

CONTOUR

LANDSCAPE ARCHITECTURE

DA DOCUMENTATION

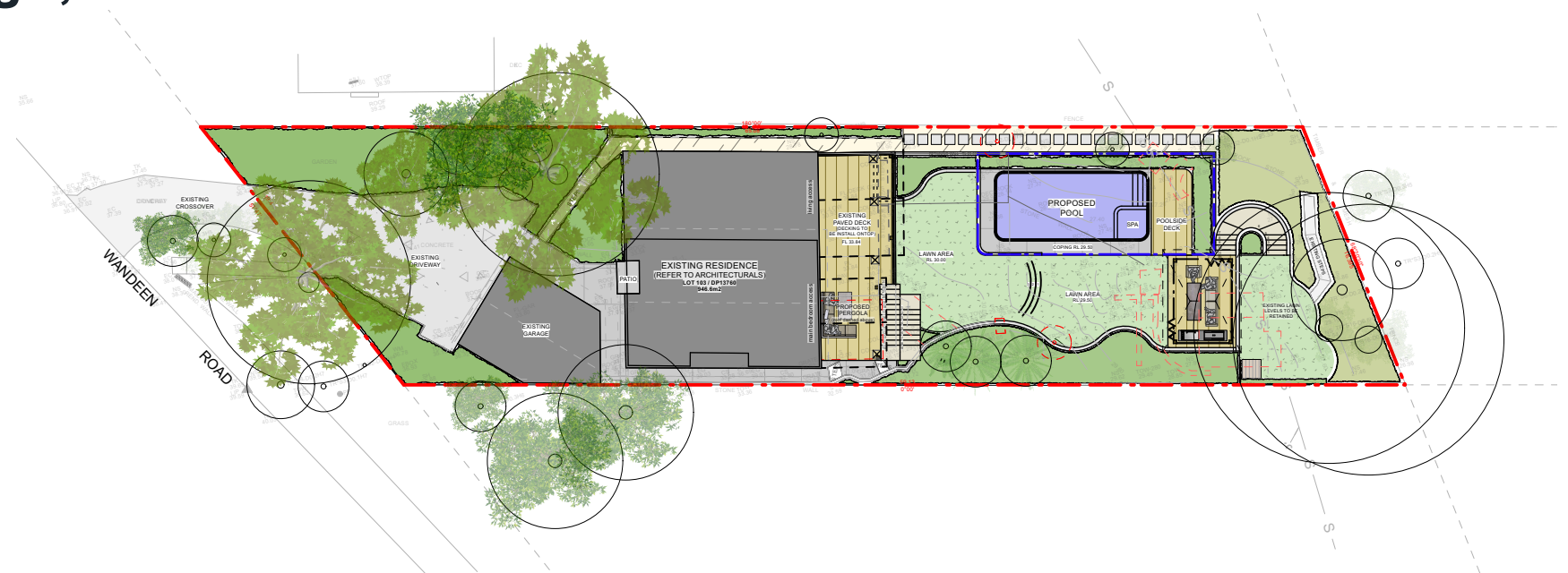
Proposed Swimming Pool Design, Pergola, Cabana, Deck & Associated Landscaping

CLIENT

Belinda & Sarel Roets

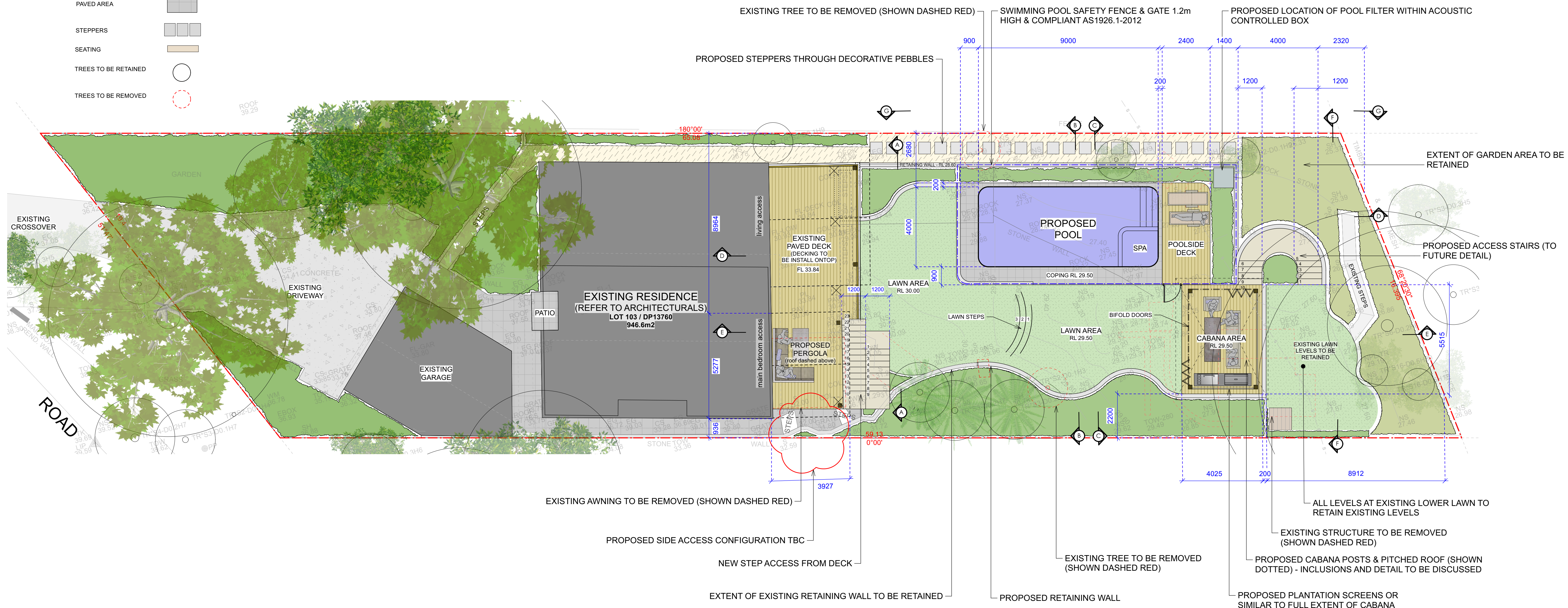
ADDRESS

22 Wandeen Road,
Clareville, NSW 2107



LEGEND

- PROPOSED GARDEN AREAS
planting to future detail
- PROPOSED LAWN AREAS
- EXISTING REAR
GARDEN AREA
- DECORATIVE PEBBLE FINISH
- PAVED AREA
- STEPPERS
- SEATING
- TREES TO BE RETAINED
- TREES TO BE REMOVED



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

CLIENT
Belinda & Sarel Roets
22 Wandeen Road,
Clareville, NSW 2107

NOTES
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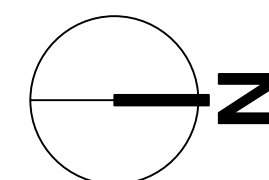
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01/10/21	A	
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14/11/21	D	
01/03/22	E	

DATE: 01/03/22

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN: SEC

DRAWING
**LANDSCAPE
MASTER PLAN**
DRAWING NO:
C1
REV:
E



ADJUST EXISTING BALUSTRADE AND WINDOW AS REQUIRED

PROPOSED PERGOLA TO MATCH
EXISTING PERGOLA

EXISTING PERGOLA

EXISTING AWNING TO BE REMOVED
(SHOWN DASHED RED)

1050

2440

EXISTING DECK RL 33.84

PROPOSED ACCESS STEPS AND LANDING

LANDING RL 31.50

LAWN RL 30.00

200

3941

200

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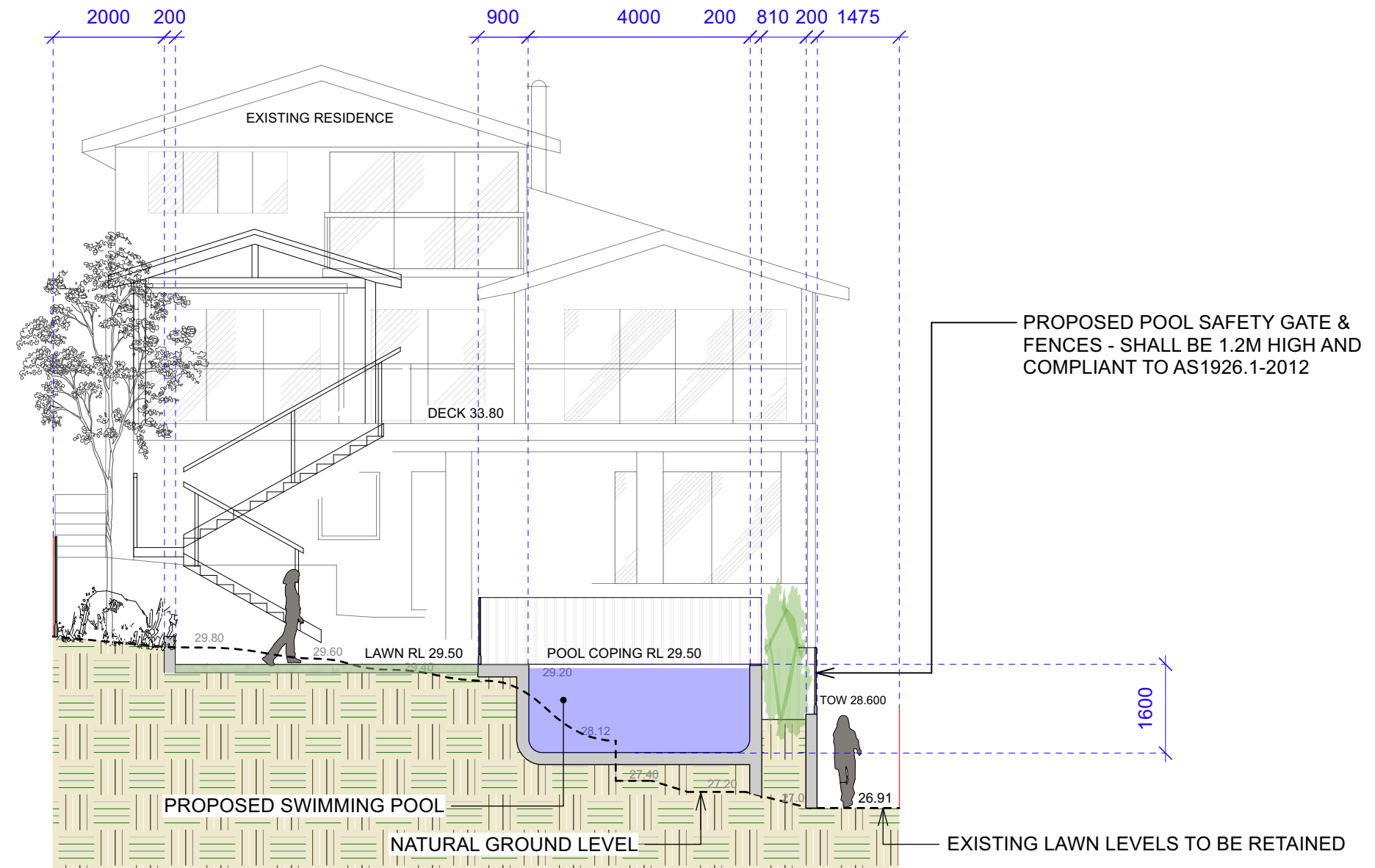
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01/03/22	E	-----

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SCALE: 1:100 @ A3

DRAWN: SEC

DRAWING
**PROPOSED PERGOLA
- ELEVATION AA**
DRAWING NO:
C2
REV:
E



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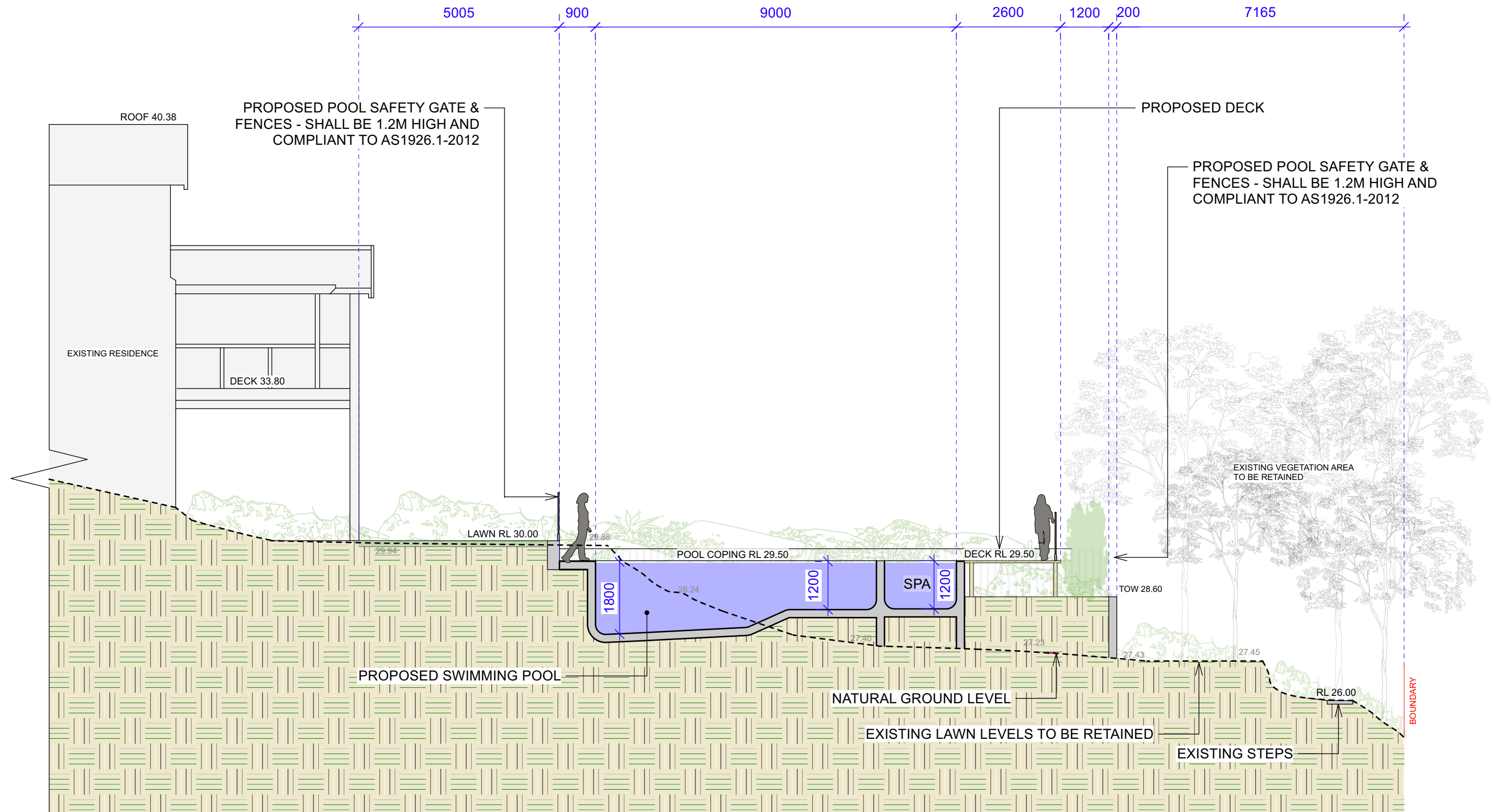
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DRAWN: SEC

DRAWING
ELEVATION BB

DRAWING NO:
C3

REV:
E



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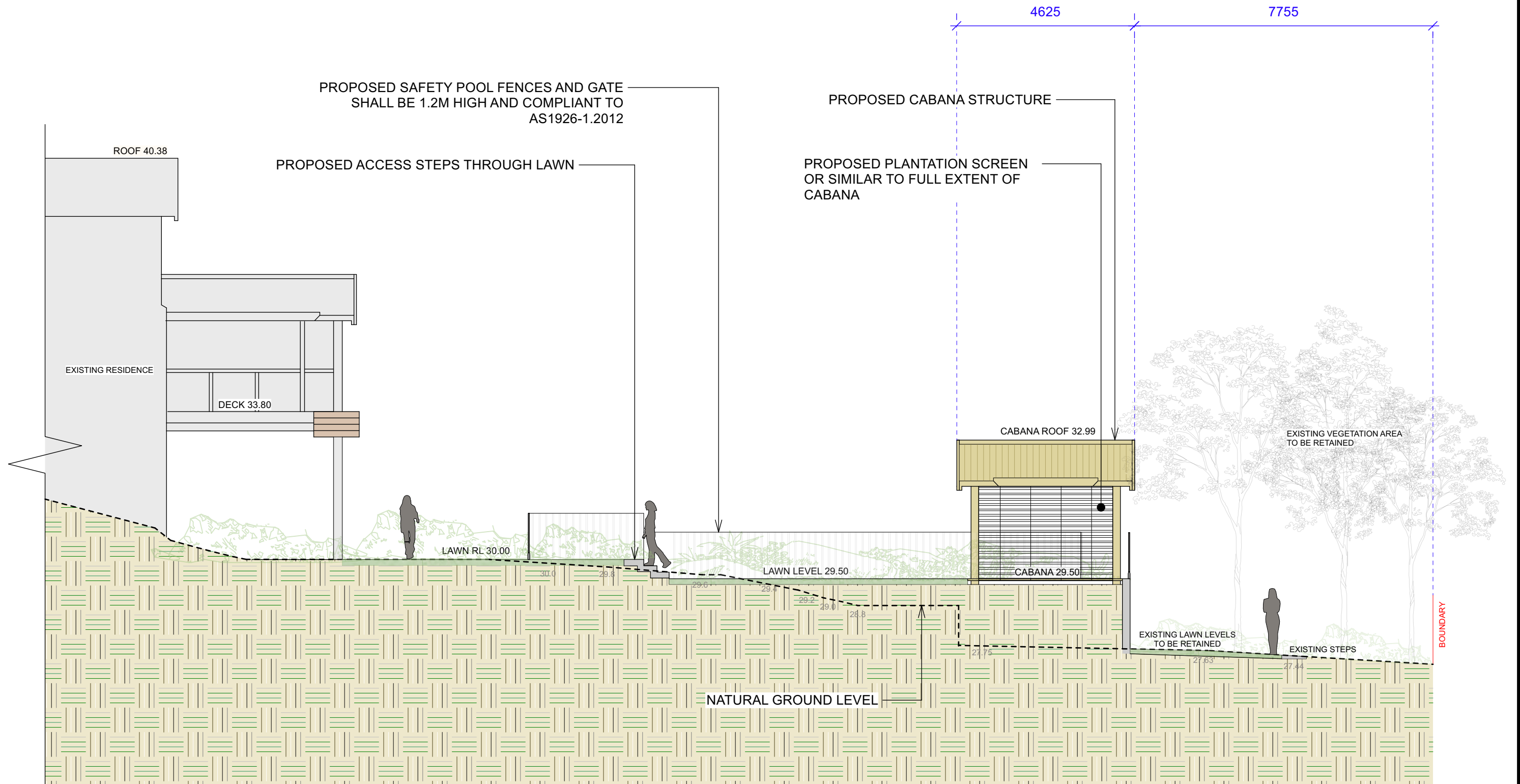
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SCALE: 1:100 @ A3
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DRAWING
ELEVATION DD

DRAWING NO:
C5
REV:
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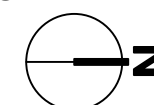
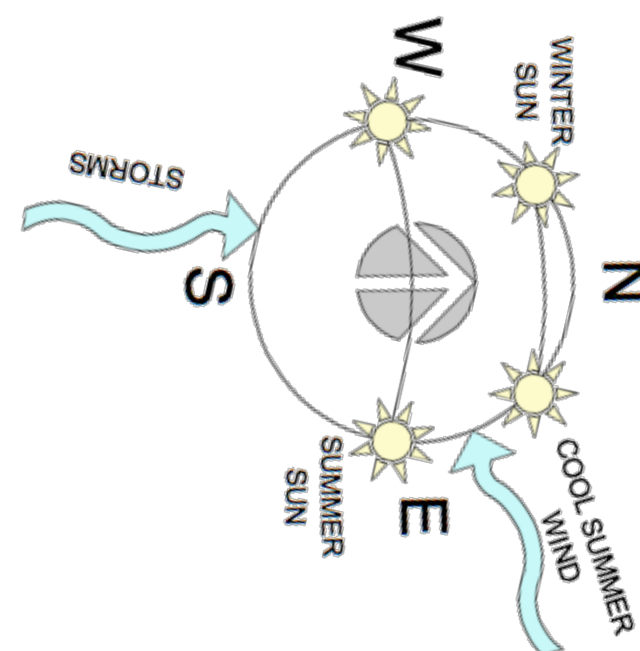
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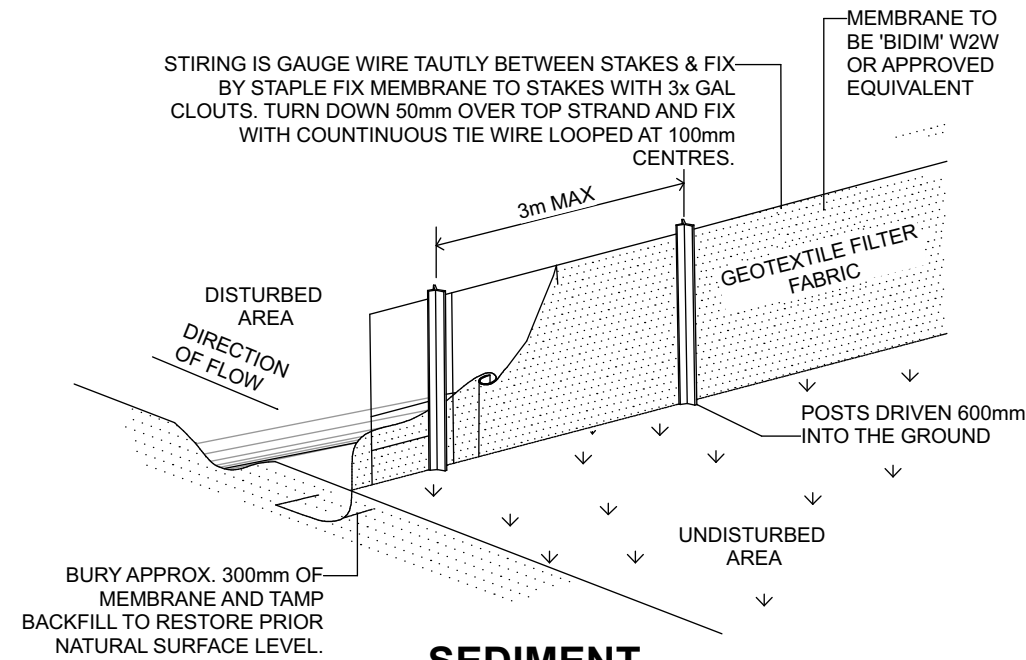
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DRAWING
ELEVATION EE

DRAWING NO:
C6

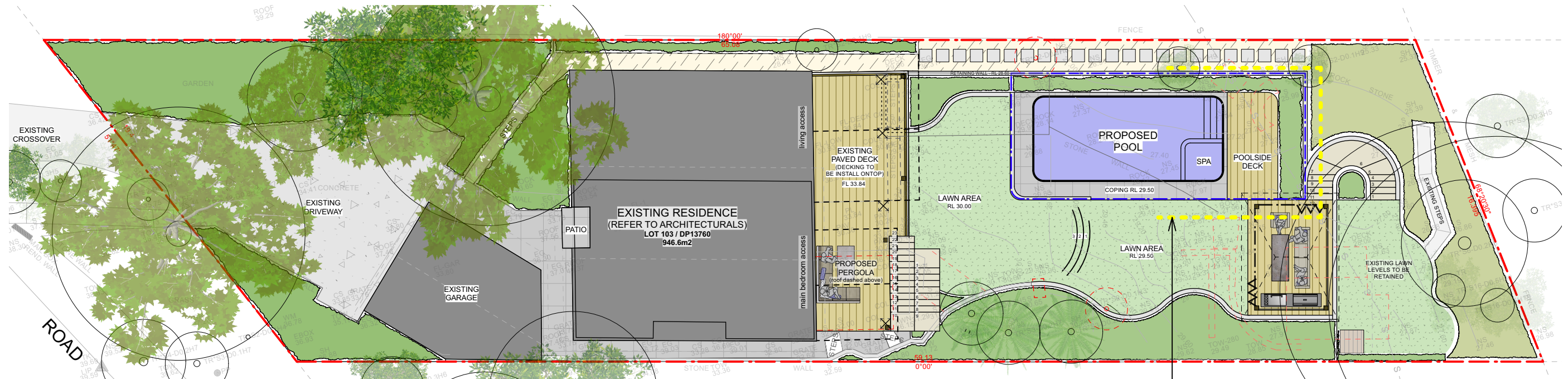
REV:
E





SEDIMENT CONTROL FENCE

1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPERTMENT OF HOUSING MANUAL
2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
6. SILT FENCE IS TO BE INSTALLED & APPROVED BY COUNCIL'S SUPERVISING ENGINEERS BEFORE OVERBURDEN IS REMOVED. THIS FENCE MAY REQUIRE REPLACEMENT AT TIMES IF LOCATED WITHIN OR NEARBY CONSTRUCTION ZONES.
6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L



APPROX. EXTENT OF
SEDIMENT CONTROL FENCE

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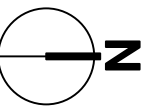
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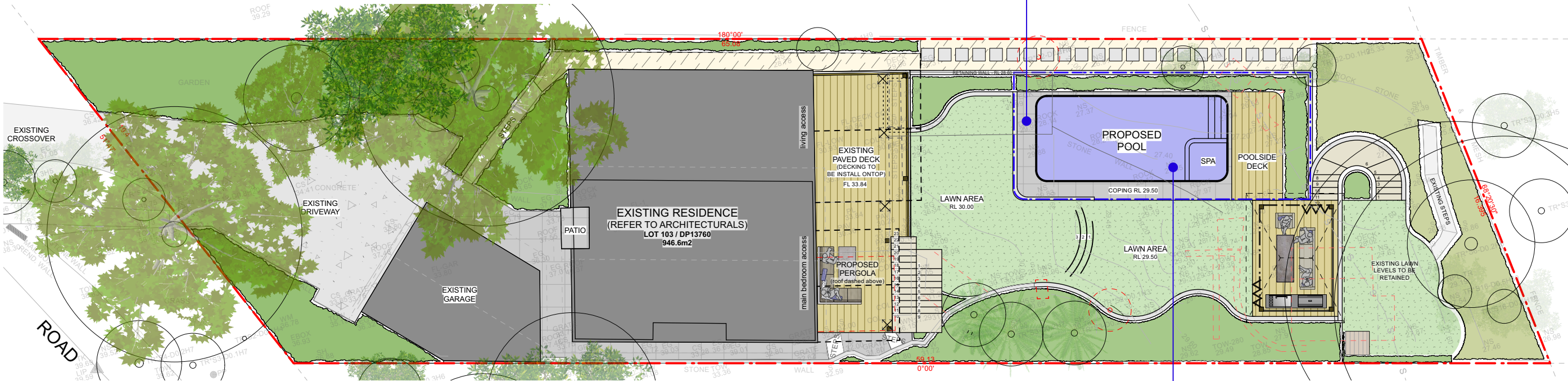
DATE: 01/03/22
SCALE: 1:100 @ A3
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DRAWING
SEDIMENT CONTROL PLAN

DRAWING NO:
C8
REV:
E



ALL PAVED AREAS AND COPING
SHALL FALL TOWARDS GARDEN &
LAWN AREAS



PROPOSED SWIMMING POOL OVERFLOW
SHALL BE CONNECTED TO EXISTING SEWER SYSTEM

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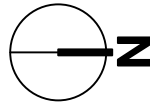
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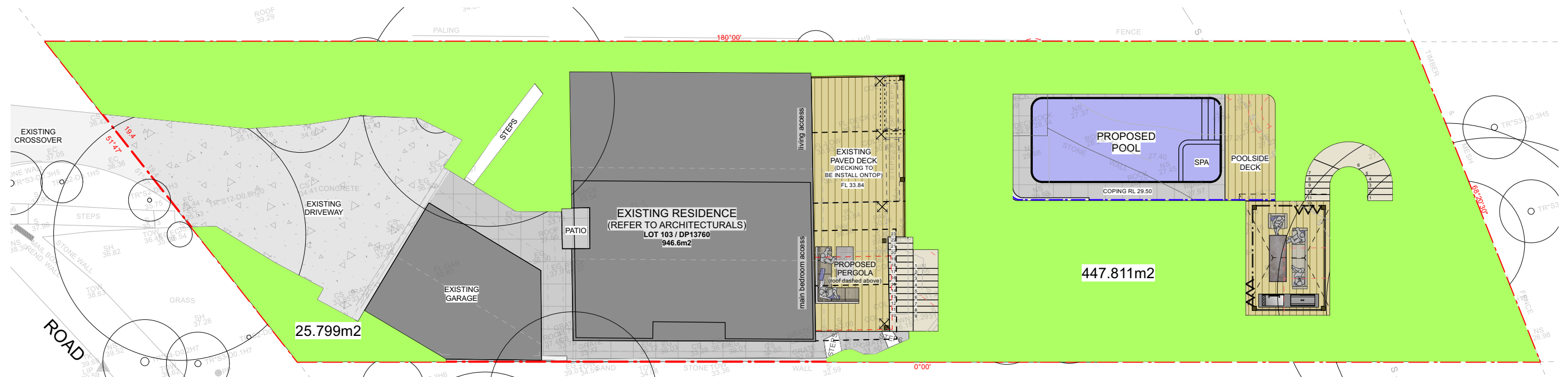
DRAWING
**WASTE MANAGEMENT
PLAN**
DRAWING NO:
C10
REV:
E



with reference to
Pittwater 21 DCP - Avalon Locality -
D1.14 Landscaped Area - E4 Environmentally Sensitive Land

LANDSCAPED AREA		
		COMPLY
SITE AREA	946.6m2	N/A
MINIMUM LANDSCAPED AREA - 60%	567.96m2	N/A
PROPOSED LANDSCAPED AREA	473.61m2	

- SWIMMING POOL WATER CAPACITY IS GREATER THAN 40,000L - BASIX REQUIRED
- SWIMMING POOL SAFETY FENCING & SWIMMING POOL SHALL COMPLY WITH;
- COUNCIL CODES
- BUILDING CODE OF AUSTRALIA
- SWIMMING POOLS ACT 1992-NO. 49
- SWIMMING POOL SAFETY AS 1926.1-2007
- SWIMMING POOL SAFETY AS 1926.2-2007
- SWIMMING POOL SAFETY AS AS1926.1-2012 AS APPLICABLE.
- SWIMMING POOL LOCATED IN REAR YARD
- NO WINDOWS AND DOORS TO OPEN INTO THE POOL AREA



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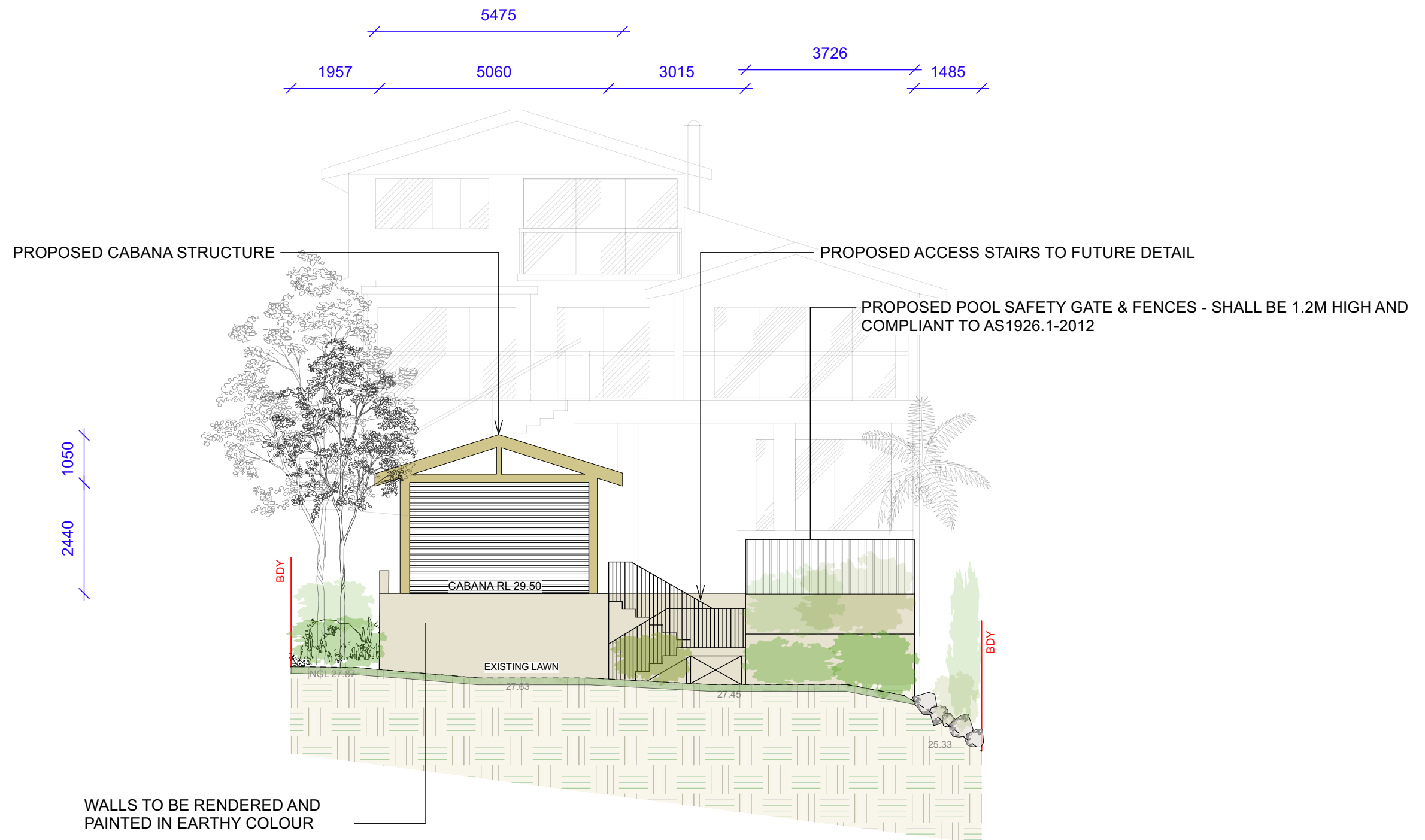
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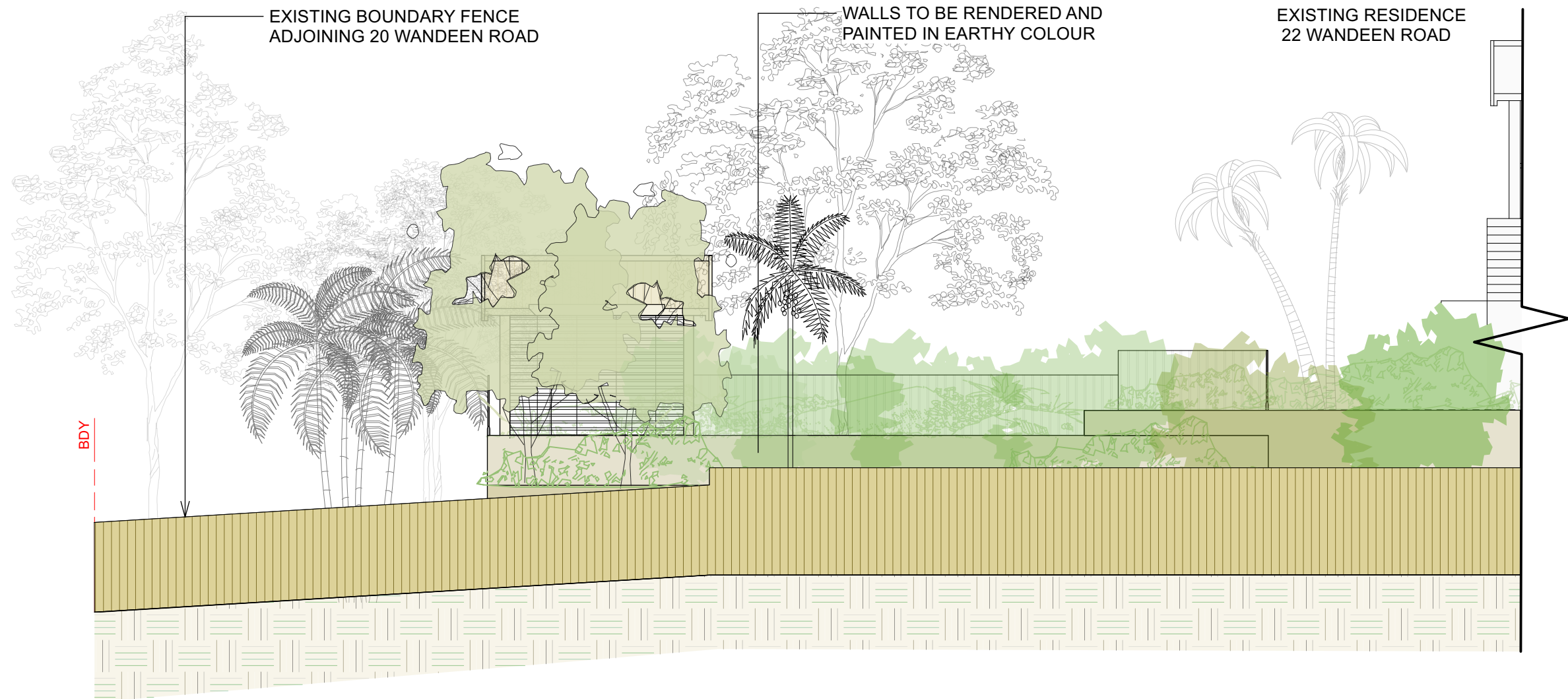
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C12

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DRAWING
ELEVATION GG

DRAWING NO:
C13
REV:
F