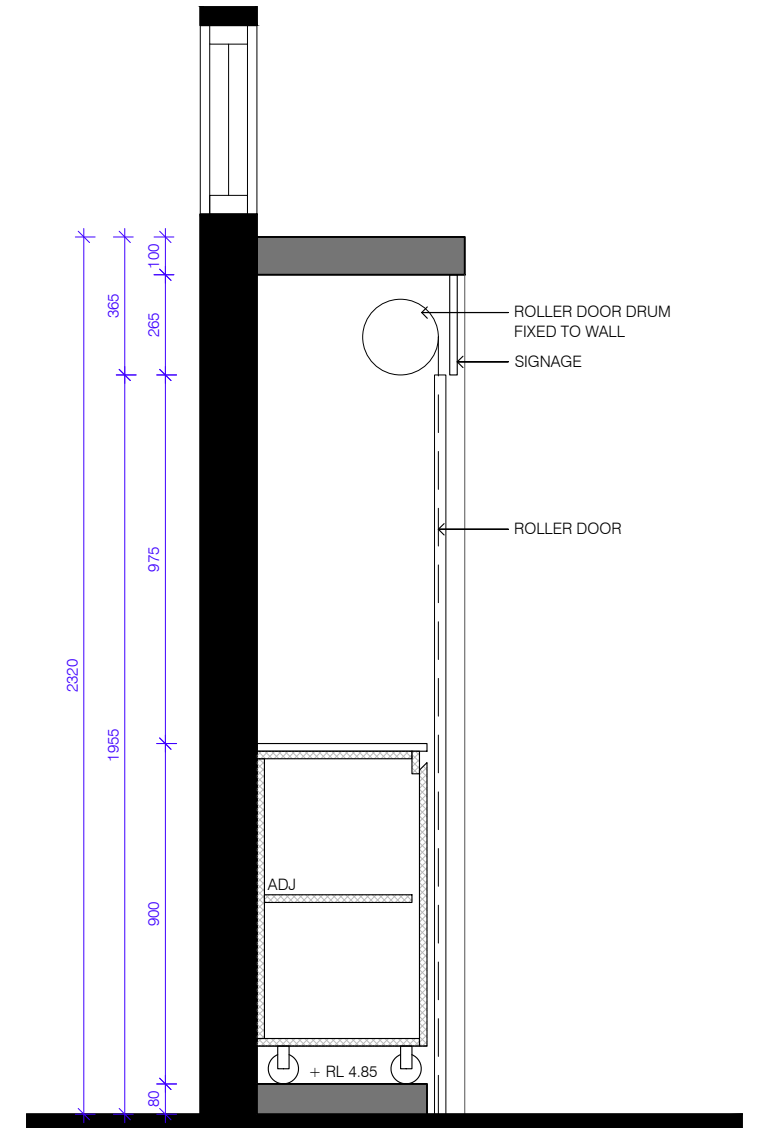
4 WAITERS STATION 3D
2021 NTS @ A3



1 WAITERS STATION PLAN
2021 SCALE 1:20 @ A3



2 WAITERS STATION ELEVATION A
2021 SCALE 1:20 @ A3



3 WAITERS STATION ELEVATION B
2021 SCALE 1:20 @ A3

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3D PERSPECTIVE 1

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A3001



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3D PERSPECTIVE 2

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A3003



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3D PERSPECTIVE 3

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SYDNEY RESTAURANT GROUP

3D PERSPECTIVE 4

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3D PERSPECTIVE 5

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