

(A) Easement for Sewerage Purposes
5 wide (vide 7011923)
(B) Easement for Sewerage Purposes
5 wide (vide 6579349)
(C) Easement for Sewerage Purposes
5 wide (vide 6750395)

A
DP 358765

B
DP 358765

5017
DP1071760
PUBLIC RESERVE

5016
DP1071760

LORIKEET GROVE

D P 2 7 0 4 2 6

D P 2 7 0 4 2 6

D P 2 7 0 4 2 6

D P
5011

1 0 7 1 7 6 0
5012

5013

D P 2 7 0 4 2 6

5014
DP1071760



**APPROVED PITTWATER COUNCIL
DEVELOPMENT CONSENT PLANS**
**NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT**

106
PUBLIC RESERVE
1944m²

105
RESIDUE
4150m²

LORIKEET GROVE

319

101

319

102

306

103

304

104

WARRIEWOOD ROAD

ROAD

NOTE
AREAS AND DIMENSIONS ARE APPROXIMATE ONLY

2
DP 1115877

STAGE 1 SUBDIVISION

**PLAN OF PROPOSED SUBDIVISION
OF LOT 1 DP1115877
WARRIEWOOD ROAD, WARRIEWOOD**

F				SURVEYED	DATUM	SCALES	406 Pacific Highway PO Box 132 BX 22410 Lindfield NSW 2070 ACN 093 044 407	PROUST&GARDNER CONSULTING PTY LIMITED SURVEYORS & PLANNERS	Tel: 9416 1335 Fax: 9416 3845 Email: png@png.com.au ABN 74 093 044 407	JOB No. 22441	A	CLIENT ABAX Contracting Pty. Ltd. PROPERTY DESCRIPTION Lot 1 D.P.1115877 No.81 Warriewood Road WARRIEWOOD	PLAN OF PROPOSED SUBDIVISION OF LOT 1 DP1115877 WARRIEWOOD ROAD, WARRIEWOOD
E													
D													
C													
B													
A		ORIGINAL ISSUE	2/9/08	APPROVED P.G.	R.L. SOURCE	A1 - 1:250 A3 - 1:500				DATE 2 Sept 2008			
No.	AMENDMENT		DATE		DATE					PLAN No. 22441-SUB1			
										SHEET 1 OF 1 SHEETS			



- NOTES
- 1.) ▲ DENOTES ZERO LOT BOUNDARY
 - 2.) ● DENOTES PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE
 - 3.) ▣ DENOTES PARTY WALL
 - 4.) AREAS AND DIMENSIONS ARE APPROXIMATE ONLY

SUBDIVISION

F		SURVEYED	DATUM	SCALES	406 Pacific Highway PO Box 132 DX 23410 Lindfield NSW 2070 ACN 093 046 407	PROUST&GARDNER CONSULTING PTY LIMITED SURVEYORS & PLANNERS	Tel: 9416 1335 Fax: 9416 3845 Email: png@png.com.au ABN 74 093 046 407	JOB No. 22441	B	CLIENT ABAX Contracting Pty. Ltd. PROPERTY DESCRIPTION Lot 1 DP 1115877 No 61 Warriewood Road WARRIEWOOD	PLAN OF PROPOSED COMMUNITY SCHEME SUBDIVISION OF LOT 105 IN DA No.N0568/08 LORIKEET GROVE, WARRIEWOOD
E											
D											
C	REVISION - ALKIRA HOMES										
B	ORIGINAL ISSUE										
A		25/07/10	DRAWN W.H.	A1 - 1:250 A3 - 1:500				DATE JULY 2010			
		25/08/08	APPROVED P.G.					PLAN No. 22441-SUB2			
No.	AMENDMENT	DATE	R.L. SOURCE DATE					SHEET 1 OF 1 SHEETS			File: \\22441 Warriewood Road Warriewood\Drawings\22441-7.dwg

CALCULATIONS
OVERALL SITE AREA = 4163.30sqm

LOT 2

ALLOTMENT AREA = 301.80sqm
GROUND FLOOR AREA
Living area = 77.56sqm
Garage area = 34.50sqm
Alfresco area = 10.66sqm
Porch area = 2.95sqm
Total Ground Floor area = 125.61sqm
FIRST FLOOR AREA
Living area = 105.43sqm
Balcony area = 5.85sqm
Total First Floor area = 111.28sqm
TOTAL FLOOR AREA = 236.89sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 87.75sqm

LOT 3

ALLOTMENT AREA = 318.30sqm
GROUND FLOOR AREA
Living area = 90.03sqm
Garage area = 33.97sqm
Alfresco area = 8.89sqm
Porch area = 1.55sqm
Total Ground Floor area = 134.47sqm
FIRST FLOOR AREA
Living area = 105.46sqm
Balcony area = 3.55sqm
Total First Floor area = 109.01sqm
TOTAL FLOOR AREA = 243.48sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 82.00sqm

LOT 4

ALLOTMENT AREA = 303.05sqm
GROUND FLOOR AREA
Living area = 92.45sqm
Garage area = 33.97sqm
Alfresco area = 8.89sqm
Total Ground Floor area = 135.91sqm
FIRST FLOOR AREA
Living area = 114.87sqm
Balcony area = 7.52sqm
Total First Floor area = 122.39sqm
TOTAL FLOOR AREA = 258.30sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 93.91sqm

LOT 5

ALLOTMENT AREA = 301.40sqm
GROUND FLOOR AREA
Living area = 92.45sqm
Garage area = 33.97sqm
Alfresco area = 8.89sqm
Total Ground Floor area = 135.91sqm
FIRST FLOOR AREA
Living area = 114.87sqm
Balcony area = 7.52sqm
Total First Floor area = 122.39sqm
TOTAL FLOOR AREA = 258.30sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 92.34sqm

LOT 6

ALLOTMENT AREA = 430.00sqm
GROUND FLOOR AREA
Living area = 92.45sqm
Garage area = 33.97sqm
Alfresco area = 8.89sqm
Total Ground Floor area = 135.91sqm
FIRST FLOOR AREA
Living area = 114.87sqm
Balcony area = 7.52sqm
Total First Floor area = 122.39sqm
TOTAL FLOOR AREA = 258.30sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 189.73sqm

LOT 7

ALLOTMENT AREA = 534.80sqm
GROUND FLOOR AREA
Living area = 103.29sqm
Garage area = 33.29sqm
Alfresco area = 13.80sqm
Total Ground Floor area = 153.58sqm
FIRST FLOOR AREA
Living area = 124.76sqm
Balcony area = 6.79sqm
Total First Floor area = 131.55sqm
TOTAL FLOOR AREA = 285.13sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 267.88sqm

LOT 8

ALLOTMENT AREA = 319.40sqm
GROUND FLOOR AREA
Living area = 103.29sqm
Garage area = 33.29sqm
Alfresco area = 13.80sqm
Total Ground Floor area = 153.58sqm
FIRST FLOOR AREA
Living area = 124.76sqm
Balcony area = 6.79sqm
Total First Floor area = 131.55sqm
TOTAL FLOOR AREA = 285.13sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 99.91sqm

LOT 9

ALLOTMENT AREA = 320.10sqm
GROUND FLOOR AREA
Living area = 103.29sqm
Garage area = 33.29sqm
Alfresco area = 13.80sqm
Total Ground Floor area = 153.58sqm
FIRST FLOOR AREA
Living area = 124.76sqm
Balcony area = 6.79sqm
Total First Floor area = 131.55sqm
TOTAL FLOOR AREA = 285.13sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 99.91sqm

LOT 10

ALLOTMENT AREA = 320.10sqm
GROUND FLOOR AREA
Living area = 103.29sqm
Garage area = 33.29sqm
Alfresco area = 13.80sqm
Total Ground Floor area = 153.58sqm
FIRST FLOOR AREA
Living area = 124.76sqm
Balcony area = 6.79sqm
Total First Floor area = 131.55sqm
TOTAL FLOOR AREA = 285.13sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 99.91sqm

LOT 11

ALLOTMENT AREA = 317.99sqm
GROUND FLOOR AREA
Living area = 85.21sqm
Garage area = 36.02sqm
Alfresco area = 9.73sqm
Total Ground Floor area = 134.40sqm
FIRST FLOOR AREA
Living area = 106.61sqm
Balcony area = 5.85sqm
Total First Floor area = 112.46sqm
TOTAL FLOOR AREA = 246.86sqm
PRIVATE COURTYARD (inc Alfresco) = 62.51sqm

LOT 12

ALLOTMENT AREA = 305.27sqm
GROUND FLOOR AREA
Living area = 85.07sqm
Garage area = 33.19sqm
Alfresco area = 8.89sqm
Total Ground Floor area = 129.45sqm
FIRST FLOOR AREA
Living area = 107.06sqm
Balcony area = 5.85sqm
Total First Floor area = 112.89sqm
TOTAL FLOOR AREA = 242.34sqm
PRIVATE COURTYARD (inc Alfresco) = 83.77sqm



C:\Documents and Settings\Administrator\My Documents\ALKIRA 3.pln

Alkira Homes
A NEW GENERATION

REVISION : A 28/8/2010
Provide rainwater tanks 3000litre

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor.

I.L. New & Associates MBDA, NSW
BSC LICENCE No. 20388
Unit 25 No. 11 Romford Rd
Kings Park, NSW 2148
Telephone: (02) 9671 6860
Facsimile: (02) 9671 4331

For:
ABAX Contracting
Project Name:
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD,
WARRIEWOOD

Drawing Title:
SITE PLAN
SITE PLAN

Scale: as noted
Status: DA
Project No:
2010:137

Date:
Checked By:
Layout No.:
1of17A

Plot Date: 31/08/2010

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT.

Figure 8
SHEET 1 OF 2 SHEETS

HOUSING DETAIL GROUND FLOOR

LOT 105 LORIKEET GROVE

DATE 2 SEPT 2010 PLAN NO 22441/HD 1

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor

I L New & Associates MBDA, NSW
BSC LICENCE No 20392

Unit 25 No 11 Romford Rd
Kings Park, NSW 2148
Telephone (02) 9671 8860
Facsimile (02) 9671 4331



Building
Designers
Association
of NSW Inc

**For
ABAX Contracting**

Project Name
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD
WARRIEWOOD

Drawing Title
GROUND FLOOR LAYOUT
GROUND FLOOR PLAN

Scale as noted

Status DA

Project No. _____

2010 137

Plot Date

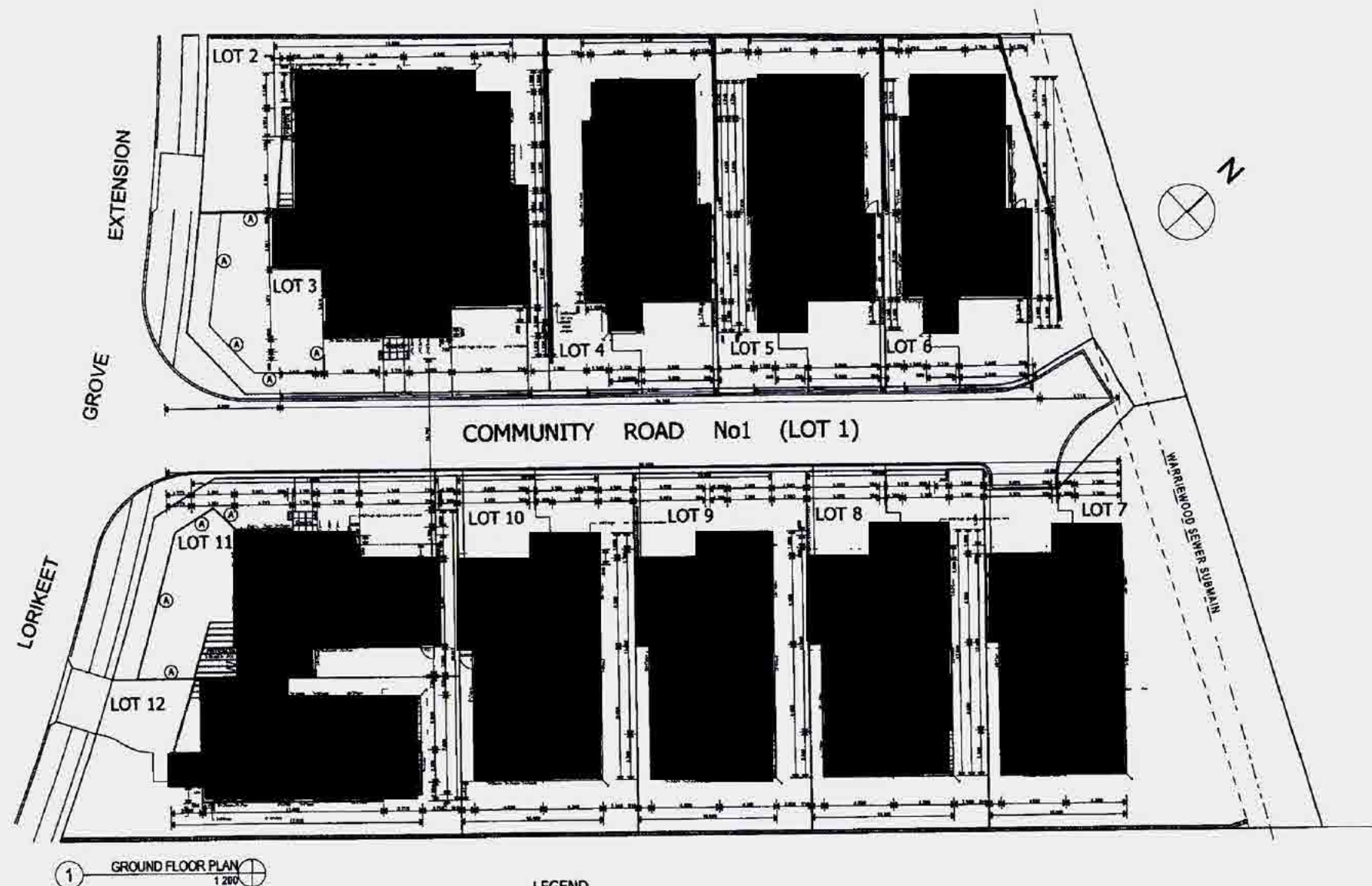
Date _____

Checked By	
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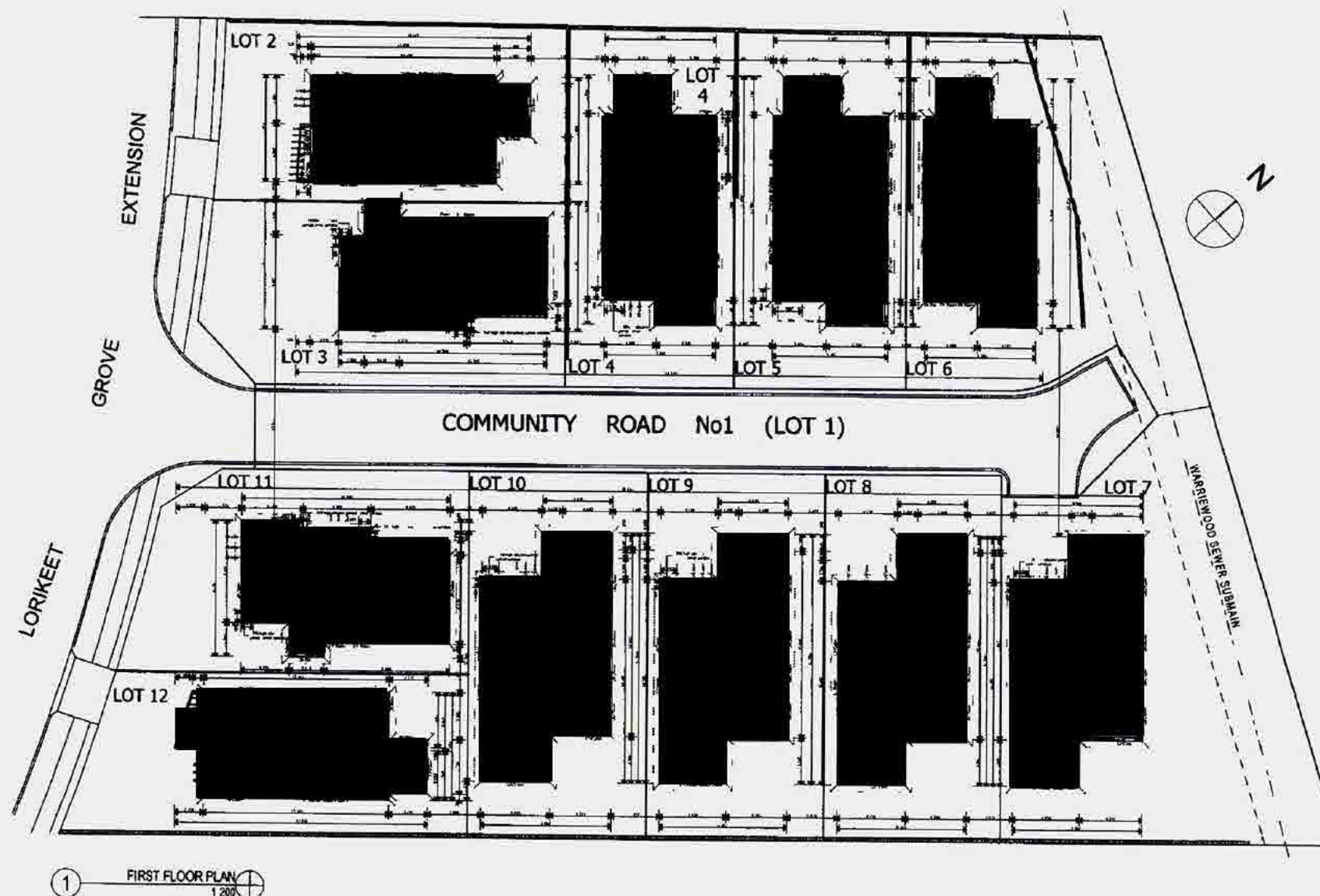
Layout No	
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4 of 17 A

31/08/2010



LEGEND
symbol description
(A) 1.8 meters high fencing



PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

Figure 8
SHEET 2 OF 2 SHEETS

HOUSING DETAIL FIRST FLOOR

LOT 105 LORIKEET GROVE

DATE 2 SEPT 2010 PLAN NO 22441/HD 2

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor

I L New & Associates MBDA, NSW
BSC LICENCE No 20388
Unit 25 No 11 Romford Rd
Kings Park, NSW 2148
Telephone (02) 9571 6860
Facsimile (02) 9571 4331



For
ABAX Contracting
Project Name
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
SUBDIVISION OF LOT 1 DP 1115877 WARREWOOD ROAD
WARREWOOD

Drawing Title
FIRST FLOOR LAYOUT
FIRST FLOOR PLAN

Scale as noted	Date
Stella DA	On filed By
Project No 2010 137	Layout No 5of17A

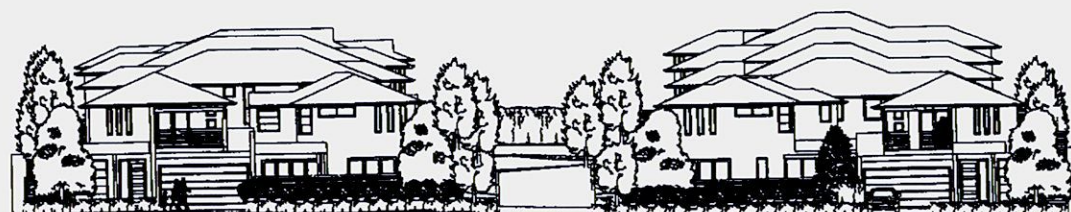
Plot Date 31/04/2010



1 STREETScape ROAD No1
1:200



1 STREETScape ROAD No1
1:200



3 STREETScape LORIKEET GROVE
1:200

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
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DEVELOPMENT CONSENT

Figure 9

STREETSCAPES LOT 105 LORIKEET GROVE

DATE 2 SEPT 2010 PLAN NO 22441/SS

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I L New & Associates MBDA NSW
BSC LICENCE No 20388

Unit 25 No 11 Romford Rd
Kings Park, NSW 2148
Telephone (02) 9671 6860
Facsimile (02) 9671 4331

bol Builders
Association
of NSW Inc

For
ABAX Contracting

Project Name
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD
WARRIEWOOD

Drawing Title
ELEVATIONS
STREETScape-ROAD No1 STREETScape
LORIKEET GROVE

Scale as noted	Date
Status DA	Checked By
Project No 2010 137	Layout No 6of17A

Plot Data

31/08/2010

REVISION : A 28/8/2010
Provide rainwater tanks 3000litre

BASIX Commitments DW1

CERTIFICATE NUMBER:	333514M
SITE DETAILS:	
Lot No:	2
DP Number:	1115877
Site Area:	620.10m ²
PROJECT DETAILS:	
No. Bedrooms:	3
Conditioned Floor Area:	152.38m ²
Unconditioned Floor Area:	14.44m ²
Roof Area:	279.19m ²
Garden & Lawn Area:	132.83m ²
ALTERNATIVE WATER:	
Rain Water Tank Volume:	3090 L
Roof Area Connected to Tank:	279.19m ²
Rainwater Usages:	Toilets, One Outdoor Tap & Laundry
Remainder of Roof Water to Easement:	Yes
Hydraulic Design System Required:	Yes
WATER FIXTURES:	
Showerheads Rating:	3 Star (Min.)
Toilet Flushing System:	4 Star (Min.)
Kitchen Tap Fittings:	4 Star (Min.)
Basin Tap Fittings:	4 Star (Min.)
THERMAL COMFORT:	
External Wall & Floor Specifications:	
*Brick Veneer:	R1.5
*Roof & Ceiling Specifications:	R4.0 (Foil/Sarking & R1.5 Foil + Batts)
*Internal Walls:	R1.5 (Garage Wall Only)
Windows Glazed Doors & Skylights:	
*W1, 5-14, 19-22 Improved Aluminium Single Clear (SHGC: 0.77 U-Value: 6.35)	
*W2-4, 15-18 Improved Aluminium Low e (SHGC: 0.47 U-Value: 4.32)	
ENERGY:	
Hot Water System:	Gas (Instantaneous) 5 Star
Cooling & Heating System:	3 Phase Air Conditioning (EER 2.5-3.0)
Ventilation:	*Fan Ducted to Facade/Roof (Manual Switch) Bath & Kitchen Laundry
*Natural Ventilation Only:	
Natural Lighting:	
Windows/Skylight in 3 Bathrooms/Toilets & Kitchens:	Yes
Refrigerator Space:	Yes
Outdoor Clothesline:	Yes
Appliances:	Gas Cooktop & Electric Oven

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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I.L. New & Associates MBDA, NSW
BSC LICENCE No. 20388

Unit 25 No. 11 Romford Rd
Kings Park, NSW 2148
Telephone: (02) 9671 6880
Facsimile: (02) 9671 4331



For:
ABAX Contracting

Project Name
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
SUBDIVISION OF LOT 1 DP 1115877 WARREWOOD ROAD,
WARREWOOD

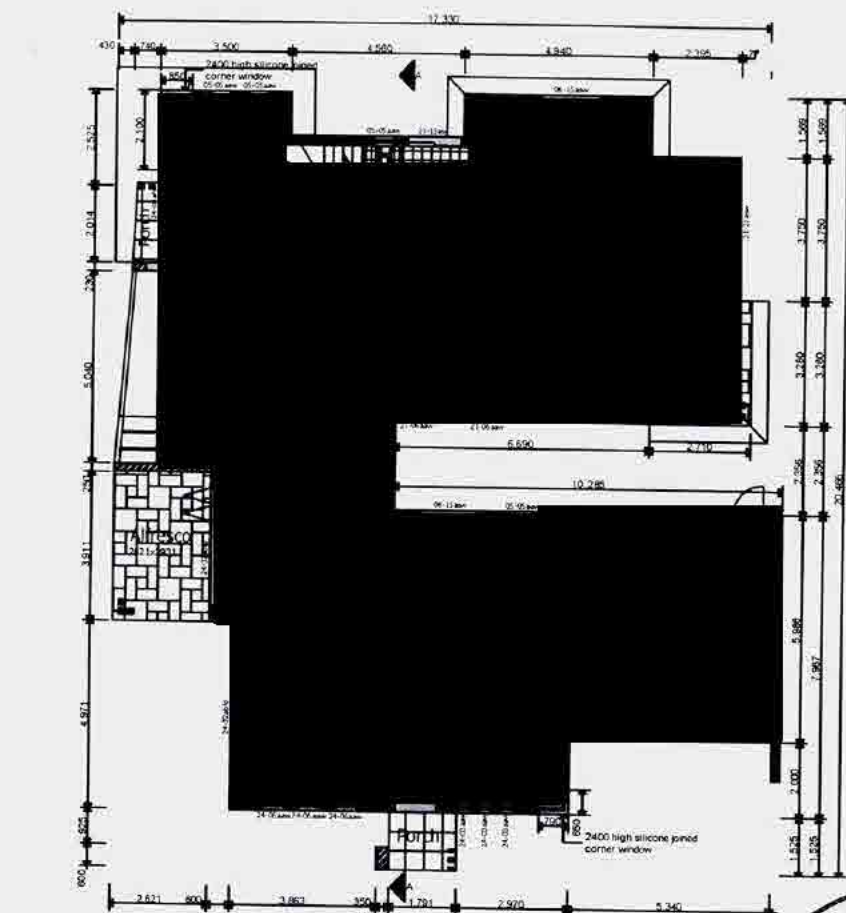
Drawing Title
- LOT 2 & 3
GROUND FLOOR PLAN, FIRST FLOOR PLAN

Scale: as noted	Date:
Status: DA	Checked By:
Project No: 2010:137	Drawing No: 7of17A(a3)

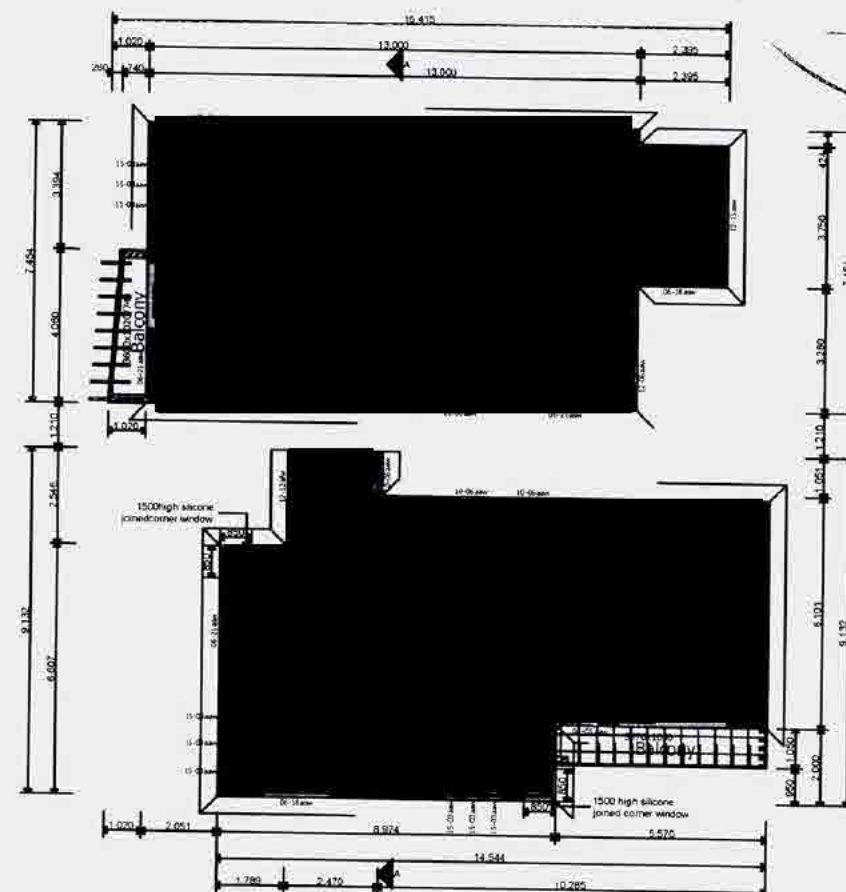
Plot Data: 30/08/2010

LOT 2
ALLOTMENT AREA = 301.80sqm
GROUND FLOOR AREA
Living area = 77.56sqm
Garage area = 34.50sqm
Alfresco area = 10.60sqm
Porch area = 2.95sqm
Total Ground Floor area = 125.61sqm
FIRST FLOOR AREA
Living area = 105.43sqm
Balcony area = 5.85sqm
Total First Floor area = 111.28sqm
TOTAL FLOOR AREA = 236.89sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 87.75sqm

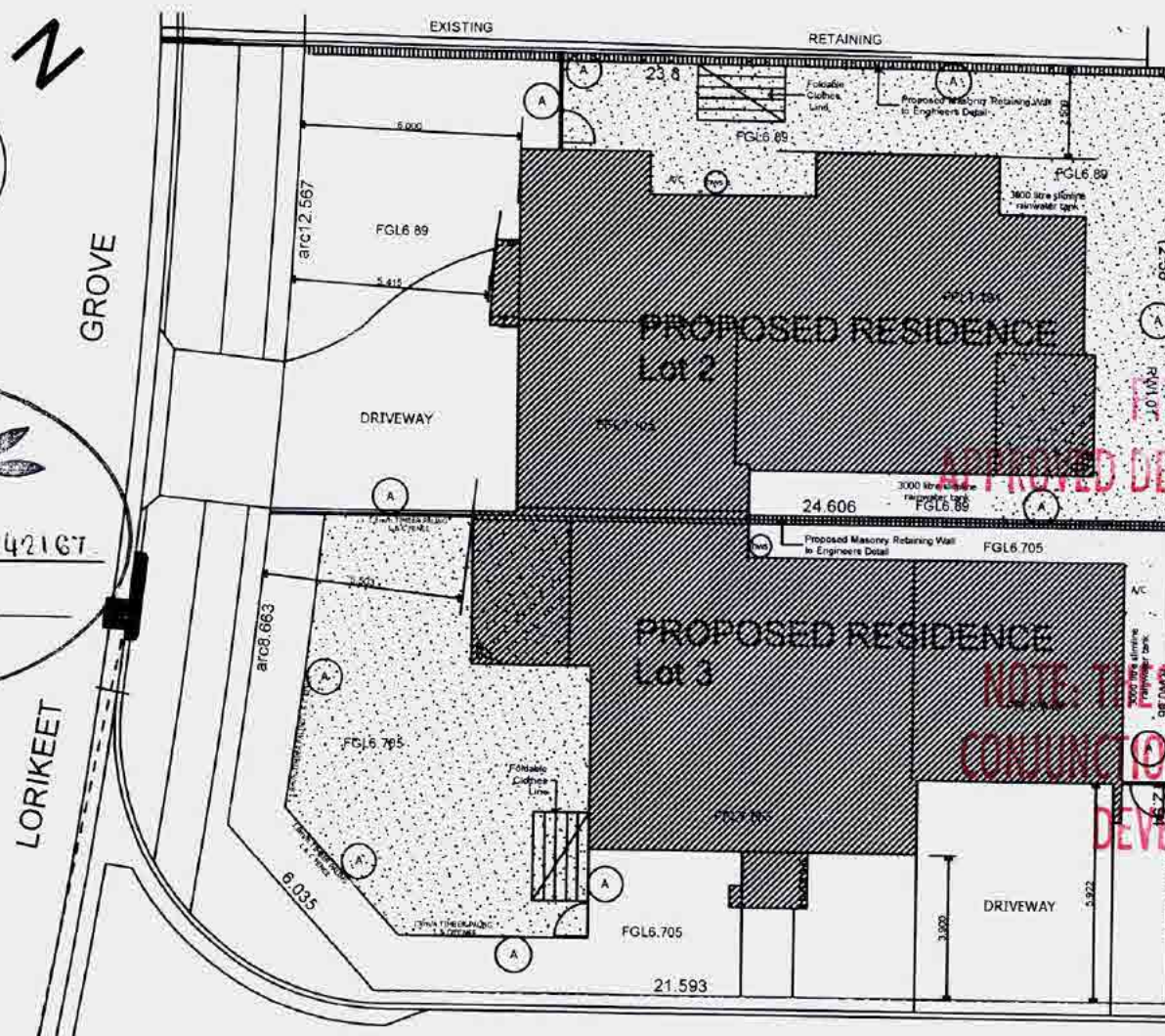
LOT 3
ALLOTMENT AREA = 318.30sqm
GROUND FLOOR AREA
Living area = 90.03sqm
Garage area = 34.00sqm
Alfresco area = 8.89sqm
Porch area = 1.55sqm
Total Ground Floor area = 134.47sqm
FIRST FLOOR AREA
Living area = 105.46sqm
Balcony area = 3.55sqm
Total First Floor area = 109.01sqm
TOTAL FLOOR AREA = 243.48sqm
PRIVATE COURTYARD AREA (inc Alfresco) = 82.00sqm



1 GROUND FLOOR PLAN
1:200



3 FIRST FLOOR PLAN
1:200



3 SITE PLAN
1:200

LEGEND

symbol description
A 1.8meters high Fencing

Denotes Private Open Space (minimum dimension 2.0m)

FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardener)

RW Denotes Proposed Retaining Wall

Denotes Proposed Clothes Line

LEGEND

symbol description
A 1.8meters high Fencing

Denotes Private Open Space (minimum dimension 2.0m)

FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardener)

RW Denotes Proposed Retaining Wall

Denotes Proposed Clothes Line

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

Table of Materials & Finishes

cement rendered & painted brickwork
concrete rppf tiles as selected
aluminium framed windows as selected
panel lift garage doors as selected
stainless steel balustrade as selected to comply with BCA requirements
aluminium framed sliding door as selected
cement rendered & painted blueboard cladding
colorbond capping
aluminium framed silicone joined corner windows
aluminium framed glazed swing door as selected
metal deck roof sheeting as selected installed to manufacturers specifications
timber framed roof trusses to manufacturers specifications
sheet flooring on timber floor joists to manufacturers specifications
plasterboard wall & ceiling lining
selected timber entry door with glazed panels & aluminium framed highlight & sidelight
reinforced concrete slab to engineers details
blueboard lined timber awnings cement rendered & painted finish
aluminium framed bi-fold doors as selected



1 SECTION A:A
1:200



2 SOUTH EASTERN ELEVATION
1:200



2 NORTH EASTERN ELEVATION LOTS 2 & 3
1:200



4 SOUTH WESTERN ELEVATION LOTS 2 & 3
1:200



4 NORTH WESTERN ELEVATION LOTS 2 & 3
1:200



Alkira Homes
A NEW GENERATION

REVISION : A 28/8/2010
Provide rainwater tanks 3000litre

BASIX Commitments DW2

CERTIFICATE NUMBER: 331814M
SITE DETAILS:
Lot No: 3
DP Number: 1115877
Site Area: 620.10m²

PROJECT DETAILS:
No. Bedrooms: 4
Conditioned Floor Area: 142.08m²
Unconditioned Floor Area: 15.23m²
Roof Area: 279.19m²
Garden & Lawn Area: 165.05m²

ALTERNATIVE WATER:
Rain Water Tank Volume: 3090 L
Roof Area Connected to Tank: 279.19m²
Rainwater Usages: Toilets, One Outdoor Tap & Laundry
Remainder of Roof Water to Easement: Yes
Hydraulic Design System Required: Yes

WATER FIXTURES:
Showerheads Rating: 3 Star (Min.)
Toilet Flushing System: 4 Star (Min.)
Kitchen Tap Fittings: 4 Star (Min.)
Basin Tap Fittings: 4 Star (Min.)

THERMAL COMFORT:
External Wall & Floor Specifications:
*Brick Veneer: R1.5
*Roof & Ceiling Specifications: R4.0 (Foil/Sarking & R1.5 Foil + Batts)
*Internal Walls: R1.5 (Garage Wall Only)
Windows Glazed Doors & Skylights:
*W9-20, 23-26 Improved Aluminium Single Clear (SHGC: 0.77 U-Value: 6.35)
*W1-8, 21-22 Improved Aluminium Low e (SHGC: 0.47 U-Value: 4.32)

ENERGY:
Hot Water System: Gas (Instantaneous) 5 Star
Cooling & Heating System: 3 Phase Air Conditioning (SEER 2.5-3.0)
Ventilation: *Fan Ducted to Facade/Roof (Manual Switch) Bath & Kitchen
*Natural Ventilation Only Laundry
Windows/Skylight in 3 Bathrooms/Toilets & Kitchen:
Refrigerator Space: Yes
Outdoor Cloatheline: Yes
Appliances: Gas Cooktop & Electric Oven

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor.

I.L. New & Associates MBDA, NSW
BSC LICENCE No. 20388

Unit 25 No. 11 Romford Rd
Kings Park, NSW 2148
Telephone: (02) 9671 6860
Facsimile: (02) 9671 4331

Building Designers Association of NSW Inc.

For:
ABAX Contracting

Project Name
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A SUBDIVISION OF LOT 1 DP 1115877 WARREWOOD ROAD, WARREWOOD

Drawing Title
- LOTS 2 & 3
SOUTH WESTERN ELEVATION LOTS 2 & 3,
SOUTH EASTERN ELEVATION, NORTH

WESTERN ELEVATION LOTS 2 & 3, NORTH

EASTERN ELEVATION LOTS 2 & 3, SECTION

Plot No
2010:137

Plot Date

Drawing No
8of17A(a3)

30/08/2010

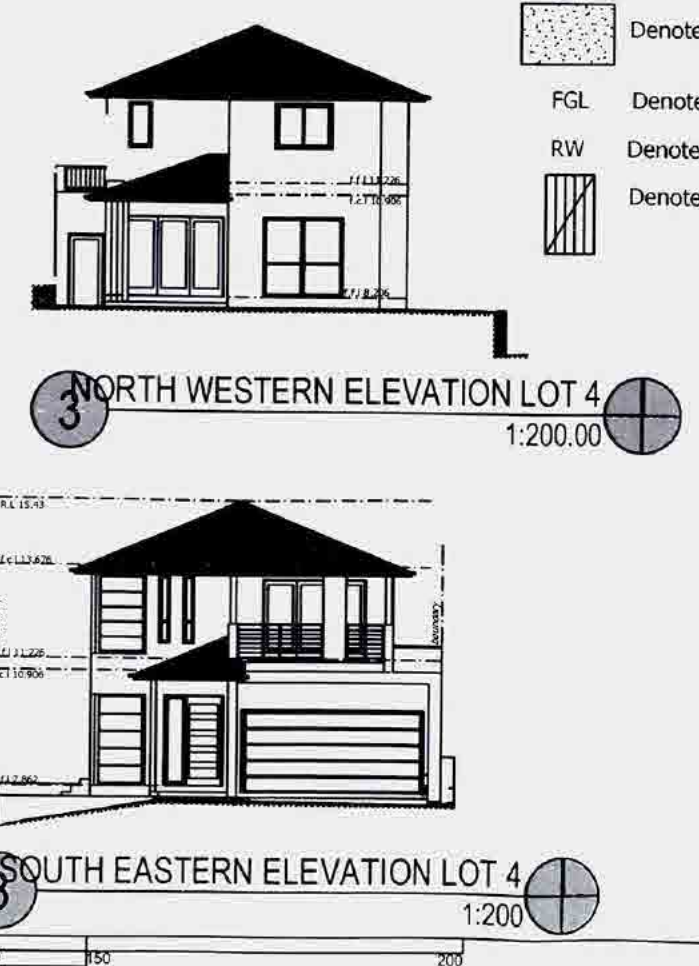
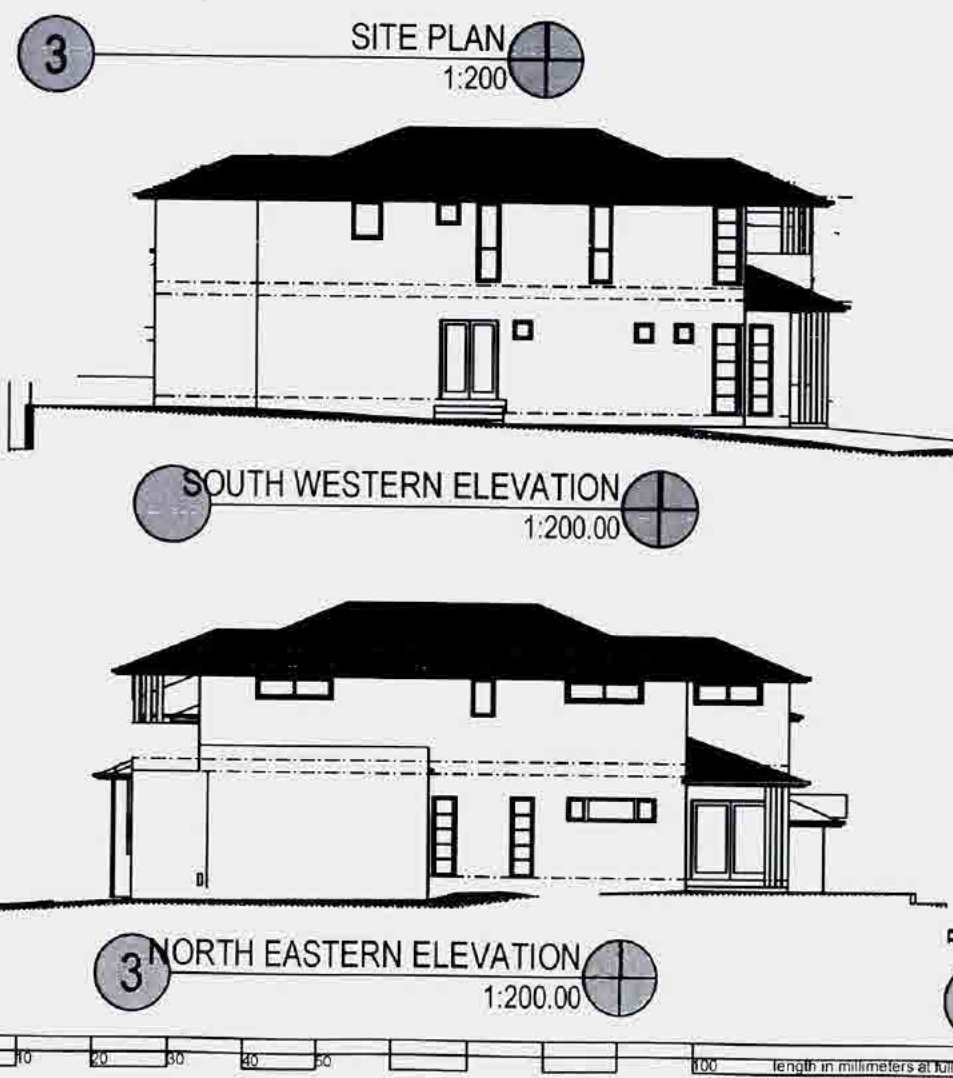
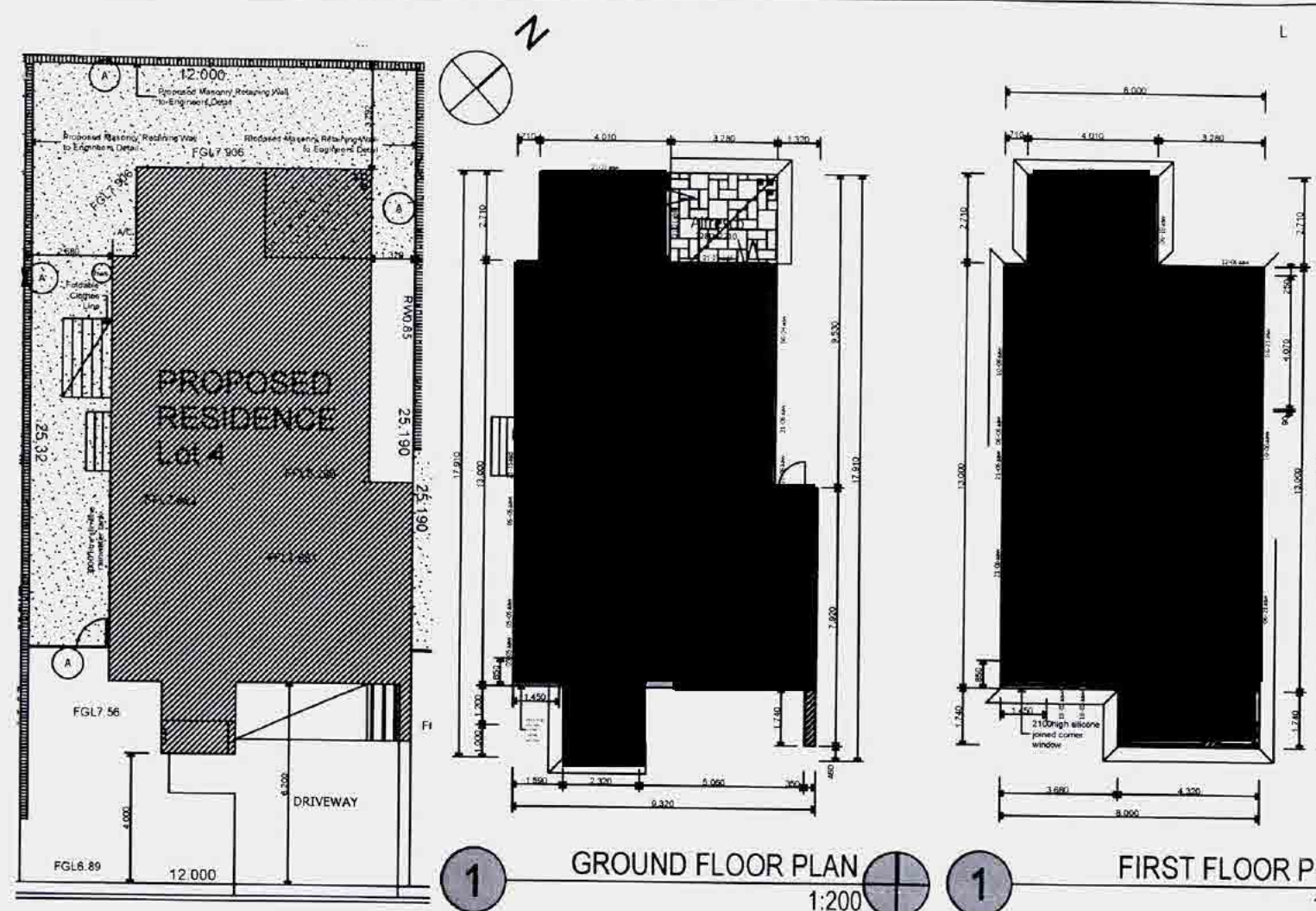
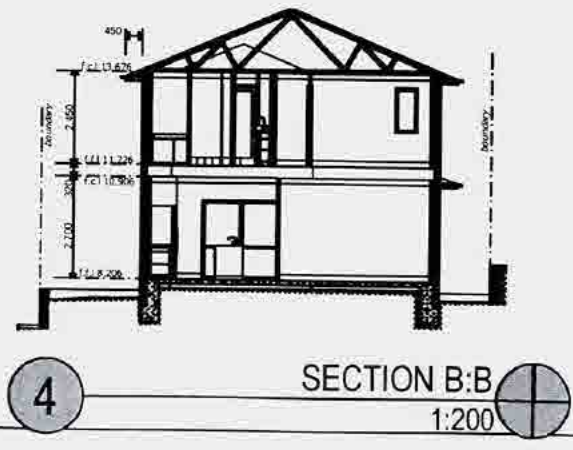


Table of Materials & Finishes
 cement rendered & painted brickwork
 concrete rppf tiles as selected
 aluminium framed windows as selected
 panel lift garage doors as selected
 stainless steel balustrade as selected to comply with BCA requirements
 aluminium framed sliding door as selected
 cement rendered & painted blueboard cladding
 colorbond capping
 aluminium framed silicone joined corner windows
 aluminium framed glazed swing door as selected
 metal deck roof sheeting as selected installed to manufacturers specifications
 timber framed roof trusses to manufacturers specifications
 sheet flooring on timber floor joists to manufacturers specifications
 plasterboard wall & ceiling lining
 selected timber entry door with glazed panels & aluminium framed highlight & sidelight
 reinforced concrete slab to engineers details
 blueboard lined timber awnings cement rendered & painted finish
 aluminium framed bi-fold doors as selected

LOT 4
 ALLOTMENT AREA = 303.0sqm
 GROUND FLOOR AREA
 Living area = 92.45sqm
 Garage area = 33.97sqm
 Alfresco area = 8.89sqm
 Total Ground Floor area = 135.91sqm
 FIRST FLOOR AREA
 Living area = 114.87sqm
 Balcony area = 7.52sqm
 Total First Floor area = 122.39sqm
 TOTAL FLOOR AREA = 258.30sqm
 PRIVATE COURTYARD AREA (inc Alfresco) = 93.91sqm

LEGEND
 symbol description
 (A) 1.8meters high Fencing
 Denotes Private Open Space (minimum dimension 2.0m)
 FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardener)
 RW Denotes Proposed Retaining Wall
 Denotes Proposed Clothes Line

ABSA
 Assr # 20872 Cert # 53927213
 Date 27/8/10



Alkira Homes
A NEW GENERATION

REVISION : A 28/8/2010
Provide rainwater tanks 3000litre

BASIX Commitments DW3

CERTIFICATE NUMBER: 3318205
SITE DETAILS:
 Lot No: 4
 DP Number: 1115877
 Site Area: 303.00m²

PROJECT DETAILS:
 No. Bedrooms: 4
 Conditioned Floor Area: 161.00m²
 Unconditioned Floor Area: 17.00m²
 Roof Area: 143.00m²
 Garden & Lawn Area: 141.00m²

ALTERNATIVE WATER:
 Rain Water Tank Volume: 3090 L
 Roof Area Connected to Tank: 142.92m²
 Rainwater Usages: Toilets, One Outdoor Tap & Laundry
 Remainder of Roof Water to Facement: Yes
 Hydraulic Design System Required: Yes

WATER FIXTURES:
 Showerheads Rating: 3 Star (Min.)
 Toilet Flushing System: 4 Star (Min.)
 Kitchen Tap Fittings: 4 Star (Min.)
 Basin Tap Fittings: 4 Star (Min.)

THERMAL COMFORT:
 External Wall & Floor Specifications:
 *Brick Veneer: R2.0
 *Roof & Ceiling Specifications: R4.0 (Foil/Sarking & R1.5 Foil + Batt) R2.0 (Garage Ceiling Floor) R1.5 (Garage Wall Only)
 *Internal Walls: R2.0
 Windows Glazed Doors & Skylights: All Windows Improved Aluminium Single Clear (SHGC: 0.77 U-Value: 0.35)
ENERGY:
 Hot Water System: Gas (Instantaneous) 5 Star
 Cooling & Heating System: 3 Phase Air Conditioning (EER 2.5-3.0)
 Ventilation: Natural Ventilation Only
 *Break Back to Exhaust (Manual Switch): Bath & Kitchen
 Natural Lighting: Windows/Skylight in 3 Bathrooms/Toilets & Kitchen
 Refrigerator Space: Yes
 Outdoor Clothesline: Yes
 Appliances: Gas Cooktop & Electric Oven

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

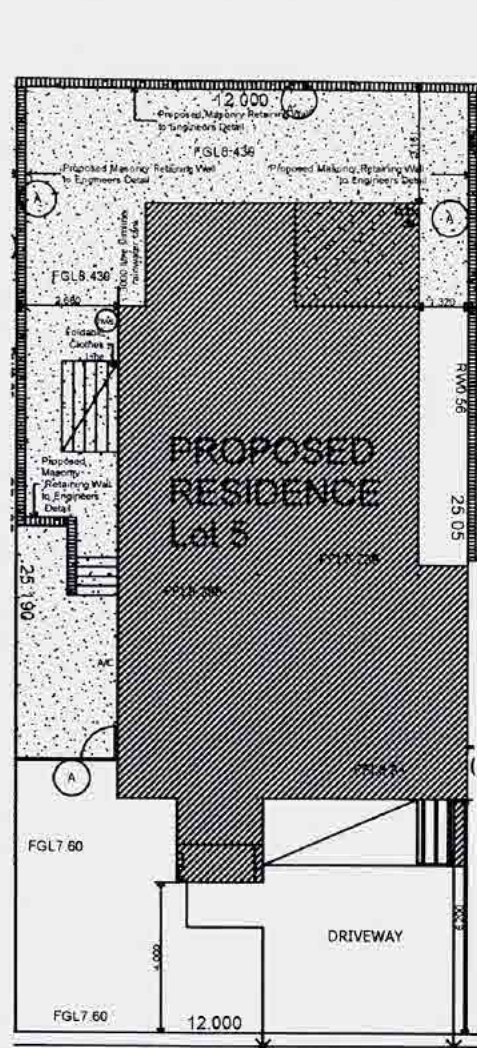
All works to be set out by registered surveyor

I.L. New & Associates MBDA, NSW
 BSC LICENCE No. 20388
 Unit 25 No. 11 Romford Rd
 Kings Park, NSW 2148
 Telephone: (02) 9671 6860
 Facsimile: (02) 9671 4331

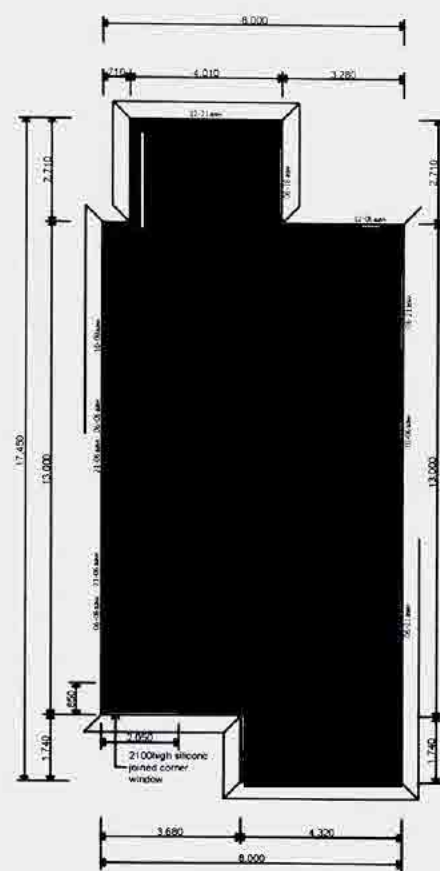
For:
 ABAX Contracting
 Project Name
Integrated Housing Development
 AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
 SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD,
 WARRIEWOOD

Drawing Title
 - LOT 4
 SITE PLAN, GROUND FLOOR PLAN, FIRST
 FLOOR PLAN, NORTH EASTERN ELEVATION,
 SOUTH WESTERN ELEVATION, NORTH
 WESTERN ELEVATION LOT 4, SOUTH EASTERN
 ELEVATION LOT 4, SECTION B:B, Story

2010:137
 9of17A(a3)



1 GROUND FLOOR PLAN 1:200



1 FIRST FLOOR PLAN 1:200

3 SITE PLAN 1:200



3 NORTH EASTERN ELEVATION LOT 5 1:200



3 SOUTH WESTERN ELEVATION LOT 5 1:200



3 SOUTH EASTERN ELEVATION LOT 5 1:200



3 NORTH WESTERN ELEVATION LOT 5 1:200

Table of Materials & Finishes

cement rendered & painted brickwork
concrete rppf tiles as selected
aluminium framed windows as selected
panel lift garage doors as selected
stainless steel balustrade as selected to comply with BCA requirements
aluminium framed sliding door as selected
cement rendered & painted blueboard cladding
colorbond capping
aluminium framed silicone joined corner windows
aluminium framed glazed swing door as selected
metal deck roof sheeting as selected installed to manufacturers specifications
timber framed roof trusses to manufacturers specifications
sheet flooring on timber floor joists to manufacturers specifications
plasterboard wall & ceiling lining
selected timber entry door with glazed panels & aluminium framed highlight & sidelight
reinforced concrete slab to engineers details
blueboard lined timber awnings cement rendered & painted finish
aluminium framed bi-fold doors as selected

LOT 5

ALLOTMENT AREA = 301.40sqm

GROUND FLOOR AREA

Living area = 92.45sqm

Garage area = 33.97sqm

Alfresco area = 8.89sqm

Total Ground Floor area = 135.91sqm

FIRST FLOOR AREA

Living area = 114.87sqm

Balcony area = 7.52sqm

Total First Floor area = 122.39sqm

TOTAL FLOOR AREA = 258.30sqm

PRIVATE COURTYARD AREA (inc Alfresco) = 92.34sqm

LEGEND

symbol description

(A) 1.8meters high Fencing

Denotes Private Open Space (minimum dimension 2.0m)

FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardner)

RW Denotes Proposed Retaining Wall

Denotes Proposed Clothes Line



4 SECTION C:C 1:200

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

Alkira Homes
A NEW GENERATION

REVISION : A 28/8/2010

Provide rainwater tanks 3000litre

BASIX Commitments DW4

CERTIFICATE NUMBER:	3318215
SITE DETAILS:	
Lot No:	5
DP Number:	1115877
Site Area:	301.00m ²
PROJECT DETAILS:	
No. Bedrooms:	4
Conditioned Floor Area:	161.00m ²
Unconditioned Floor Area:	17.00m ²
Roof Area:	143.00m ²
Garden & Lawn Area:	131.00m ²
ALTERNATIVE WATER:	
Rain Water Tank Volume:	3090 L
Roof Area Connected to Tank:	142.92m ²
Rainwater Usages:	Toilets, One Outdoor Tap & Laundry
Remainder of Roof Water to Easement:	Yes
Hydraulic Design System Required:	Yes
WATER FIXTURES:	
Showerheads Rating:	3 Star (Min.)
Toilet Flushing System:	4 Star (Min.)
Kitchen Tap Fittings:	4 Star (Min.)
Basin Tap Fittings:	4 Star (Min.)
THERMAL COMFORT:	
External Wall & Floor Specifications:	
*Brick Veneer:	R1.5
*Roof & Ceiling Specifications:	R3.0 (Foil/Sarking & R1.5 Foil + Batts)
Internal Walls:	R1.5 (Garage Wall Only)
Windows Glazed Doors & Skylights:	
All Windows Improved Aluminium Single Clear (SHGC: 0.77 U-Value: 6.35)	
ENERGY:	
Hot Water System:	Gas (Instantaneous) 5 Star
Cooling & Heating System:	3 Phase Air Conditioning (EER 2.5-3.0)
Ventilation:	*Fan Ducted to Facade/Roof (Manual Switch) Bath & Kitchen
*Natural Ventilation Only:	Laundry
Natural Lighting:	
Windows Skylight in 3 Bedrooms/Toilets & Kitchen:	Yes
Refrigerator Space:	Yes
Outdoor Clothesline:	Yes
Appliances:	Gas Cooktop & Electric Oven

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor

I.L. New & Associates MBDA, NSW
BSC LICENCE No. 20388

Unit 25 No. 11 Romford Rd
Kings Park, NSW 2148
Telephone: (02) 9671 6860
Facsimile: (02) 9671 4331

building
Designers
Association
of NSW Inc.

For
ABAX Contracting

Project Name
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD,
WARRIEWOOD

Drawing Title
LOT 5
SITE PLAN, GROUND FLOOR PLAN, FIRST

FLOOR PLAN, NORTH EASTERN ELEVATION LOT

Scale as noted Date

Drawn By: DA Checked By:

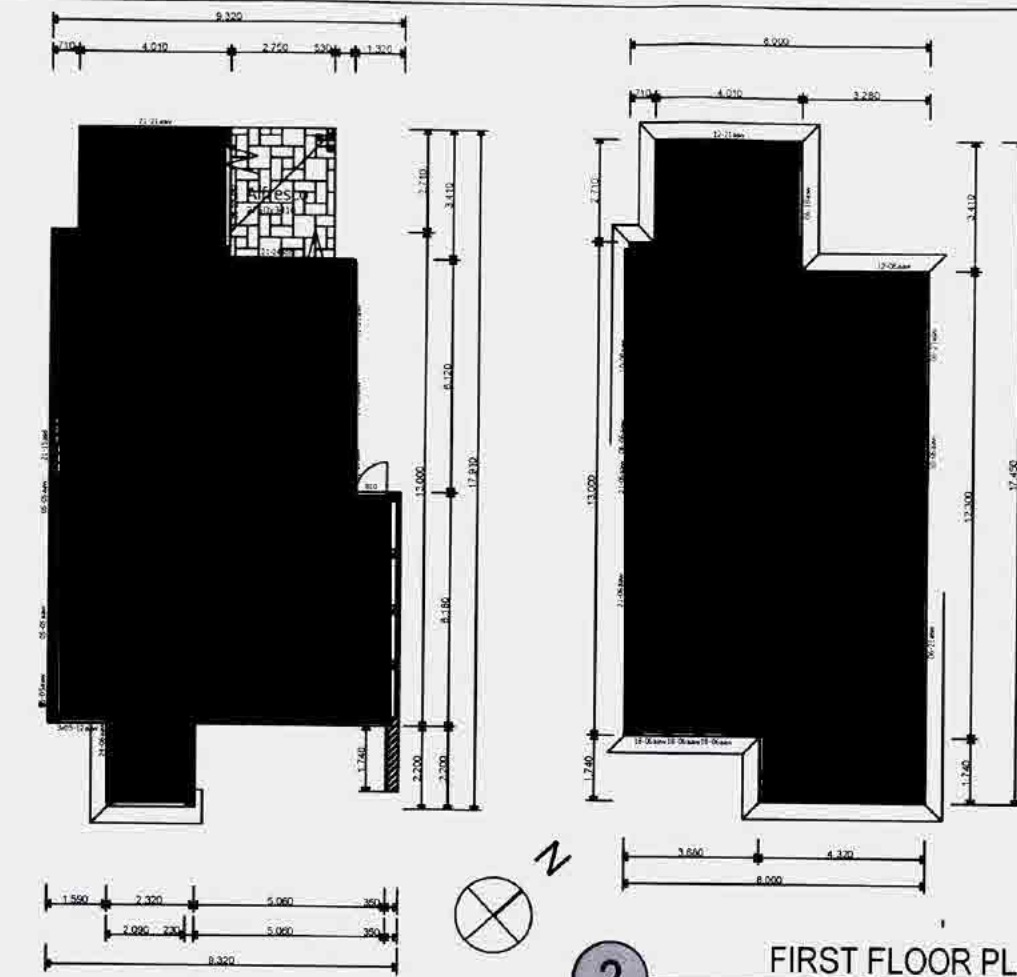
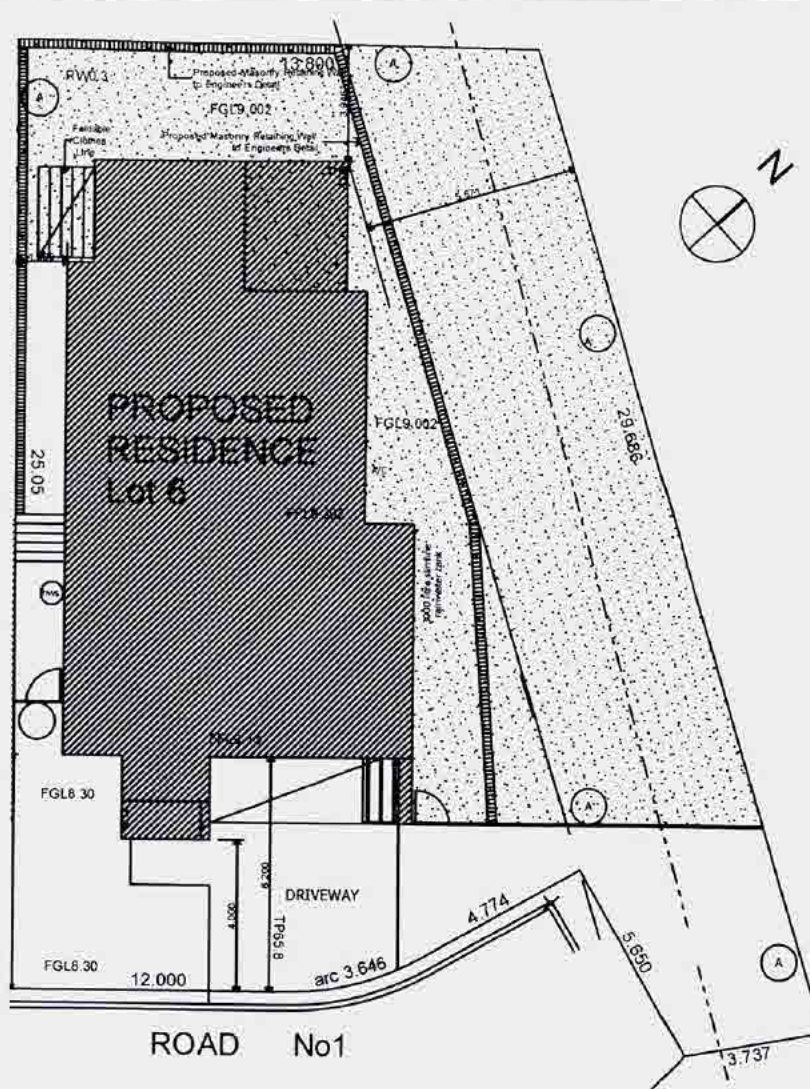
Project No. Drawing No.

2010/137 SECTION C:C, Story

10 of 17A(a3)

Plot Date

30/08/2010



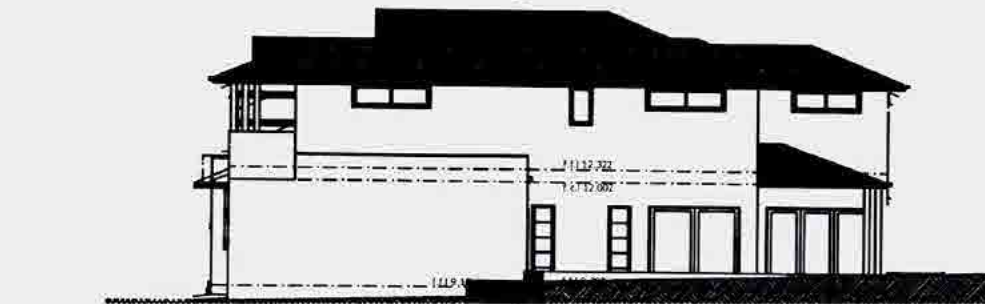
LOT 6
 ALLOTMENT AREA = 430.00sqm
 GROUND FLOOR AREA
 Living area = 92.45sqm
 Garage area = 33.97sqm
 Alfresco area = 8.89sqm
 Total Ground Floor area = 135.91sqm
 FIRST FLOOR AREA
 Living area = 114.87sqm
 Balcony area = 7.52sqm
 Total First Floor area = 122.39sqm
 TOTAL FLOOR AREA = 258.30sqm
 PRIVATE COURTYARD AREA (inc Alfresco) = 189.73sqm

LEGEND
 symbol description
 1.8meters high Fencing
 Denotes Private Open Space (minimum dimension 2.0m)
 FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardner)
 RW Denotes Proposed Retaining Wall
 Denotes Proposed Clothes Line

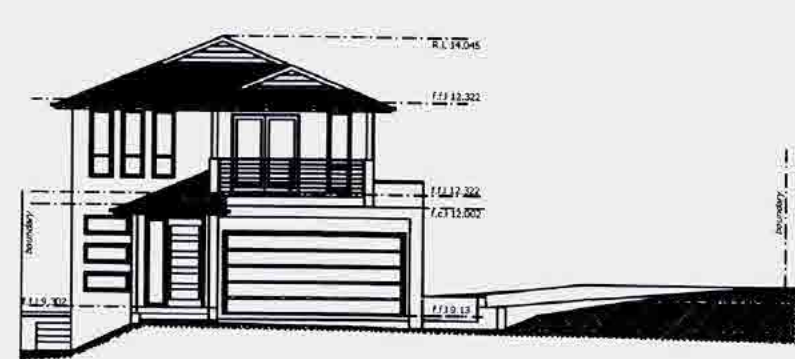
3 SITE PLAN 1:200



3 SOUTH WESTERN ELEVATION 1:200



3 NORTH EASTERN ELEVATION 1:200



3 SOUTH EASTERN ELEVATION 1:200



3 NORTH WESTERN ELEVATION 1:200



4 SECTION E-E 1:200

Table of Materials & Finishes
 cement rendered & painted brickwork
 concrete rppf tiles as selected
 aluminium framed windows as selected
 panel lift garage doors as selected
 stainless steel balustrade as selected to comply with BCA requirements
 aluminium framed sliding door as selected
 cement rendered & painted blueboard cladding
 colorbond capping
 aluminium framed silicone joined corner windows
 aluminium framed glazed swing door as selected
 metal deck roof sheeting as selected installed to manufacturers specifications
 timber framed roof trusses to manufacturers specifications
 sheet flooring on timber floor joists to manufacturers specifications
 plasterboard wall & ceiling lining
 selected timber entry door with glazed panels & aluminium framed highlight & sidelight
 reinforced concrete slab to engineers details
 blueboard lined timber awnings cement rendered & painted finish
 aluminium framed bi-fold doors as selected



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

REVISION : A 28/8/2010
Provide rainwater tanks 3000litre

BASIX Commitments DW5

CERTIFICATE NUMBER: 3318275

SITE DETAILS:
 Lot No: 6
 DP Number: 1115877
 Site Area: 430.00m²

PROJECT DETAILS:
 No. Bedrooms: 4
 Conditioned Floor Area: 161.00m²
 Unconditioned Floor Area: 17.00m²
 Roof Area: 143.00m²
 Garden & Lawn Area: 262.00m²

ALTERNATIVE WATER:
 Rain Water Tank Volume: 3090 L
 Roof Area Connected to Tank: 142.92m²
 Rainwater Usages: Toilets, One Outdoor Tap & Laundry
 Remainder of Roof Water to Easement: Yes
 Hydraulic Design System Required: Yes

WATER FIXTURES:
 Showerheads Rating: 3 Star (Min.)
 Toilet Flushing System: 4 Star (Min.)
 Kitchen Tap Fittings: 4 Star (Min.)
 Basin Tap Fittings: 4 Star (Min.)

THERMAL COMFORT:
 External Wall & Floor Specifications: R1.5
 *Brick Veneer
 *Roof & Ceiling Specifications: R3.0 (Foil/Sarking & R1.5 Foil + Batts)
 Internal Walls: R1.5 (Garage Wall Only)
 Windows Glazed Doors & Skylights: All Windows Improved Aluminum Single Clear (SHGC: 0.77 U-Value: 6.35)

KNOWLEDGE:
 Hot Water System: Gas (Instantaneous) 5 Star
 Cooling & Heating System: 3 Phase Air Conditioning (EER 2.5-3.0)
 Ventilation: *Roh Excluded to Facade/Roof (Manual Switch) Bath & Kitchen
 *Natural Ventilation Only Laundry
 Natural Lighting: Windows/Skylight in 3 Bathrooms/Toilets & Kitchen
 Refrigerator Space: Yes
 Outdoor Clothesline: Yes
 Appliances: Gas Cooktop & Electric Oven

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor

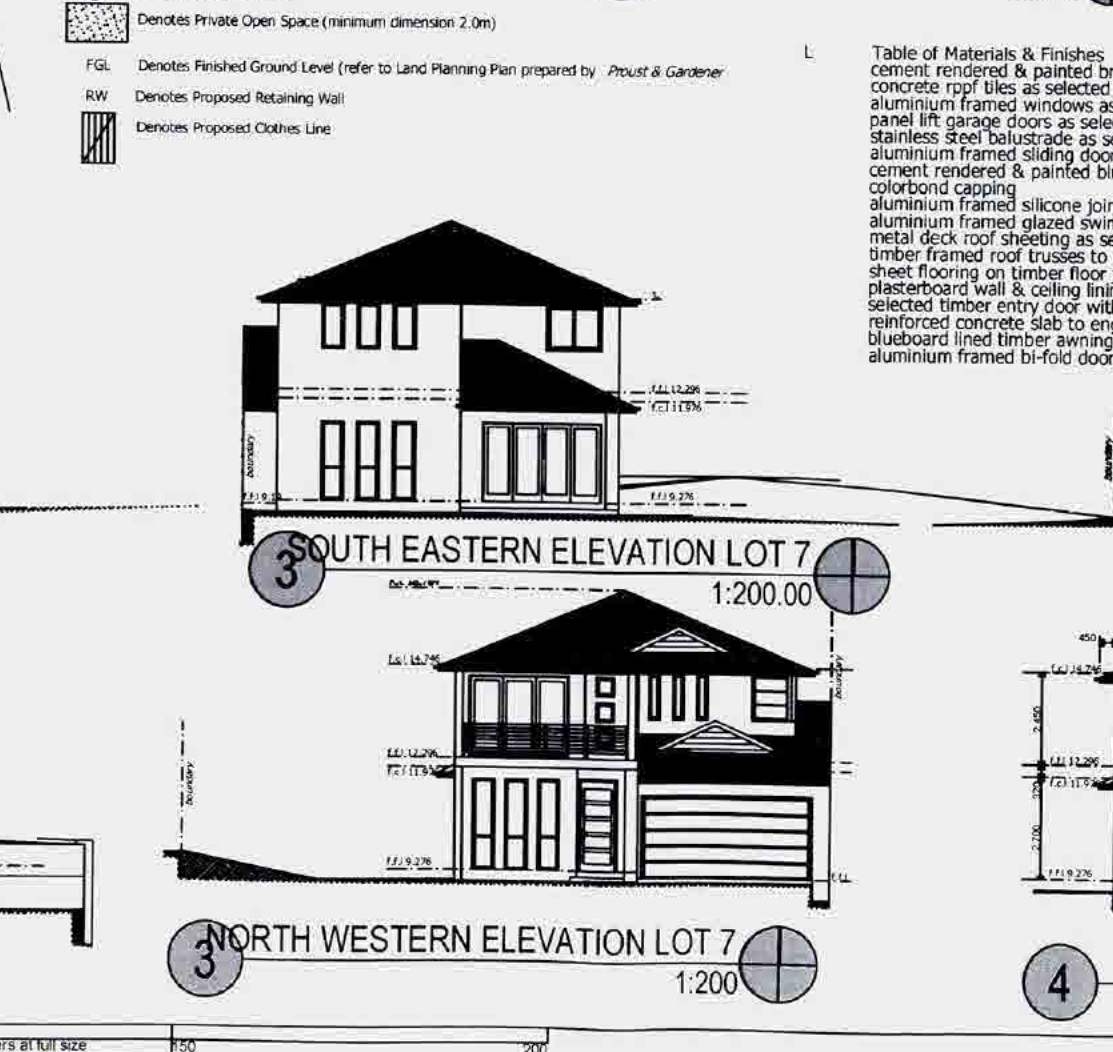
I.L. New & Associates MBDA, NSW
 BSC LICENCE No. 20388
 Unit 25 No. 11 Romford Rd
 Kings Park, NSW 2148
 Telephone: (02) 9671 6860
 Facsimile: (02) 9671 4331

For:
 ABAX Contracting
 Project Name
Integrated Housing Development
 AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
 SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD,
 WARRIEWOOD

Drawing Title
 - LOT 6
 NORTH WESTERN ELEVATION, NORTH
 EASTERN ELEVATION, SOUTH WESTERN
 ELEVATION, SOUTH EASTERN ELEVATION, SITE
 PLAN, GROUND FLOOR PLAN, FIRST FLOOR
 PLAN, SECTION E-E, Story

Drawing No.
 2010:137
 11 of 17A(a3)

Plot Date
 30/08/2010



ABSAS

Accr # 70872 Cert # 88517208

Adl 12

Date 27/8/10.

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

Drawing Title - LOT 7 SITE PLAN, GROUND FLOOR PLAN, FIRST FLOOR PLAN, SOUTH EASTERN ELEVATION LOT 7, NORTH WESTERN ELEVATION LOT 7, SOUTH EASTERN ELEVATION LOT 8, NORTH EASTERN ELEVATION, SECTION F.F. Story		Drawing No. 12of17A(a3)
2010:137		
Print Date:		

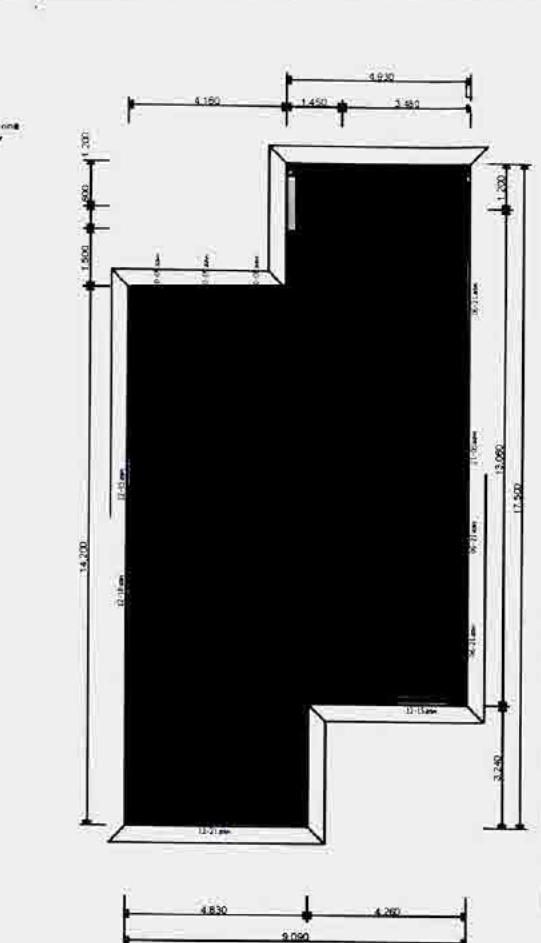
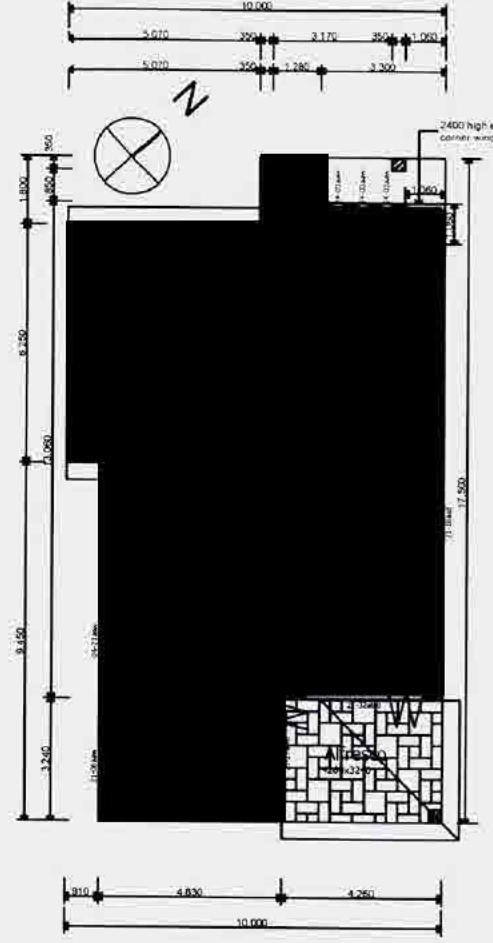
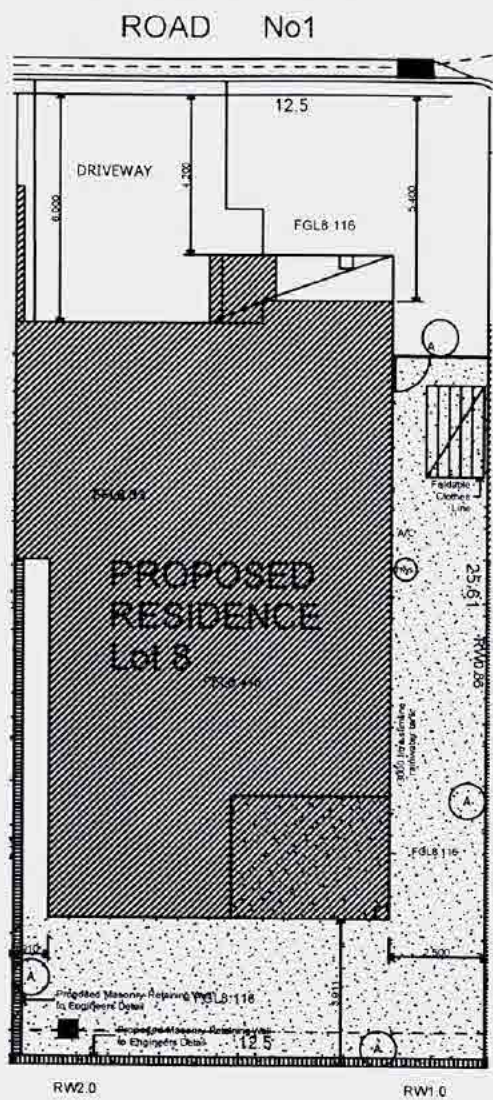


Table of Materials & Finishes
 cement rendered & painted brickwork
 concrete rppf tiles as selected
 aluminium framed windows as selected
 panel lift garage doors as selected
 stainless steel balustrade as selected to comply with BCA requirements
 aluminium framed sliding door as selected
 cement rendered & painted blueboard cladding
 colorbond capping
 aluminium framed silicone joined corner windows
 aluminium framed glazed swing door as selected
 metal deck roof sheeting as selected installed to manufacturers specifications
 timber framed roof trusses to manufacturers specifications
 sheet flooring on timber floor joists to manufacturers specifications
 plasterboard wall & ceiling lining
 selected timber entry door with glazed panels & aluminium framed highlight & sidelight
 reinforced concrete slab to engineers details
 blueboard lined timber awnings cement rendered & painted finish
 aluminium framed bi-fold doors as selected

LOT 8
 ALLOTMENT AREA = 319.40sqm
 GROUND FLOOR AREA
 Living area = 103.29sqm
 Garage area= 33.29sqm
 Alfresco area= 13.80sqm
 Total Ground Floor area= 153.58sqm
 FIRST FLOOR AREA
 Living area = 124.76sqm
 Balcony area = 6.79sqm
 Total First Floor area = 131.55sqm
 TOTAL FLOOR AREA = 285.13sqm
 PRIVATE COURTYARD AREA (inc Alfresco) = 99.91sqm

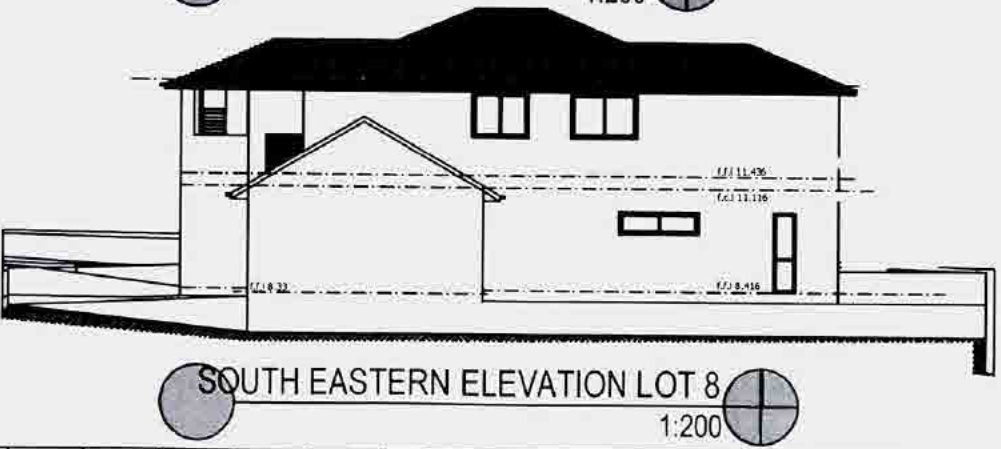


REVISION : A 28/8/2010
 Provide rainwater tanks 3000litre

BASIX Commitments DW7

CERTIFICATE NUMBER:	3318255
SITE DETAILS:	
Lot No:	8
DP Number:	1115877
Site Area:	319.00m ²
PROJECT DETAILS:	
No. Bedrooms:	4
Conditioned Floor Area:	184.00m ²
Unconditioned Floor Area:	13.00m ²
Roof Area:	171.00m ²
Garden & Lawn Area:	358.00m ²
ALTERNATIVE WATER:	
Rain Water Tank Volume:	3090 L
Roof Area Connected to Tank:	170.67m ²
Rainwater Usages:	Toilets, One Outdoor Tap & Laundry
Remainder of Roof Water to Easement:	Yes
Hydraulic Design System Required:	Yes
WATER FIXTURES:	
Showerheads Rating:	3 Star (Min.)
Toilet Flushing System:	4 Star (Min.)
Kitchen Tap Fittings:	4 Star (Min.)
Basin Tap Fittings:	4 Star (Min.)
THERMAL COMFORT:	
External Wall & Floor Specifications:	
*Brick Veneer:	R1.5
*Roof & Ceiling Specifications:	R3.0 (No Sarking)
Internal Walls:	R1.5 (Garage Wall Only)
Windows Glazed Doors & Skylights:	
All Windows Improved Aluminium Single Clear (SHGC: 0.77 U-Value: 6.35)	
ENERGY:	
Hot Water System:	Gas (Instantaneous) 5 Star
Cooling & Heating System:	3 Phase Air Conditioning (EER 2.5-3.0)
Ventilation:	
*Fan Ducted to Facade/Roof (Manual Switch)	Bath & Kitchen
*Natural Ventilation Only	Laundry
Natural Lighting:	
Windows/Skylight in 2 Bathrooms/Toilets & Kitchen	Yes
Refrigerator Space:	Yes
Outdoor Clothesline:	Yes
Appliances:	Gas Cooktop & Electric Oven

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



LEGEND
 symbol description
 1.8meters high Fencing
 Denotes Private Open Space (minimum dimension 2.0m)
 FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardener)
 RW Denotes Proposed Retaining Wall
 Denotes Proposed Clothes Line



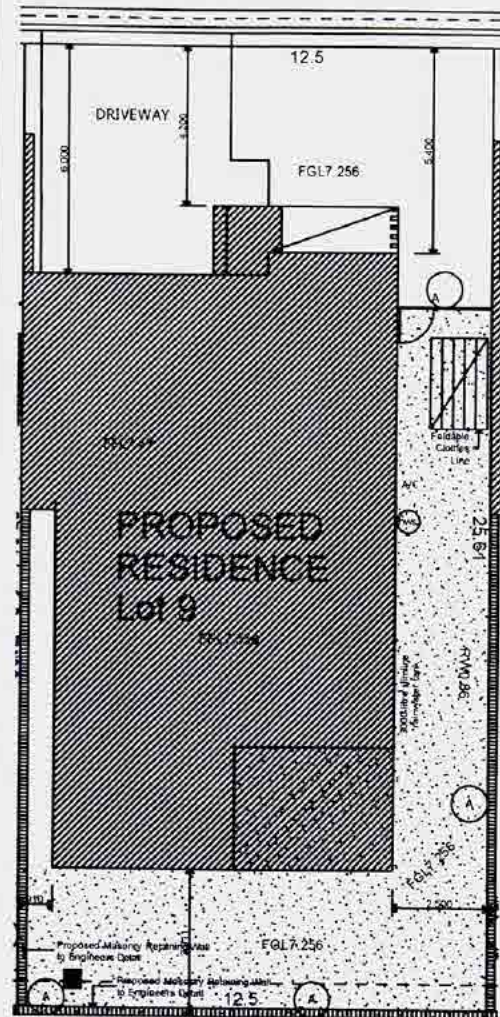
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All works to be set out by registered surveyor
I.L. New & Associates MBDA, NSW
 BSC LICENCE No. 20388
 Unit 25 No. 11 Romford Rd
 Kings Park, NSW 2148
 Telephone: (02) 9671 6860
 Facsimile: (02) 9671 4331

For:
ABAX Contracting
 Project Name
Integrated Housing Development
 AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD, WARRIEWOOD

Drawing Title
 - LOT 8
 GROUND FLOOR PLAN, FIRST FLOOR PLAN,
 SITE PLAN, SOUTH EASTERN ELEVATION LOT 8,
 NORTH WESTERN ELEVATION LOT 8, SOUTH
 EASTERN ELEVATION LOT 8, NORTHERN
 ELEVATION LOT 8, SECTION G:G Story
2010:137
 Drawing No.
13of17A(a3)

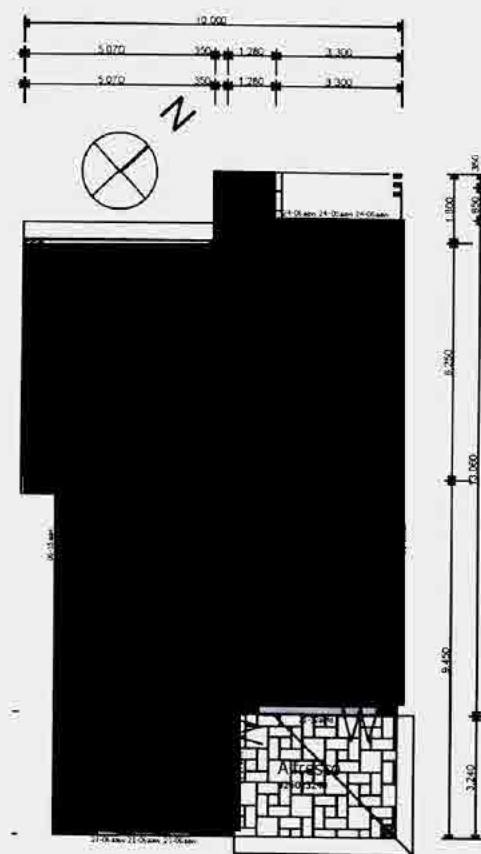
ROAD No1



SITE PLAN

1:200

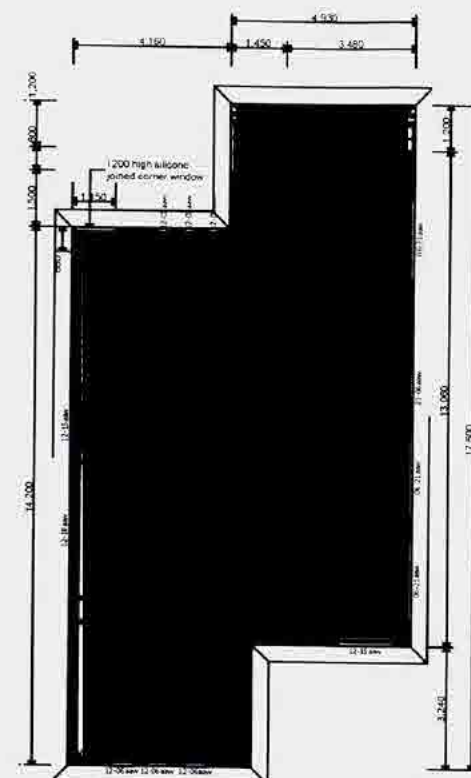
3



GROUND FLOOR PLAN

1:200

1



FIRST FLOOR PLAN

1:200

1

LOT 9

ALLOTMENT AREA = 320.10sqm

GROUND FLOOR AREA

Living area = 103.29sqm

Garage area = 33.29sqm

Alfresco area = 13.80sqm

Total Ground Floor area = 153.58sqm

FIRST FLOOR AREA

Living area = 124.76sqm

Balcony area = 6.79sqm

Total First Floor area = 131.55sqm

TOTAL FLOOR AREA = 285.13sqm

PRIVATE COURTYARD AREA (inc Alfresco) = 99.91sqm

LEGEND

Symbol description

1.8meters high Fencing

Denotes Private Open Space (minimum dimension 2.0m)

FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardener)

RW Denotes Proposed Retaining Wall

Denotes Proposed Clothes Line

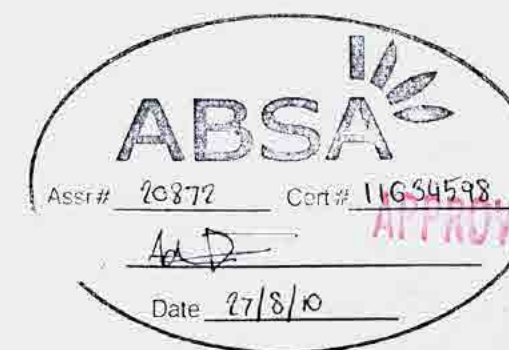
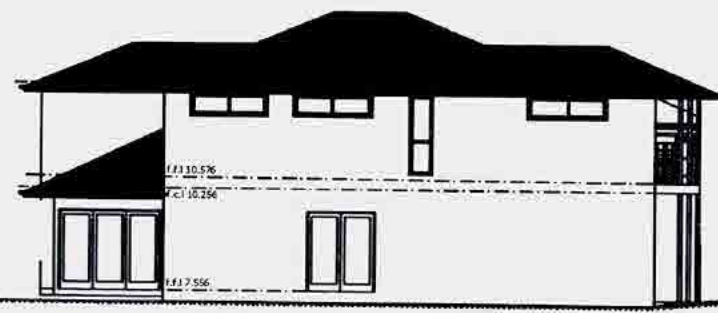


Table of Materials & Finishes

cement rendered & painted brickwork
concrete rppf tiles as selected
aluminium framed windows as selected
panel lift garage doors as selected
stainless steel balustrade as selected to comply with BCA requirements
aluminium framed sliding door as selected
cement rendered & painted blueboard cladding
colorbond capping
aluminium framed silicone joined corner windows
aluminium framed glazed swing door as selected
metal deck roof sheeting as selected to manufacturers specifications
timber framed roof trusses to manufacturers specifications
sheet flooring on timber floor joists to manufacturers specifications
plasterboard wall & ceiling lining
selected timber entry door with glazed panels & aluminium framed highlight & sidelight
reinforced concrete slab to engineers details
blueboard lined timber awnings cement rendered & painted finish
aluminium framed bi-fold doors as selected

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



NORTH EASTERN ELEVATION

1:200

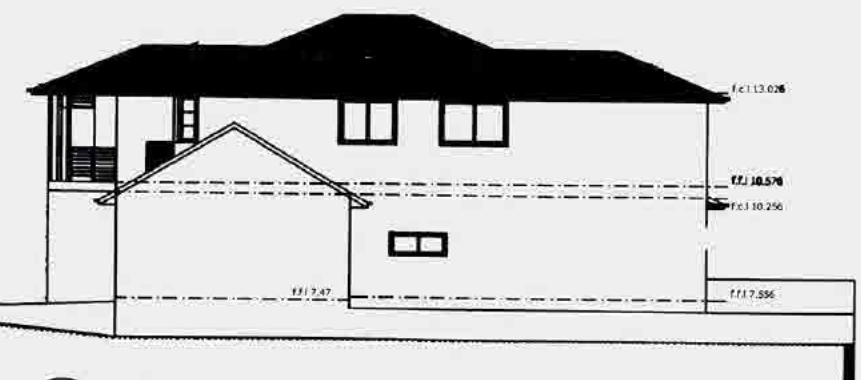
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SOUTH EASTERN ELEVATION LOT 9

1:200

3



SOUTH WESTERN ELEVATION

1:200

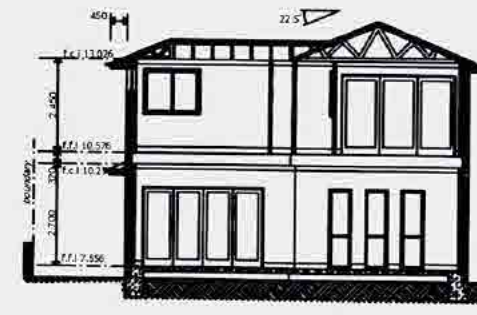
3



NORTH WESTERN ELEVATION LOT 9

1:200

3



SECTION H:H

1:200

4

Alkira Homes
A NEW GENERATION

REVISION : A 28/8/2010
Provide rainwater tanks 3000litre

BASIX Commitments DW8

CERTIFICATE NUMBER:	3318265
SITE DETAILS:	
Lot No:	9
DP Number:	1115877
Site Area:	319.00m ²
PROJECT DETAILS:	
No. Bedrooms:	4
Conditioned Floor Area:	184.00m ²
Unconditioned Floor Area:	13.00m ²
Roof Area:	171.00m ²
Garden & Lawn Area:	358.00m ²
ALTERNATIVE WATER:	
Rain Water Tank Volume:	3090 L
Roof Area Connected to Tank:	170.67m ²
Rainwater Usages:	Toilets, One Outdoor Tap & Laundry
Remainder of Roof Water to Easement:	Yes
Hydraulic Design System Required:	Yes
WATER FIXTURES:	
Showerheads Rating:	3 Star (Min.)
Toilet Flushing System:	4 Star (Min.)
Kitchen Tap Fittings:	4 Star (Min.)
Basin Tap Fittings:	4 Star (Min.)
THERMAL COMFORT:	
External Wall & Floor Specifications:	
*Brick Veneer:	R1.5
*Roof & Ceiling Specifications:	R3.0 (No Sarking)
Internal Walls:	R1.5 (Garage Wall Only)
Windows Glazed Doors & Skylights:	
All Windows Improved Aluminium Single Glaz (SHGC: 0.77 U-Value: 6.35)	
ENERGY:	
Hot Water System:	Gas (Instantaneous) 5 Star
Lighting & Heating System:	3 Phase Air Conditioning (EER 2.5-3.0)
Ventilation:	
*Fan Ducted to Facade/Roof (Manual Switch)	Bath & Kitchen
*Natural Ventilation Only	Laundry
Windows/Skylight in 2 Bathrooms/Toilets & Kitchen:	Yes
Refrigerator Space:	Yes
Outdoor Clothesline:	Yes
Appliances:	Gas Cooktop & Electric Oven

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor.

I.L. New & Associates MBDA, NSW
BSC LICENCE No. 20388

Unit 25 No. 11 Romford Rd
Kings Park, NSW 2148
Telephone: (02) 9671 6880
Facsimile: (02) 9671 4331



For
ABAX Contracting

Project Name

Integrated Housing Development

AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A SUBDIVISION OF LOT 1 DP 1115877 WARREWOOD ROAD, WARREWOOD

Drawing Title

LOT 9
GROUND FLOOR PLAN, FIRST FLOOR PLAN,
SITE PLAN, NORTH EASTERN ELEVATION,
SOUTH WESTERN ELEVATION, NORTH
WESTERN ELEVATION LOT 9, SOUTH EASTERN
ELEVATION LOT 9, SECTION H:H

Date

2010:137

14of17A(a3)

Drawing No.

2010:137

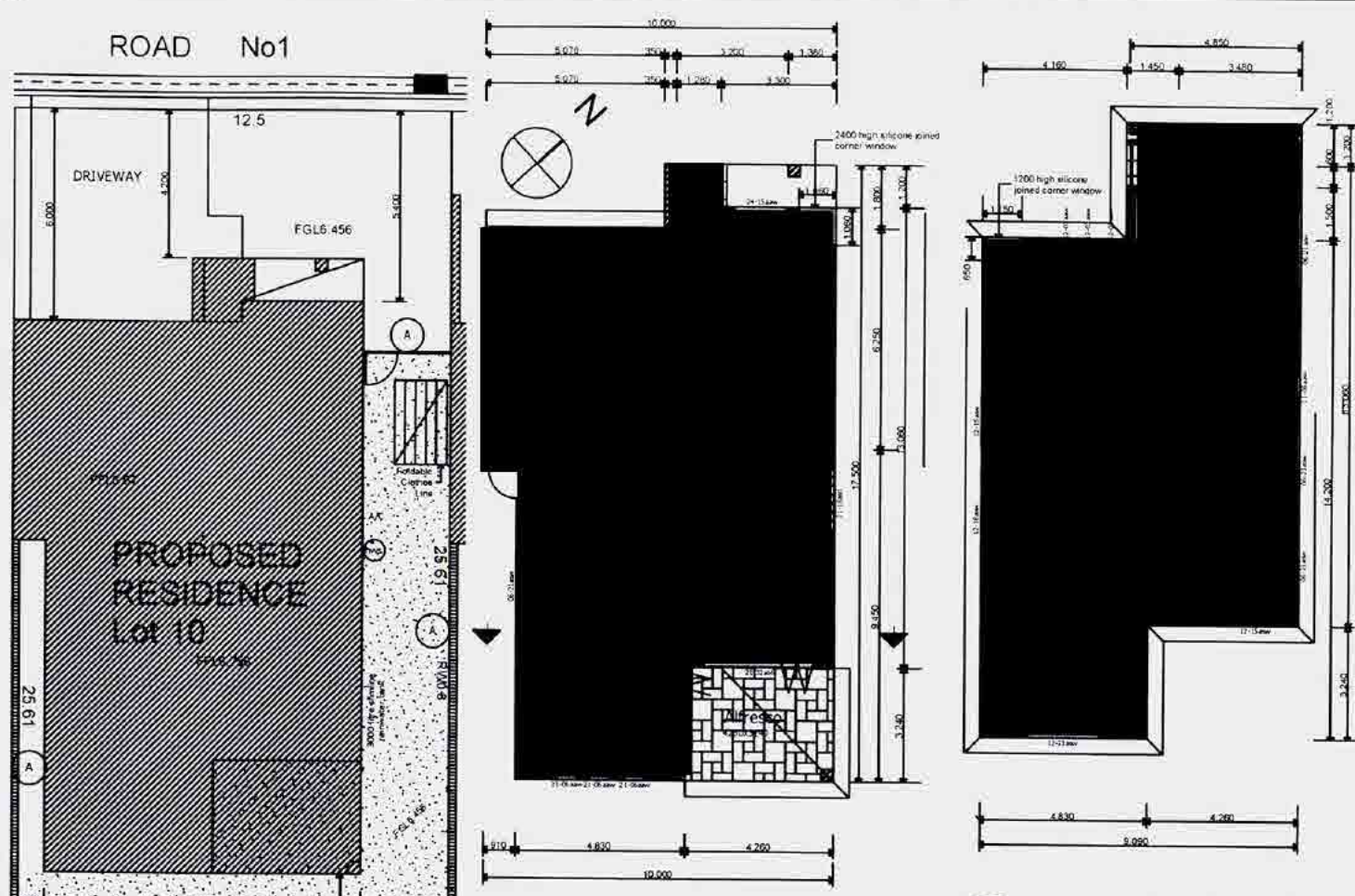
14of17A(a3)

Plot Date

30/08/2010

length in millimeters at full size

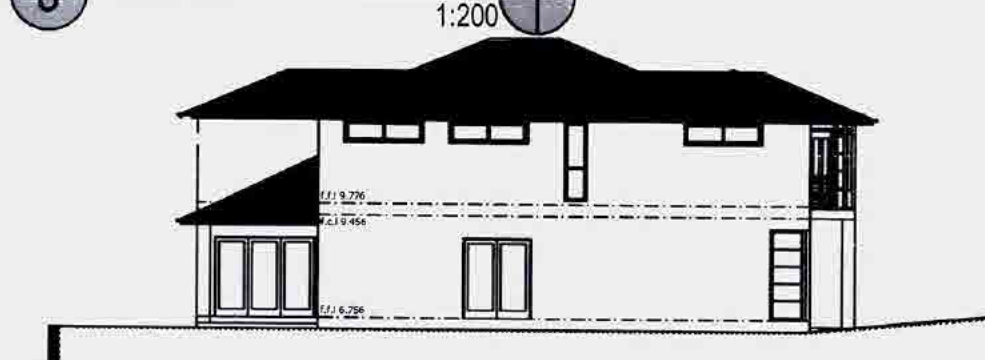
ROAD No1



GROUND FLOOR PLAN 1:200

FIRST FLOOR PLAN 1:200

SITE PLAN 1:200



NORTH EASTERN ELEVATION LOT 10 1:200



NORTH WESTERN ELEVATION LOT 10 1:200



SOUTH WESTERN ELEVATION 1:200.00



SOUTH EASTERN ELEVATION LOT 10 1:200.00



SECTION I-I 1:200

LOT 10
 ALLOTMENT AREA = 320.10sqm
 GROUND FLOOR AREA
 Living area = 103.29sqm
 Garage area = 33.29sqm
 Alfresco area = 13.80sqm
 Total Ground Floor area = 153.58sqm
 FIRST FLOOR AREA
 Living area = 124.76sqm
 Balcony area = 6.79sqm
 Total First Floor area = 131.55sqm
 TOTAL FLOOR AREA = 285.13sqm
 PRIVATE COURTYARD AREA (inc Alfresco) = 99.91sqm

Table of Materials & Finishes
 cement rendered & painted brickwork
 concrete rppf tiles as selected
 aluminium framed windows as selected
 panel lift garage doors as selected
 stainless steel balustrade as selected to comply with BCA requirements
 aluminium framed sliding door as selected
 cement rendered & painted blueboard cladding
 colorbond capping
 aluminium framed silicone joined corner windows
 aluminium framed glazed swing door as selected
 metal deck roof sheeting as selected installed to manufacturers specifications
 timber framed roof trusses to manufacturers specifications
 sheet flooring on timber floor joists to manufacturers specifications
 plasterboard wall & ceiling lining
 selected timber entry door with glazed panels & aluminium framed highlight & sidelight
 reinforced concrete slab to engineers details
 blueboard lined timber awnings cement rendered & painted finish
 aluminium framed bi-fold doors as selected

- LEGEND**
- symbol description
 - 1.8meters high Fencing
 - Denotes Private Open Space (minimum dimension 2.0m)
 - FGL Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardner)
 - RW Denotes Proposed Retaining Wall
 - Denotes Proposed Clothes Line



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

REVISION : A 28/8/2010
Provide rainwater tanks 3000litre

BASIX Commitments DW9

CERTIFICATE NUMBER: 3318275

SITE DETAILS:

Lot No: 10
DP Number: 1115877
Site Area: 319.00m²

PROJECT DETAILS:

No. Bedrooms: 4
Conditioned Floor Area: 184.00m²
Unconditioned Floor Area: 13.00m²
Roof Area: 171.00m²
Garden & Lawn Area: 131.00m²

ALTERNATIVE WATER:

Rain Water Tank Volume: 3090 L
Roof Area Connected to Tank: 170.67m²
Rainwater Usages: Toilets, One Outdoor Tap & Laundry
Remainder of Roof Water to Easement: Yes
Hydraulic Design System Required: Yes

WATER FIXTURES:

Showerheads Rating: 3 Star (Min.)
Toilet Flushing System: 4 Star (Min.)
Kitchen Tap Fittings: 4 Star (Min.)
Basin Tap Fittings: 4 Star (Min.)

THERMAL COMFORT:

External Wall & Floor Specifications:
*Brick Veneer: R1.5
*Roof & Ceiling Specifications: R3.0 (No Sarking)
Internal Walls: R1.5 (Garage Wall Only)
Windows Glazed Doors & Skylights: All Windows Improved Aluminum Single Clear (SHGC: 0.77 U-Value: 6.35)

ENERGY:

Hot Water System: Gas (Instantaneous) 5 Star
Cooling & Heating System: 3 Phase Air Conditioning (EER 2.5-3.0)
Ventilation: *Fan Ducted to Outside/Roof (Manual Switch) Bath & Kitchen
Natural Ventilation Only: Laundry
Natural Lighting: Windows/Skylight in 2 Bathrooms/Toilets & Kitchen
Refrigerator Space: Yes
Outdoor Clothesline: Yes
Appliances: Gas Cooktop & Electric Oven

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor

I.L. New & Associates MBDA, NSW
BSC LICENCE No. 20388

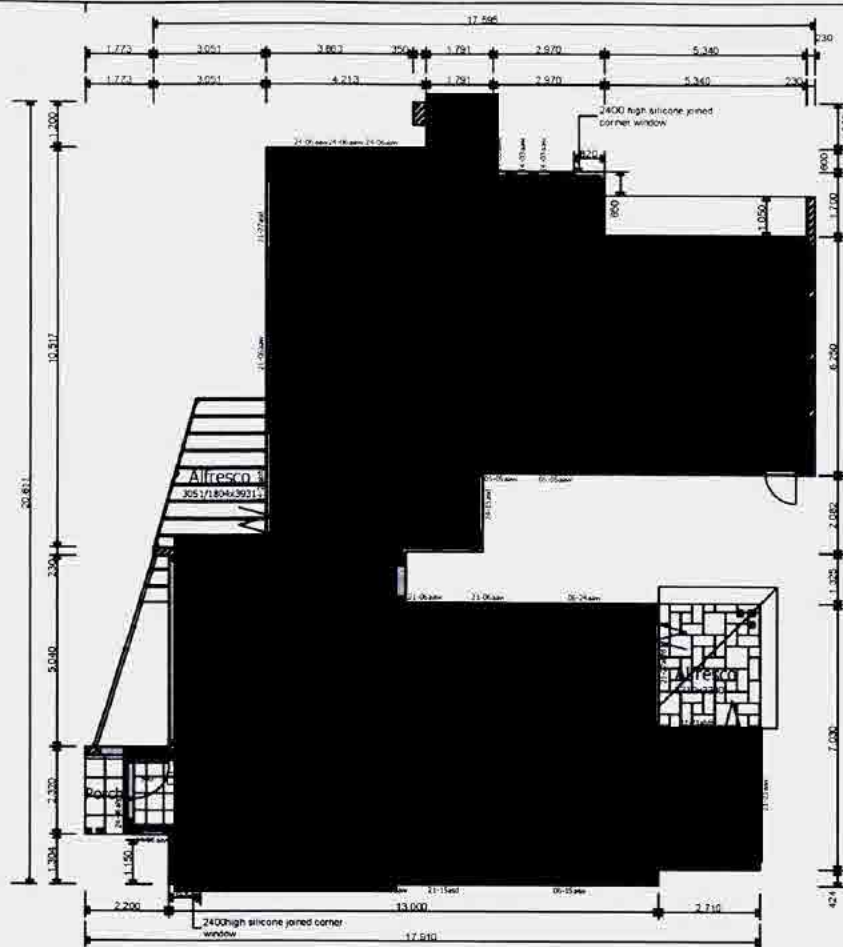
Unit 25 No. 11 Romford Rd
Kings Park, NSW 2148
Telephone: (02) 9671 6860
Facsimile: (02) 9671 4331

For: ABAX Contracting
Project Name: Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 10S IN A SUBDIVISION OF LOT 1 DP 1115877 WARREWOOD ROAD, WARREWOOD

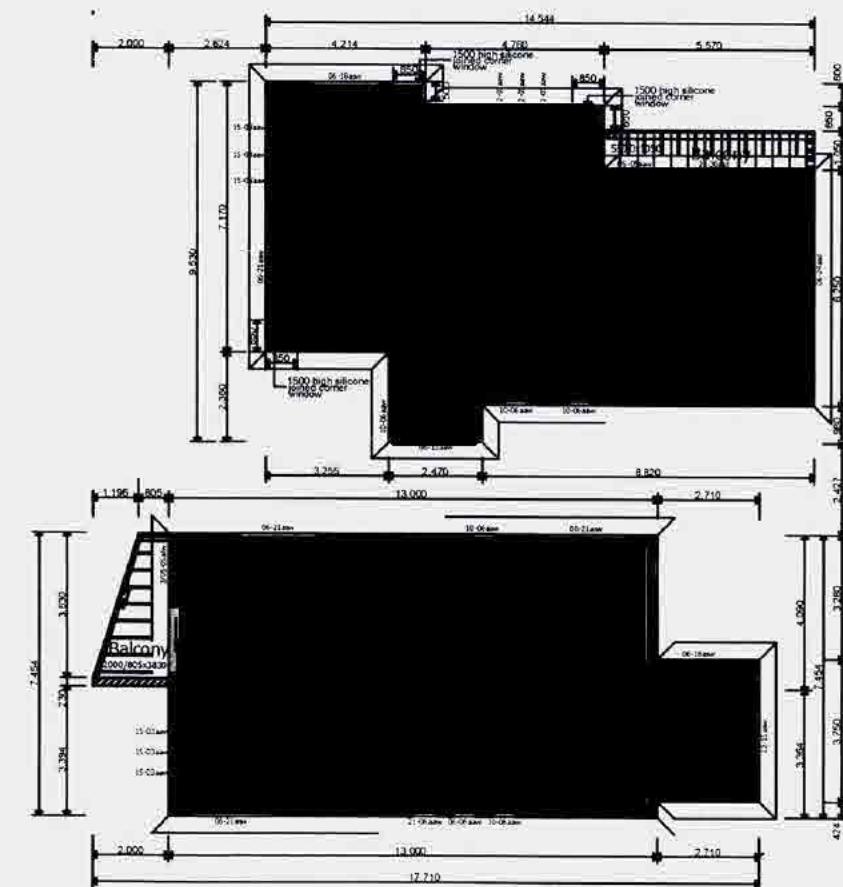
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SITE PLAN, GROUND FLOOR PLAN, FIRST FLOOR PLAN, NORTH WESTERN ELEVATION, SOUTH WESTERN ELEVATION LOT 10, SOUTH EASTERN ELEVATION LOT 10, NORTH EASTERN ELEVATION LOT 10, SECTION I-I, SOUTH EASTERN ELEVATION LOT 10, SECTION I-I, SOUTH WESTERN ELEVATION LOT 10, SECTION I-I

2010:137 15of17A(a3)

Plot Date: 30/08/2010



1 GROUND FLOOR PLAN 1:200



3 FIRST FLOOR PLAN 1:200

LOT 11
 ALLOTMENT AREA = 317.99sqm
 GROUND FLOOR AREA
 Living area = 85.21sqm
 Garage area = 36.02sqm
 Alfresco area = 9.73sqm
 Total Ground Floor area = 134.40sqm
 FIRST FLOOR AREA
 Living area = 106.61sqm
 Balcony area = 5.85sqm
 Total First Floor area = 112.46sqm
 TOTAL FLOOR AREA = 246.86sqm
 PRIVATE COURTYARD (inc Alfresco) = 62.51sqm

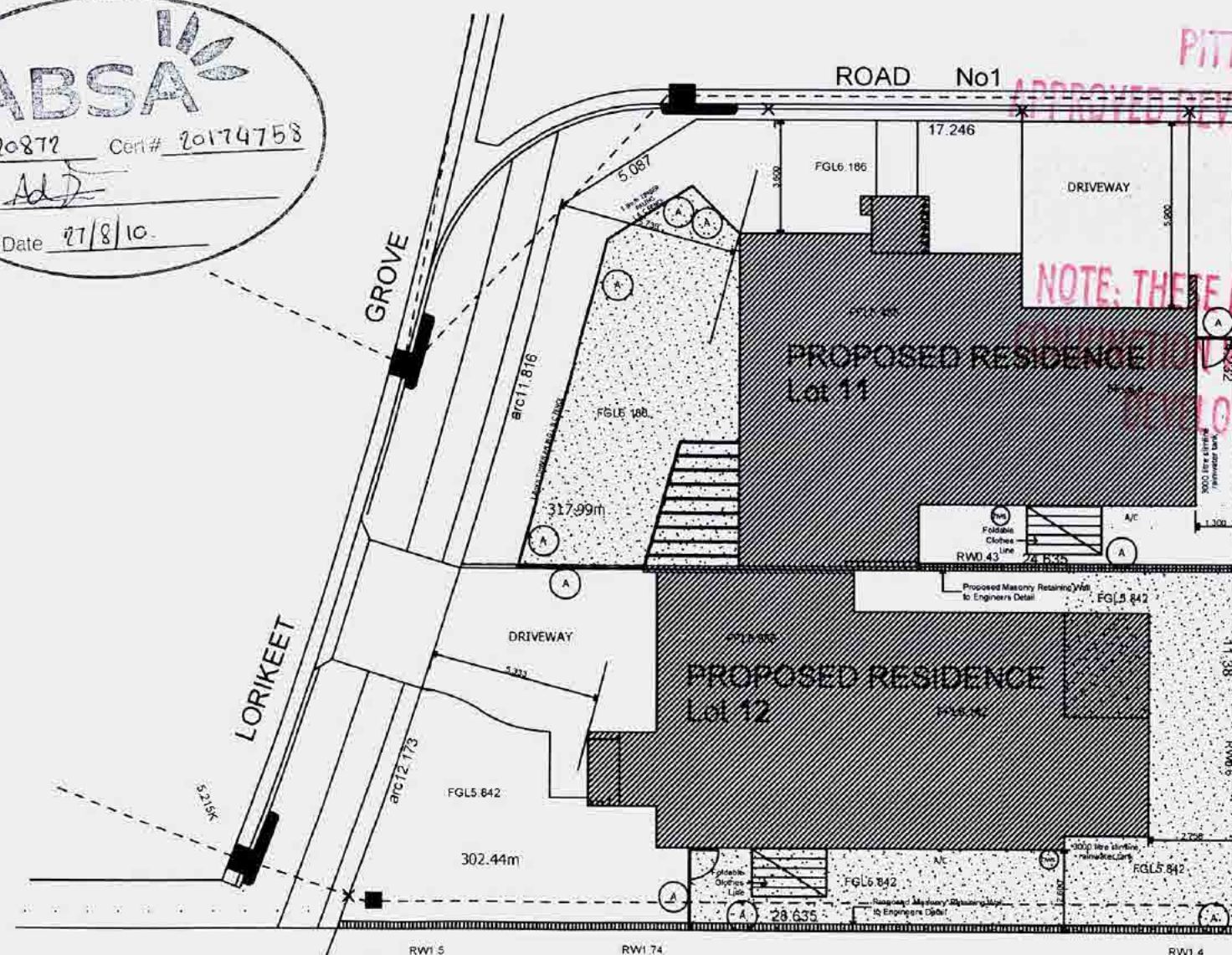
LOT 12
 ALLOTMENT AREA = 305.27sqm
 GROUND FLOOR AREA
 Living area = 85.07sqm
 Garage area = 33.19sqm
 Alfresco area = 8.89sqm
 Total Ground Floor area = 129.45sqm
 FIRST FLOOR AREA
 Living area = 107.06sqm
 Balcony area = 5.83sqm
 Total First Floor area = 112.89sqm
 TOTAL FLOOR AREA = 242.34sqm
 PRIVATE COURTYARD (inc Alfresco) = 83.77sqm

Table of Materials & Finishes

cement rendered & painted brickwork
 concrete rppf tiles as selected
 aluminium framed windows as selected
 panel lift garage doors as selected
 stainless steel balustrade as selected to comply with BCA requirements
 aluminium framed sliding door as selected
 cement rendered & painted blueboard cladding
 colorbond capping
 aluminium framed silicone joined corner windows
 aluminium framed glazed swing door as selected
 metal deck roof sheeting as selected installed to manufacturers specifications
 timber framed roof trusses to manufacturers specifications
 sheet flooring on timber floor joists to manufacturers specifications
 plasterboard wall & ceiling lining
 selected timber entry door with glazed panels & aluminium framed highlight & sidelight
 reinforced concrete slab to engineers details
 blueboard lined timber awnings cement rendered & painted finish
 aluminium framed bi-fold doors as selected

LEGEND

symbol	description
(A)	1.8meters high Fencing
(D)	Denotes Private Open Space (minimum dimension 2.0m)
FGL	Denotes Finished Ground Level (refer to Land Planning Plan prepared by Proust & Gardner)
RW	Denotes Proposed Retaining Wall
(C)	Denotes Proposed Clothes Line



3 SITE PLAN 1:200

Alkira Homes
 A NEW GENERATION

REVISION : A 28/8/2010
 Provide rainwater tanks 3000litre

BASIX Commitments DW10

CERTIFICATE NUMBER:	3319185
SITE DETAILS:	
Lot No.	11
DP Number	1115877
Site Area	623.26m ²
PROJECT DETAILS:	
No. Bedrooms	4
Conditioned Floor Area	152.00m ²
Unconditioned Floor Area	14.00m ²
Roof Area	263.05m ²
Garden & Lawn Area	149.08m ²
ALTERNATIVE WATER:	
Rain Water Tank Volume	3090 L
Roof Area Connected to Tank	270.19m ²
Rainwater Usages	Toilets, One Outdoor Tap & Laundry
Remainder of Roof Water to Easement	Yes
Hydraulic Design System Required	Yes
WATER FIXTURES:	
Showerheads Rating	3 Star (Min.)
Toilet Flushing System	4 Star (Min.)
Kitchen Tap Fittings	4 Star (Min.)
Basin Tap Fittings	4 Star (Min.)
THERMAL COMFORT:	
External Wall & Floor Specifications:	
*Brick Veneer	R1.5
*Roof & Ceiling Specifications:	R3.0 (Foil/Sealant) & R1.5 (Batts + Foil)
Internal Walls	R1.5 (Garage Wall Only)
Windows Glazed Doors & Skylights:	
All Windows Improved Aluminium Single Clear (SHGC: 0.77 U-Value: 6.35)	
ENERGY:	
Hot Water System	Gas (Instantaneous) 5 Star
Cooling & Heating System	3 Phase Air Conditioning (EER 2.5-3.0)
Ventilation:	
*Fans Ducted to Facade/Roof (Manual Switch)	Bath & Kitchen
*Natural Ventilation Only	Laundry
Natural Lighting	Yes
Windows/Skylight in 2 Bathrooms/Toilets & Kitchen	Yes
Refrigerator Space	Yes
Outdoor Clothesline	Yes
Appliances:	Gas Cooktop & Electric Oven

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor.

I.L. New & Associates MBDA, NSW
 BSC LICENCE No. 20388

Unit 25 No. 11 Romford Rd
 Kings Park, NSW 2148
 Telephone: (02) 9671 6860
 Facsimile: (02) 9671 4331



For:
 ABAX Contracting

Project Name:
Integrated Housing Development
 AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
 SUBDIVISION OF LOT 1 DP 1115877 WARREWOOD ROAD,
 WARREWOOD

Drawing Title:
 - LOT 11 & 12
 SITE PLAN, GROUND FLOOR PLAN, FIRST

FLOOR PLAN, Story	
Scale as noted	Date
Status DA	Checked By
Project No	Drawing No
2010:137	16of17A(a3)

Plot Date 30/08/2010

REVISION A 28/8/2010
Provide rainwater tanks 3000litre



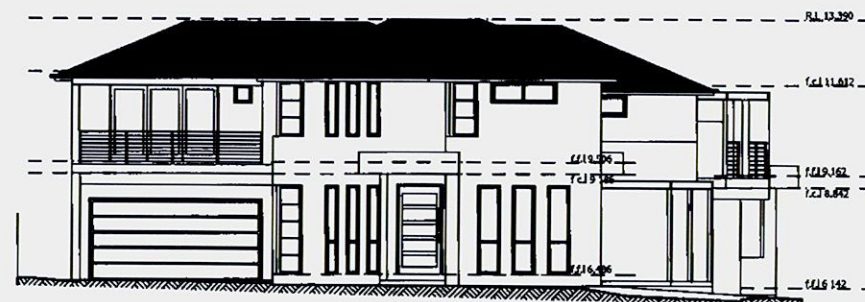
SOUTHWESTERN ELEVATION LOTS 11 & 12
1 200



NORTH EASTERN ELEVATION LOTS 11 & 12
1 200



3 SOUTH EASTERN ELEVATION
1 200



3 NORTH WESTERN ELEVATION
1 200

Table of Materials & Finishes

cement rendered & painted brickwork
concrete rppf tiles as selected
aluminium framed windows as selected
panel lift garage doors as selected
stainless steel balustrade as selected to comply with BCA requirements
aluminium framed sliding door as selected
cement rendered & painted blueboard cladding
colorbond capping
aluminium framed silicone joined corner windows
aluminium framed glazed swing door as selected
metal deck roof sheeting as selected installed to manufacturers specifications
timber framed roof trusses to manufacturers specifications
sheet flooring on timber floor joists to manufacturers specifications
plasterboard wall & ceiling lining
selected timber entry door with glazed panels & aluminium framed highlight & sidelight
reinforced concrete slab to engineers details
blueboard lined timber awnings cement rendered & painted finish
aluminium framed bi-fold doors as selected

PITTVATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

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Unit 25 No 11 Romford Rd

Kings Park, NSW 2148

Telephone (02) 9671 6860

Facsimile (02) 9671 4331

bu id s
Design rs
Associ tion
of NSW in

For
ABAX Contracting

Project Name

Integrated Housing Development

AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A

SUBDIVISION OF LOT 1 DP 1115877 WARREWOOD ROAD

WARREWOOD

Drawing Title

LOT 11 & 12

SOUTHWESTERN ELEVATION LOTS 11 & 12

NORTH EASTERN ELEVATION LOTS 11 & 12

SOUTHWESTERN ELEVATION NORTH

WESTERN ELEVATION NORTH

Project No

2010 137

Drawing No

17of17A(a3)

Plot Date

26/9/2010

SCHEDULE OF PLANT MATERIAL

CODE BOTANICAL NAME	COMMON NAME	QUANTITY	MATURE SIZE	CONTAINER	STAKES
BS <i>Banksia serrata</i>	Old Man Banksia	3	7m	35 litre	2
BSp <i>Banksia spinulosa</i>	Halpin Banksia	43	1.5m	200mm	-
CAI <i>Correa alba</i>	White Correa	47	1.5m	200mm	-
CC <i>Callistemon citrinus</i>	Bokebrush	53	2.5m	200mm	-
DC <i>Dianella caerulea</i>	Parrot Lily	145	0.4m	140mm	-
DR <i>Doronicum excelsa</i>	Flax Lily	163	0.4m	140mm	-
DE <i>Doronicum excelsa</i>	Gymea Lily	36	1.5m	200mm	-
ER <i>Elaeocarpus reticulatus</i>	Blueberry Ash	4	7m	35 litre	2
ERo <i>Eucalyptus robusta</i>	Swamp Mahogany	5	20m	35 litre	2
GS <i>Grevillea sericea</i>	Poa Flower Grevillea	18	1.5m	140mm	-
KA <i>Kunzea ambigua</i>	Tick Bush	46	3m	200mm	-
LL <i>Lomandra longifolia</i>	Mat Rush	66	1m	140mm	-
LS <i>Lomandra 'Seascape'</i>	Seascape Lomandra	85	0.4m	140mm	-
LL <i>Lomandra longifolia 'Tanika'</i>	Tanika Mat Rush	56	0.4m	140mm	-
PTI <i>Phormium tenax 'Flamin'</i>	Red NZ Flax	28	1m	200mm	-
PR <i>Pittosporum revolutum</i>	Yellow Pittosporum	19	3m	200mm	-
Sae <i>Syzygium australe 'Elegance'</i>	Dwarf Lilly Pili	16	3m	200mm	-
SAP <i>Syzygium australe 'Pinnacle'</i>	Narrow Lilly Pili	50	3m	200mm	-
SPi <i>Syzygium paniculatum Dwarf</i>	Dwarf Lilly Pili	68	3m	200mm	-
TL <i>Tristanopsis laurina</i>	Water Gum	10	7m	35 litre	2

The majority of the plants in this schedule have been selected from a list of Plant Species for Landscape Development within the Warriewood Valley Urban Release Area Masterplan and Design Guidelines.

LEGEND

- EXISTING & ARCHITECTS LEVELS
- PROPOSED LEVELS
- NEW TURF AREAS: SOFT LEAF BUFFALO
- PEBBLE MULCH
- RETAINING WALLS REFER TO DETAILS BY OTHERS
- BRICK GARDEN EDGING
- STEPPING STONES
- CLOTHESLINES

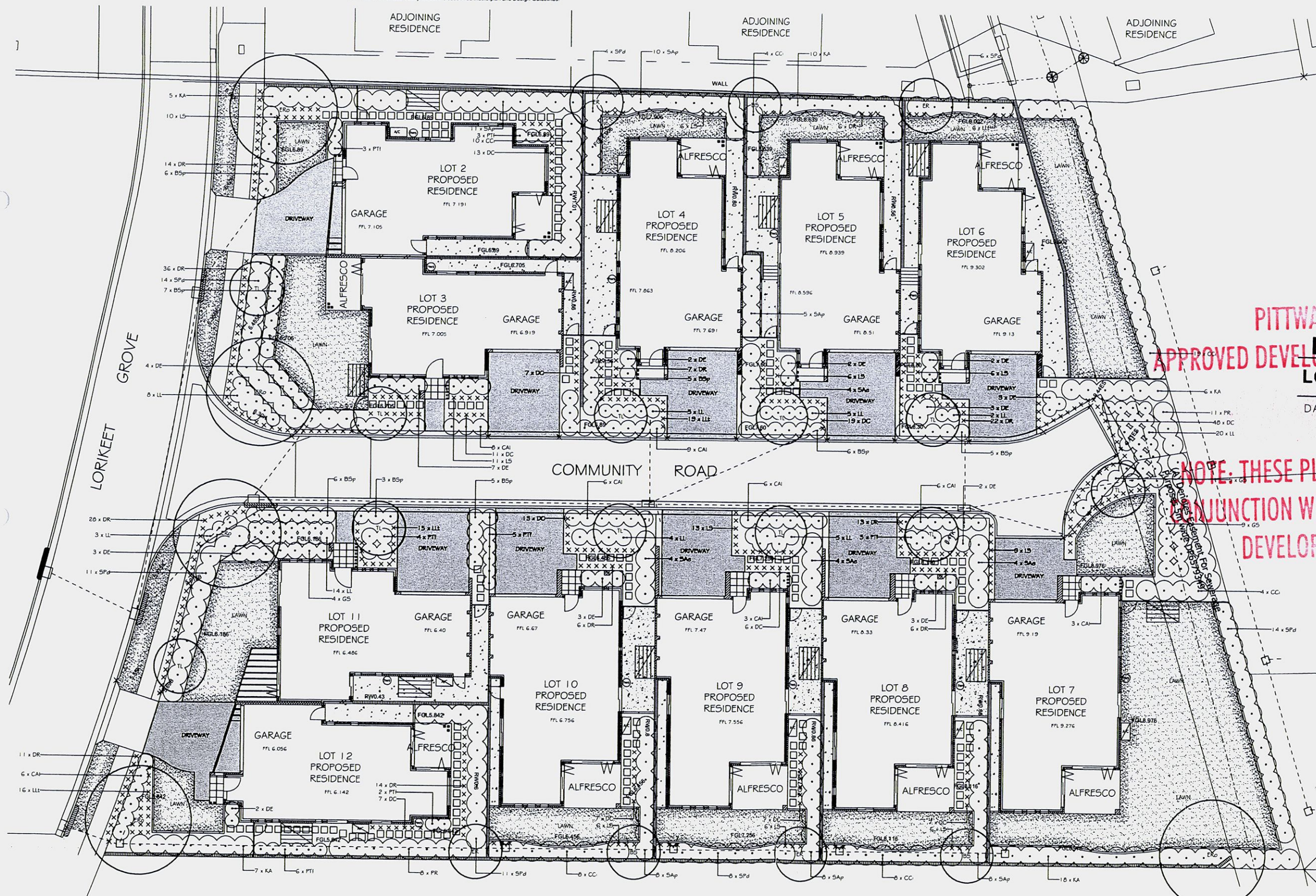


Figure 14

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
LANDSCAPE PLAN
LOT 105 LORIKEET GROVE

DATE: 2 SEPT 2010 PLAN NO.22441/LAN

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

Verify all dimensions on site before commencing construction or ordering materials. Verify the dimensions of all manufactured products before installation. Use figured dimensions in preference to scaled dimensions. Report any discrepancies to the Landscape Architect for a decision before work commences.

NOTES

This plan is to be read in conjunction with all documentation prepared by I.L. New & Associates.

iScape
LANDSCAPE ARCHITECTURE

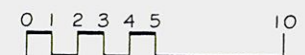
office, 16/303 pacific highway
lindfield nsw 2070
postal, 25 bent street
lindfield nsw 2070
ph 9416 4290 fax 9416 4735
A.C.N 097 328 580
email ija@netspace.net.au

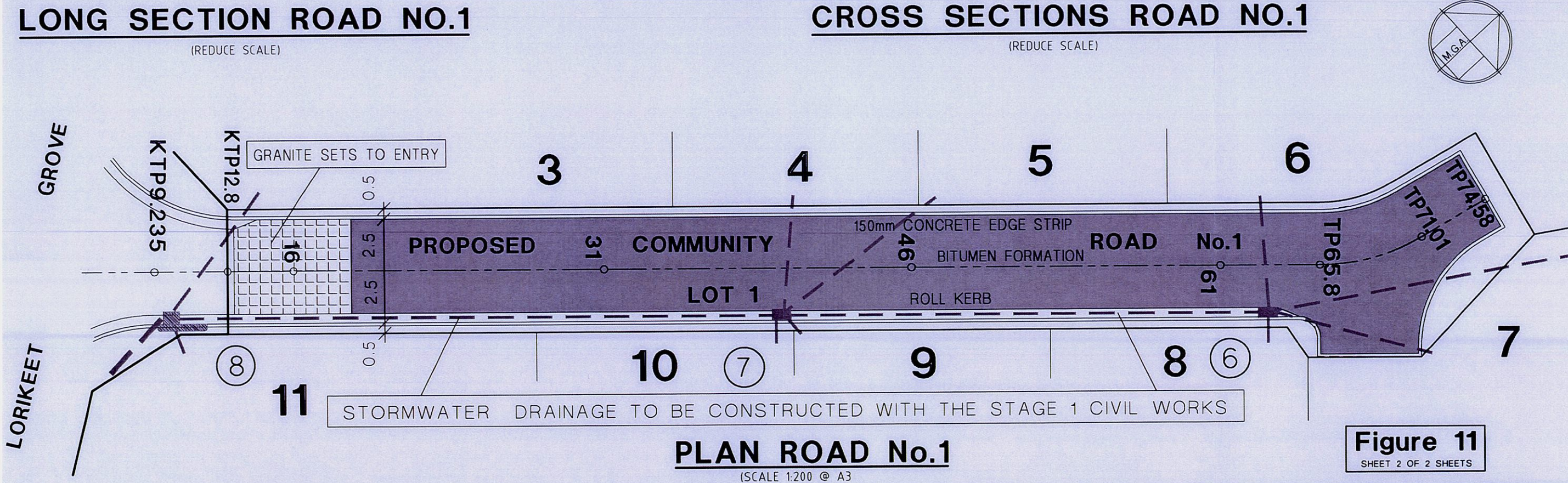
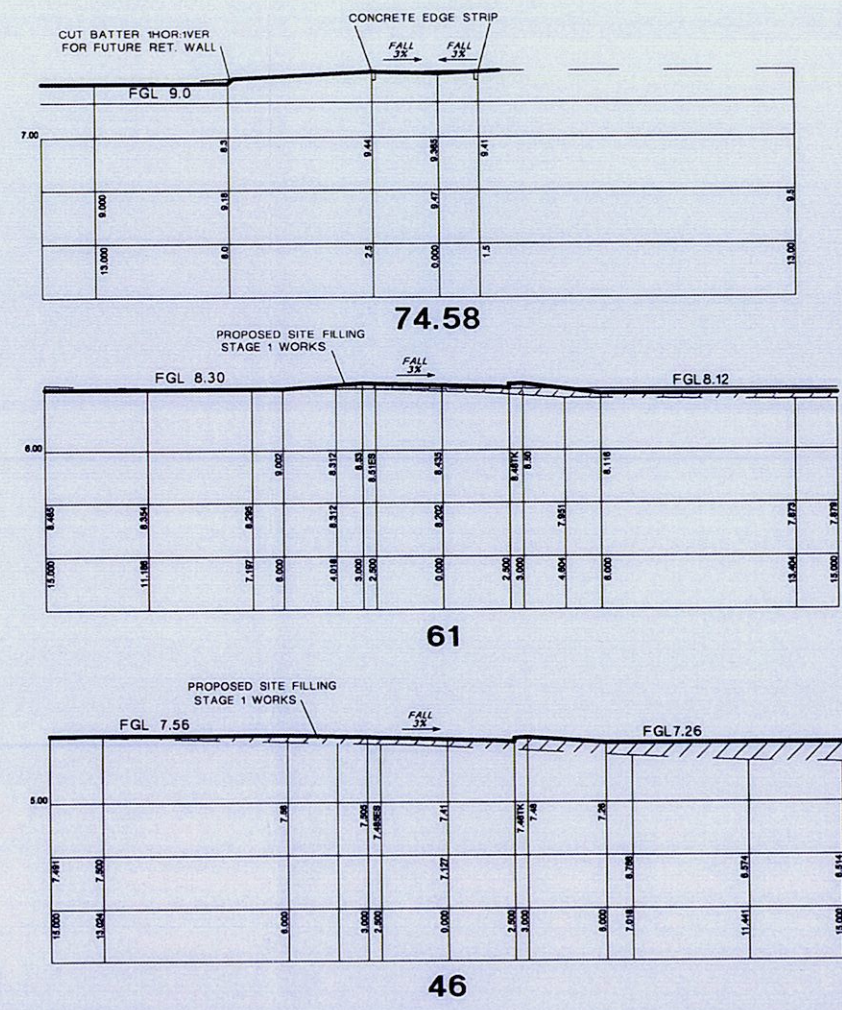
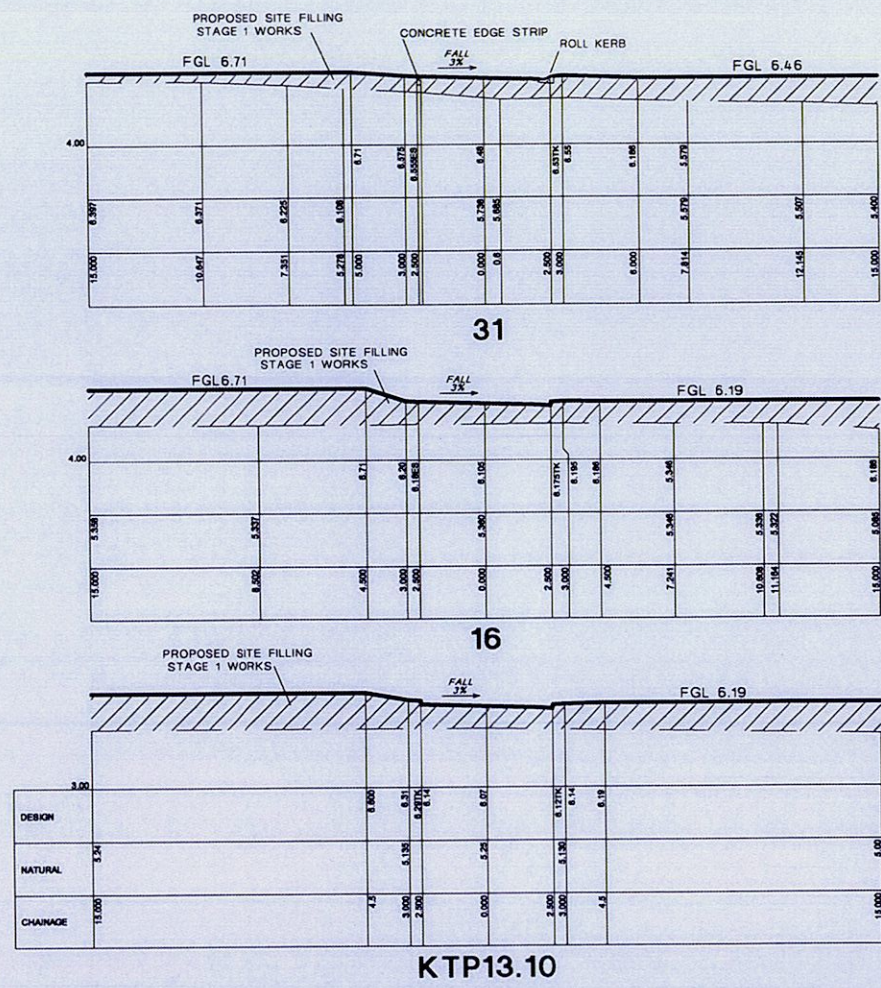
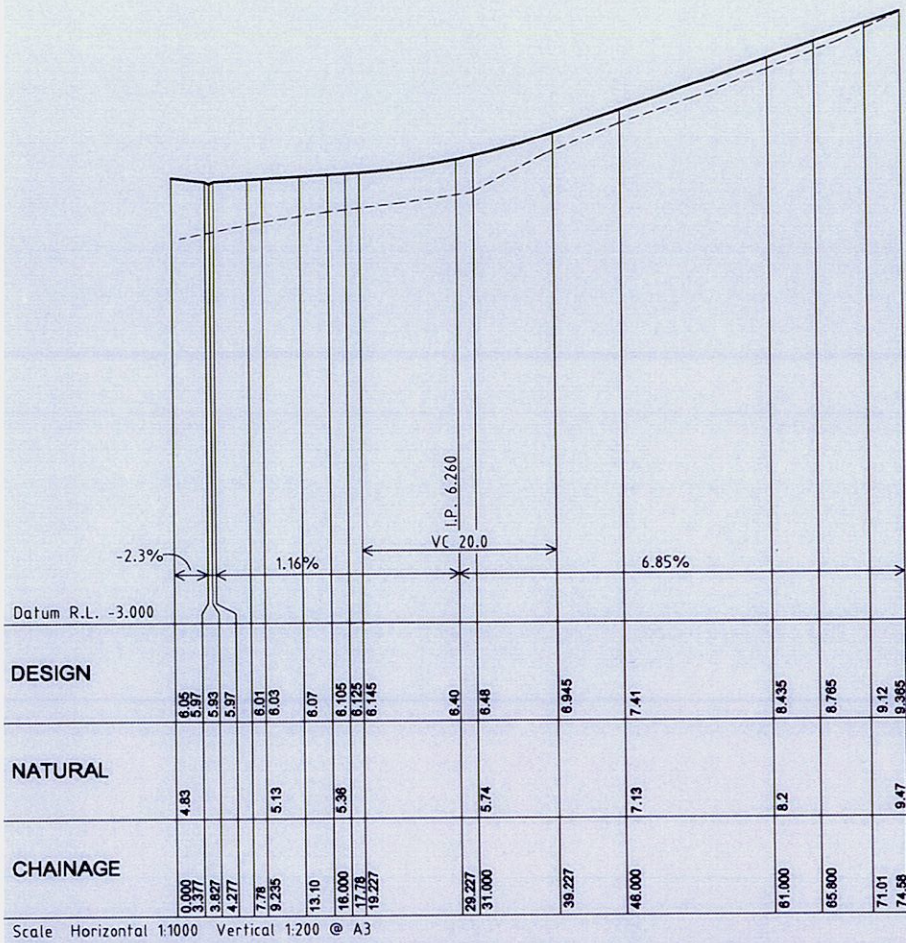
project
Integrated Housing
Development
Lot 105 Lorikeet Avenue, Warriewood
drawing
Landscape Plan

client
ABAX Contracting

date
August 2010
Job.dwg no.
150.10/262
designed by
IJ

scale
1:100 @ A0
1:200 @ A2
no. in set
ONE/ONE
drawn by
AM





DESIGNED SJP	DATUM	SCALES	406 Pacific Highway PO Box 132 DX 23410 Lindfield NSW 2070 ACN 093 044 407	PROUST&GARDNER CONSULTING PTY LIMITED SURVEYORS & PLANNERS	Tel: 9416 1335 Fax: 9416 3845 Email: png@png.com.au ABN 74 093 044 407	JOB No. 22441	B	CLIENT ABAX Contracting Pty. Ltd. PROPERTY DESCRIPTION Lot 1 D.P.1115877 No 61 Warriewood Road WARRIEWOOD	LAND PLANNING LOT 105 LORIKEET GROVE
DRAWN SJP	ORIGIN	AS SHOWN				DATE 2 SEPT 2008			
APPROVED	R.L. SOURCE DATE					DWG. No. 22441-S2-LP-2			
AMENDMENT						SHEET 2 OF 2 SHEETS			

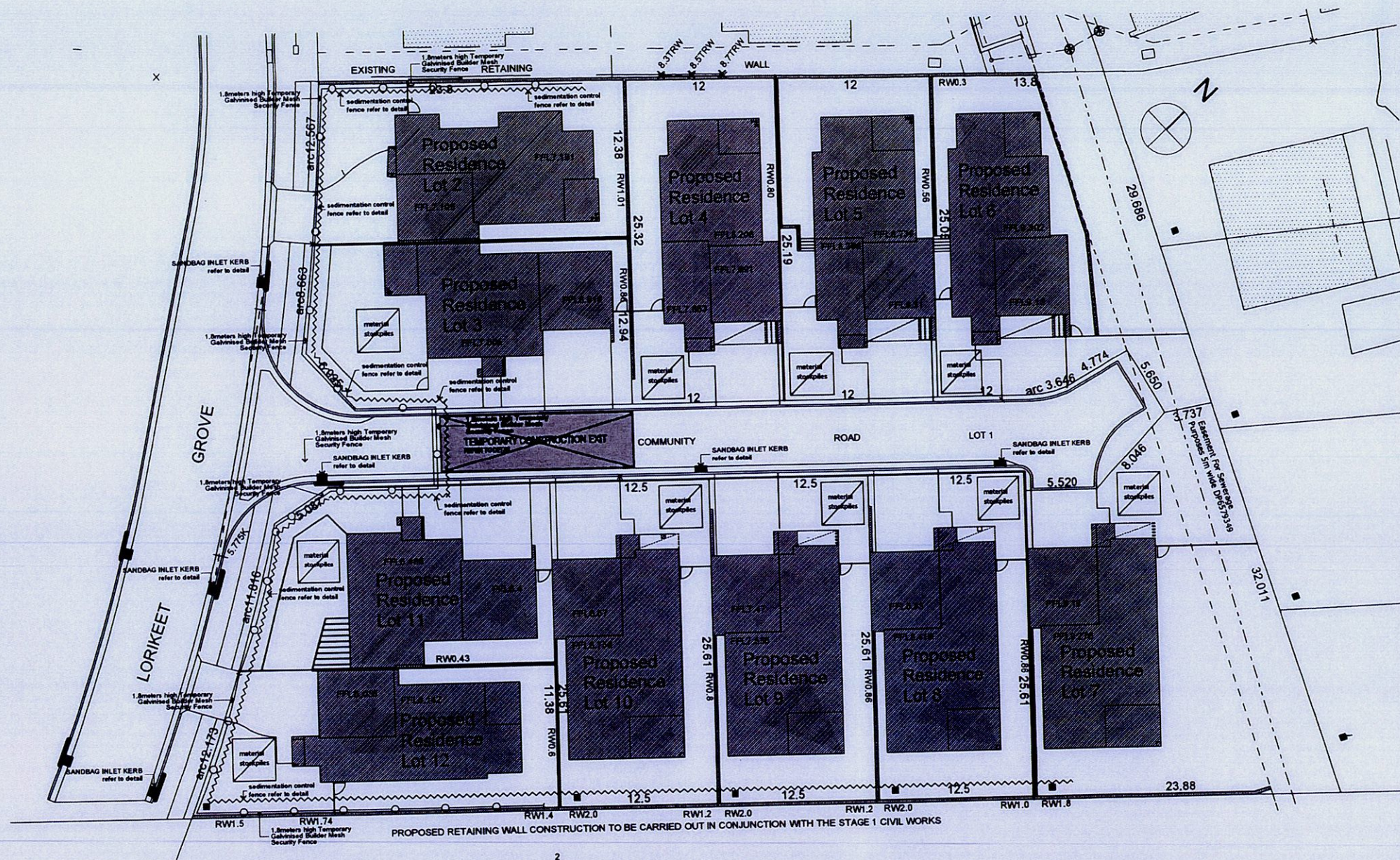


Figure 15

SOIL, WATER & WASTE MANAGEMENT PLAN

LOT 105 LORIKEET GROVE

DATE: 2 SEPT 2010 PLAN NO.22441/SWW

The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor.

I.L. New & Associates MBDA, NSW
BSC LICENCE No. 20388

Unit 25 No. 11 Romford Rd
Kings Park, NSW 2148
Telephone: (02) 9671 6860
Facsimile: (02) 9671 4331



For:
ABAX Contracting

Project Name:
Integrated Housing Development
AT THE PROPOSED SUBDIVISION OF PROPOSED LOT 105 IN A
SUBDIVISION OF LOT 1 DP 1115877 WARRIEWOOD ROAD,
WARRIEWOOD

Drawing Title:
WASTE MANAGEMENT PLAN
WASTE MANAGEMENT PLAN

Scale: as noted

Date:

Status: DA

Checked By:

Project No:

Layout No:

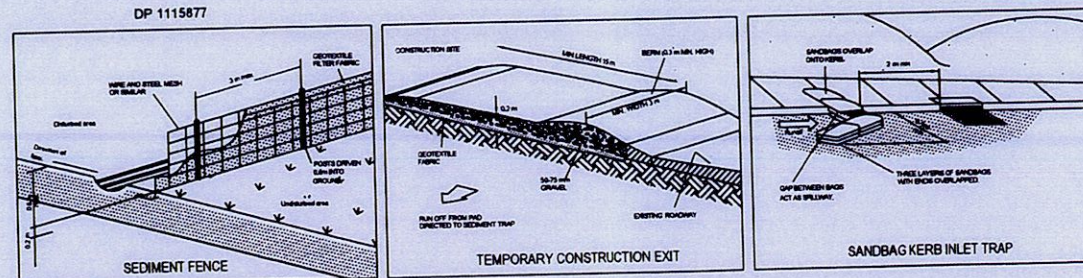
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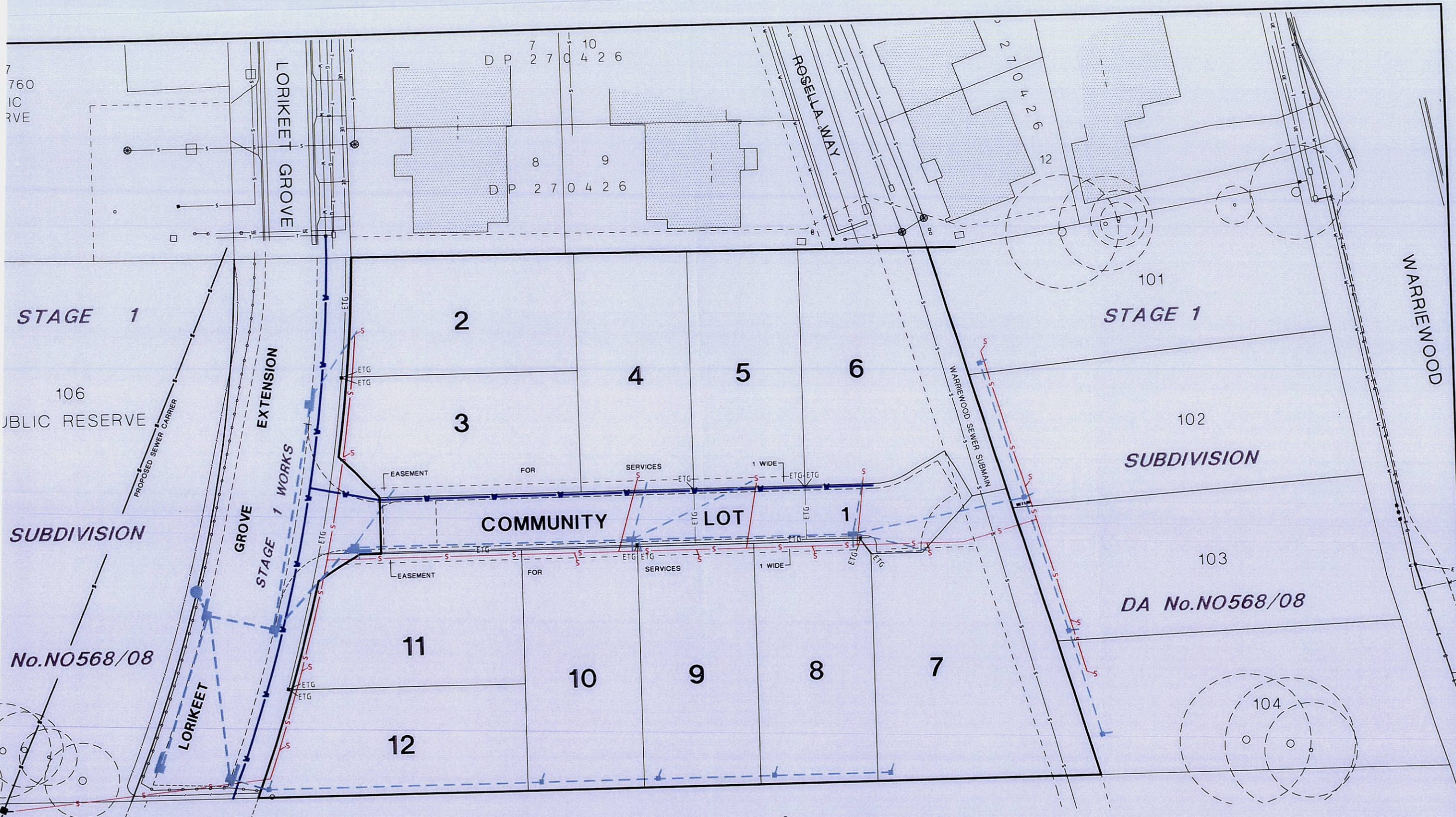
2of17A

Plot Date:

31/08/2010

① WASTE MANAGEMENT PLAN
1:200





LEGEND

- PROPOSED STORMWATER PIPELINE
- PROPOSED WATER MAIN
- PROPOSED ELECTRICITY, TELSTRA, GAS MAIN
- PROPOSED SEWER MAIN

NOTE
PRELIMINARY SERVICES PLAN SUBJECT TO APPROVAL BY THE RELEVANT AUTHORITIES

Figure 16

STAGE 2 -DA		DESIGNED SJP		D A T U M O R I G I N L E V E L S O U R C E D A T E	S C A L E S A1 - 1:200 A3 - 1:400	406 Pacific Highway PO Box 132 DX 23410 Lindfield NSW 2070 ACN 093 046 407	PROUST&GARDNER CONSULTING PTY LIMITED SURVEYORS & PLANNERS Tel: 9416 1335 Fax: 9416 3845 Email: png@png.com.au ABN 74 093 046 407	OWNER/DEVELOPER ABAX CONTRACTING P/L PROPERTY DESCRIPTION LOT 1 DP 1115877 No.61 WARRIEWOOD ROAD WARRIEWOOD	DA No. -----	B	UTILITY SERVICING LOT 105 LORIKEET GROVE DWG NAME: X:\Drawings\INTEGRATED-2010\Services_Plan
AUG 2010		DRAWN CAH							DATE 25 AUGUST 2008		
25 AUG 08		CHECKED SJP							DWG. No. 22441-SP		
SHEET 1 OF 1 SHEETS											