

1 SITE PLAN 1:200  
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

**NOTES**

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Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.

All figured dimensions to be checked on site.

**BASIC INFORMATION REQUIREMENTS:**

**WATER COMMITMENTS:**  
 Fixtures: All new Shower heads, toilets and taps shall have a minimum 4 Star rating  
 Landscaping: There must be 18.76m<sup>2</sup> of indigenous or low water use species planted on the site  
 Alternative Water: A 2000L rainwater tank must be installed to collect runoff from at least 37m<sup>2</sup> of roof area. The tank must be connected to one outdoor tap.

**ENERGY COMMITMENTS:**  
 Hot Water System: Any new Hot water system shall be a gas instantaneous system in accordance with the Basic certificate.  
 Cooling System: The living room and bedroom must not have any cooling system  
 Heating System: A 3 star energy rated non-ducted gas heater must be installed in the living area. A 4 star energy rated non-ducted gas heater must be installed in the bedroom.

**THERMAL PERFORMANCE REQUIREMENTS:**  
 External walls: The external walls shall be brick veneer or timber clad and shall meet R3.0 (including construction)  
 Floors: The floor shall be a concrete slab on ground  
 Ceiling: The new flat ceiling / flat roof shall meet minimum R4.0 up and be fully insulated.  
 Roof: The roof shall have a foil/sarking and be medium colour solar absorption 0.415-0.70  
 Ceiling Fans: A ceiling fan is to be provided in the living room and the bedroom  
 Lighting: A minimum of 80% of all new or altered light fixtures are to be fluorescent compact fluorescent or LED lamps. A window must be installed in the kitchen.  
 Ventilation: No mechanical ventilation to be installed in the bathroom or kitchen.

**ENERGY COMMITMENTS:**  
 Alternative Energy: A photovoltaic system is to be installed in accordance with the Basic certificate

**WINDOWS & GLAZED DOORS:**  
 All window/door numbers shown on the window/door schedule correspond to matching window/door numbers shown in the Basic certificate.  
 Sizes: The total area of glazing for each window/door shall be no greater than that shown on the Basic certificate  
 Shading devices: Shading devices shall be installed in accordance with the Basic certificate  
 Frames and glazing: Frame and glazing types shall meet the requirements of the Basic certificate

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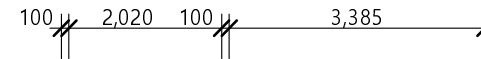
**Client**  
 MS. RIGNEY-HAIN  
 Project Name  
 PROPOSED GRANNY FLAT  
 7 ELM AVENUE  
 LOT 6, DP 240752  
 BELROSE NSW 2085



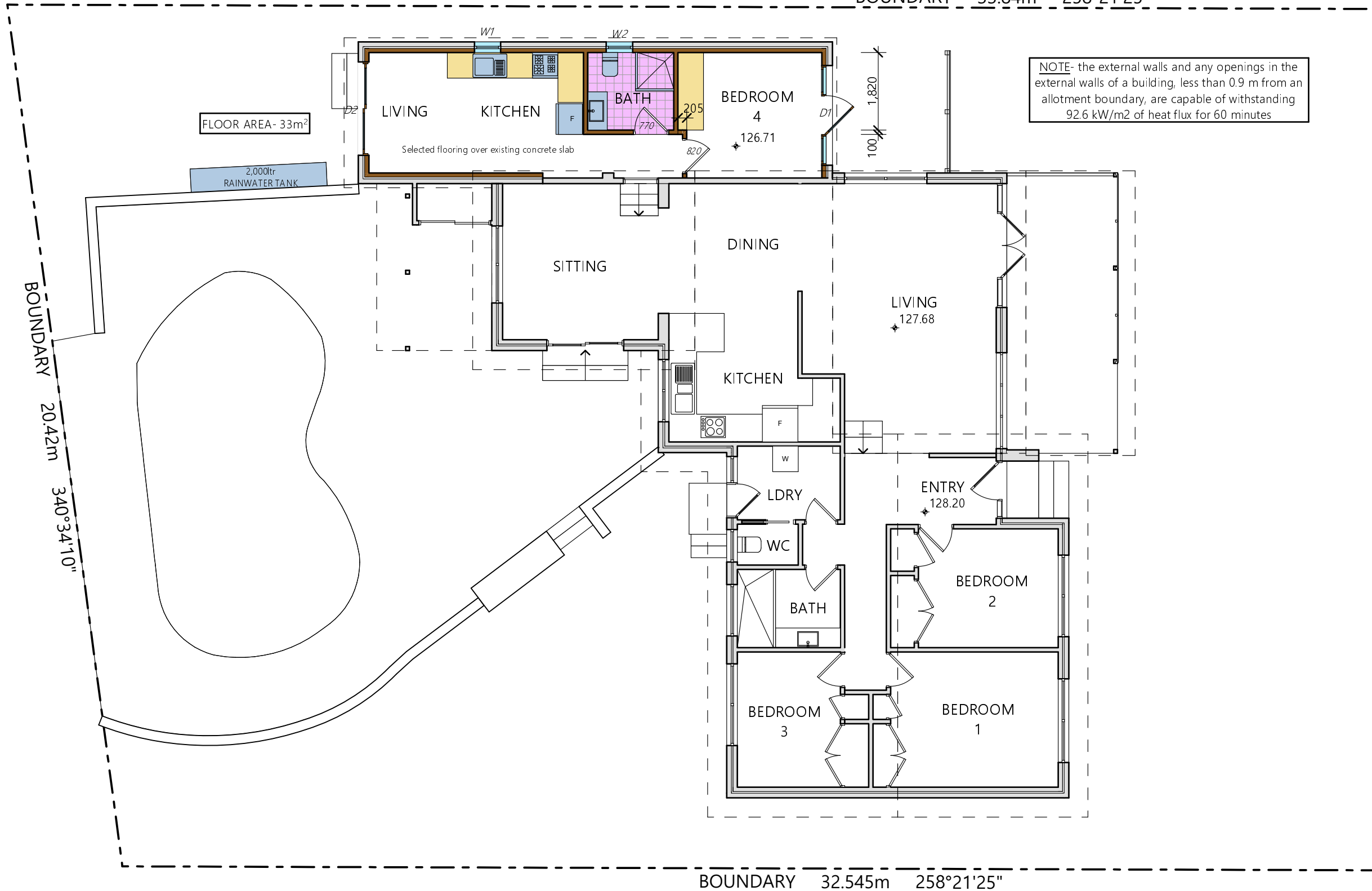
Drawing Title: <b>SITE PLAN</b>	
Scale: 1:200 @ A3	Date: NOVEMBER 2024
Status: DA submission	Checked By: JAH
Project No: <b>2419</b>	Drawing No.: <b>DA01</b>
Plot Date:	27/11/2024

**DOOR/WINDOW SCHEDULE**

D 1	2345w x 2060h	Selected Timber Framed Door with 2 Sidelights
D 2	2190w x 2060h	Selected Timber framed Sliding Doors
W 1	620w x 1030h	Selected Aluminium Framed Awning Window
W 2	620w x 1030h	Selected Aluminium Framed Awning Window- Frosted Glass



BOUNDARY 33.84m 258°21'25"



FLOOR AREA- 33m<sup>2</sup>

NOTE- the external walls and any openings in the external walls of a building, less than 0.9 m from an allotment boundary, are capable of withstanding 92.6 kW/m<sup>2</sup> of heat flux for 60 minutes

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 Project Name  
**PROPOSED GRANNY FLAT**  
 7 ELM AVENUE  
 LOT 6 , DP 240752  
 BELROSE NSW 2085



Drawing Title: <b>FLOOR PLAN</b>	
Scale: 1:100 @ A3	Date: NOVEMBER 2024
Status: DA submission	Checked By: JAH
Project No: 2419	Drawing No.: DA02
Plot Date: 27/11/2024	

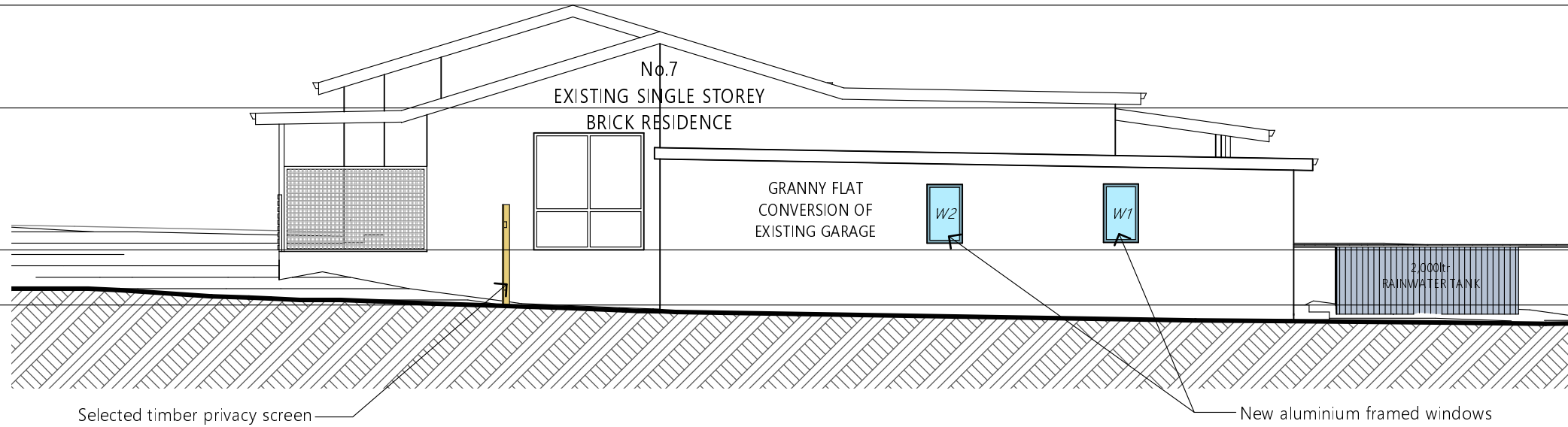
**1 AS BUILT FLOOR PLAN 1:100**

EXISTING RIDGE LEVEL  
RL 131.99

EXISTING CEILING PITCHING POINT  
RL 130.18

EXISTING GROUND FLOOR  
RL 127.68

PROPOSED GRANNY FLAT FLOOR  
RL 126.71



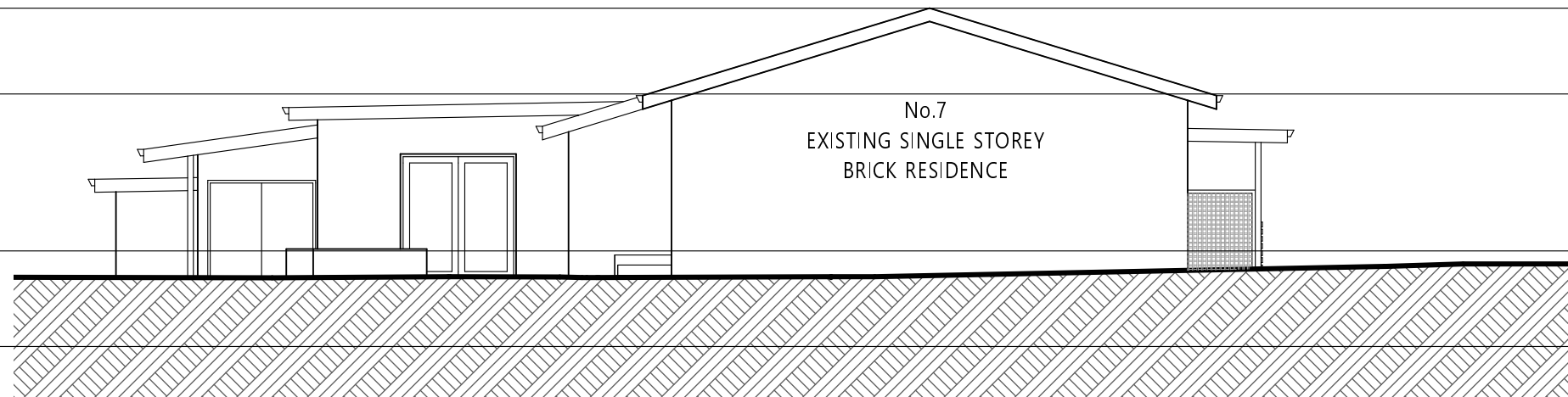
1 NORTH ELEVATION 1:100

EXISTING RIDGE LEVEL  
RL 131.99

EXISTING CEILING LEVEL  
RL 130.65

EXISTING GROUND FLOOR  
RL 128.20

PROPOSED GRANNY FLAT FLOOR  
RL 126.71



NOTE- NO CHANGES TO  
SOUTH ELEVATION

1 SOUTH ELEVATION 1:100

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SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085  
ABN 22 630 690 834  
PH. 0410 410 064 EMAIL:jule@jahdesigns.com.au

Drawing Title:

NORTH & SOUTH ELEVATION

Scale:	1:100@ A3	Date:	NOVEMBER 2024
Status:	DA submission	Checked By:	JAH
Project No.:	2419	Drawing No.:	DA03

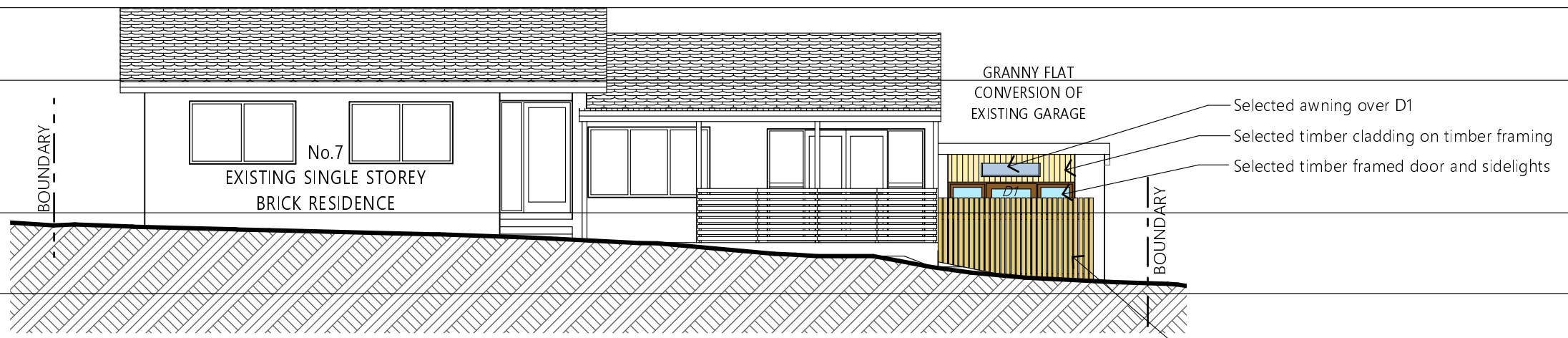
Plot Date: 27/11/2024

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RL 131.99

EXISTING CEILING LEVEL  
RL 130.65

EXISTING GROUND FLOOR  
RL 128.20

PROPOSED GRANNY FLAT FLOOR  
RL 126.71



1 EAST ELEVATION 1:100

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RL 131.99

EXISTING CEILING PITCHING POINT  
RL 130.18

EXISTING GROUND FLOOR  
RL 127.68

PROPOSED GRANNY FLAT FLOOR  
RL 126.71

EXISTING CEILING LEVEL  
RL 130.65

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1 WEST ELEVATION 1:100

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**Drawing Title:**

EAST & WEST ELEVATION

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Project No:	2419	Drawing No.:	DA04
Plot Date:	27/11/2024		