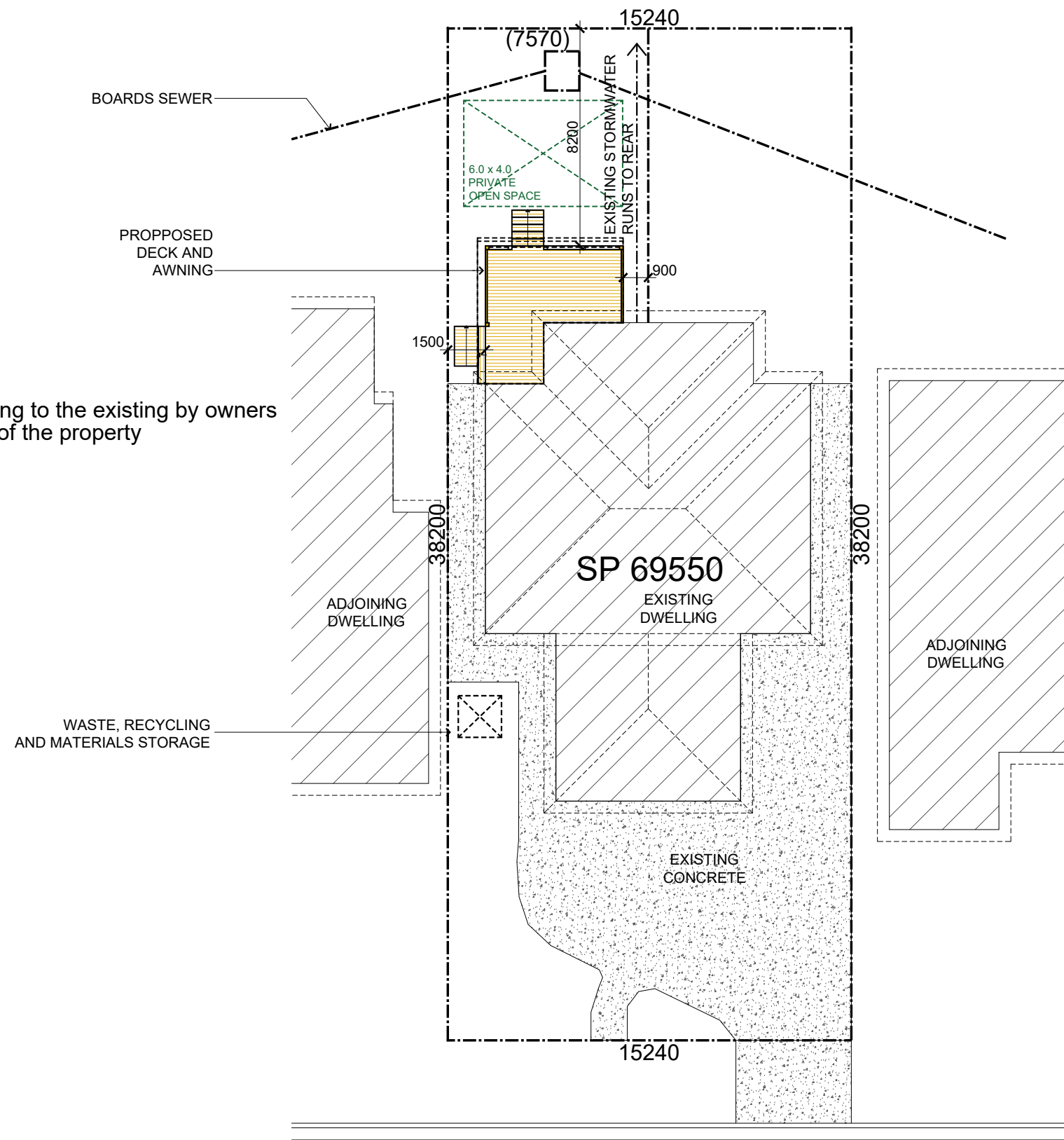
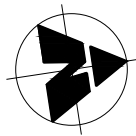




Stormwater connecting to the existing by owners and runs to the rear of the property

ALL NEW STORMWATER RUN OFF TO BE DIRECTED TO EXISTING SYSTEM

ALL NEW BUILDING WORKS SHALL COMPLY WITH VOLUME 2 OF THE NATIONAL CONSTRUCTION CODE SERIES – BUILDING CODE OF AUSTRALIA (NCCS - BCA) 2019

OLIVER STREET

SITE PLAN / SITE ANALYSIS
SCALE 1 : 200

SITE ANALYSIS

TOTAL SITE AREA	582m ²
EXISTING DWELLING	178m ²
EXISTING DRIVEWAY & CONCRETE	165m ²
TOTAL EXISTING IMPERVIOUS AREA	343m ²
TOTAL AREA OF PROPOSED	23m ²
TOTAL NEW IMPERVIOUS AREA	23m ²
TOTAL PROPOSED IMPERVIOUS AREA	366m ² (63%)
TOTAL PROPOSED LANDSCAPED AREA	216m ² (37%)

SCHEDULE OF COLOURS AND FINISHES

BEAMS SHALL BE:
WHITE

GUTTERING SHALL BE:
WOODLAND GREY

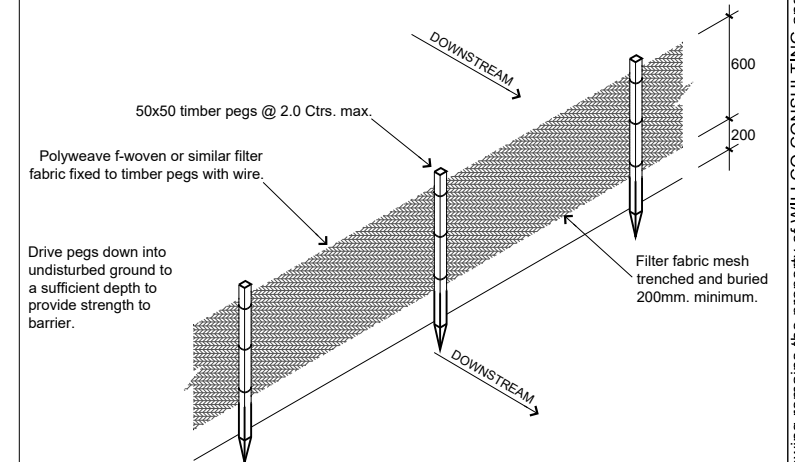
WOODLAND GREY®

ROOFING SHALL BE:
WOODLAND GREY

WOODLAND GREY®

POSTS SHALL BE:
138 x 138 MERBAU

Sediment control fence details



83 Blackbutt Crescent Pennant Hills
Licence No: 274944c ABN: 22169612202
info@urbanexteriors.com.au
P: 02 9446 7308 M: 0415 993 632



ARCHITECTURAL SERVICES - BUILDING DESIGN
A: 18 Parkes Crescent, Faulconbridge NSW 2776
E: info@willco.net.au
P: 0433 710 662 W: willco.net.au

PROPOSED

DECK AND AWNING

FOR CLIENT

MR. BRAD CALLAGHAN

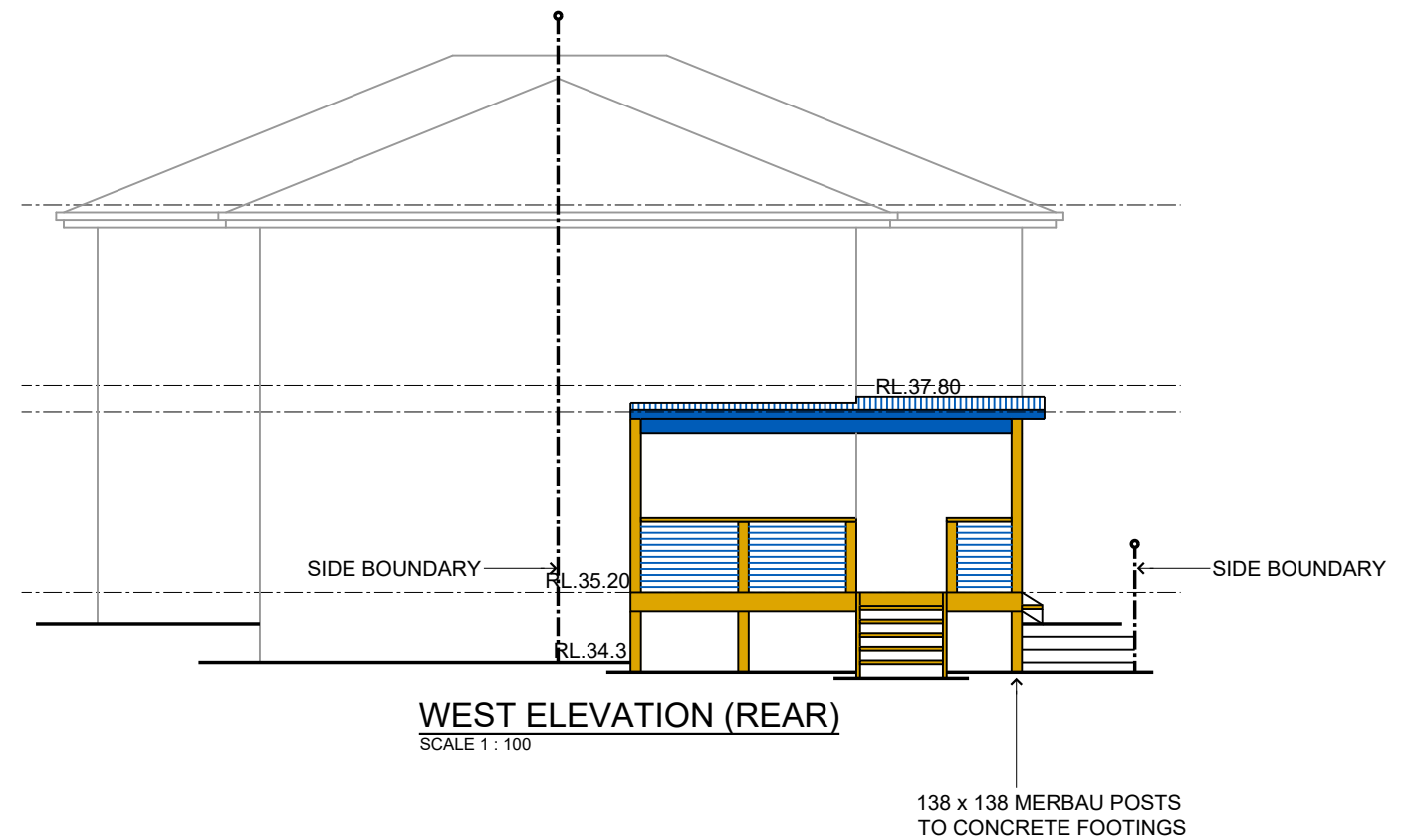
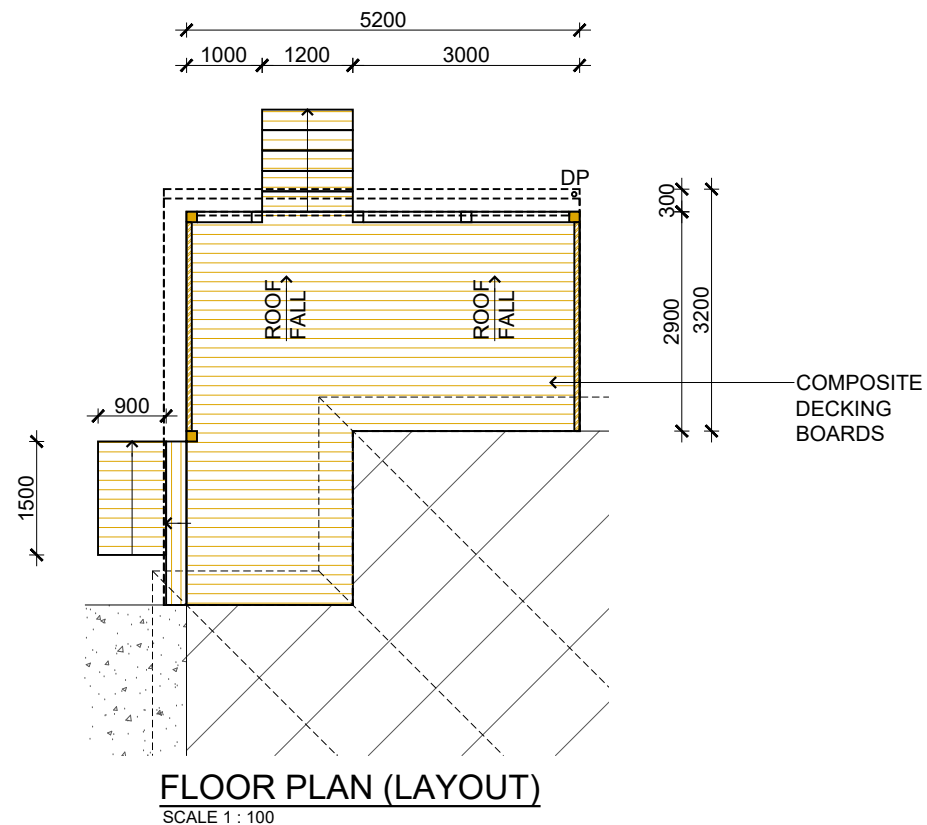
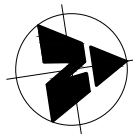
AT SITE ADDRESS

136 OLIVER STREET
FRESHWATER 2096

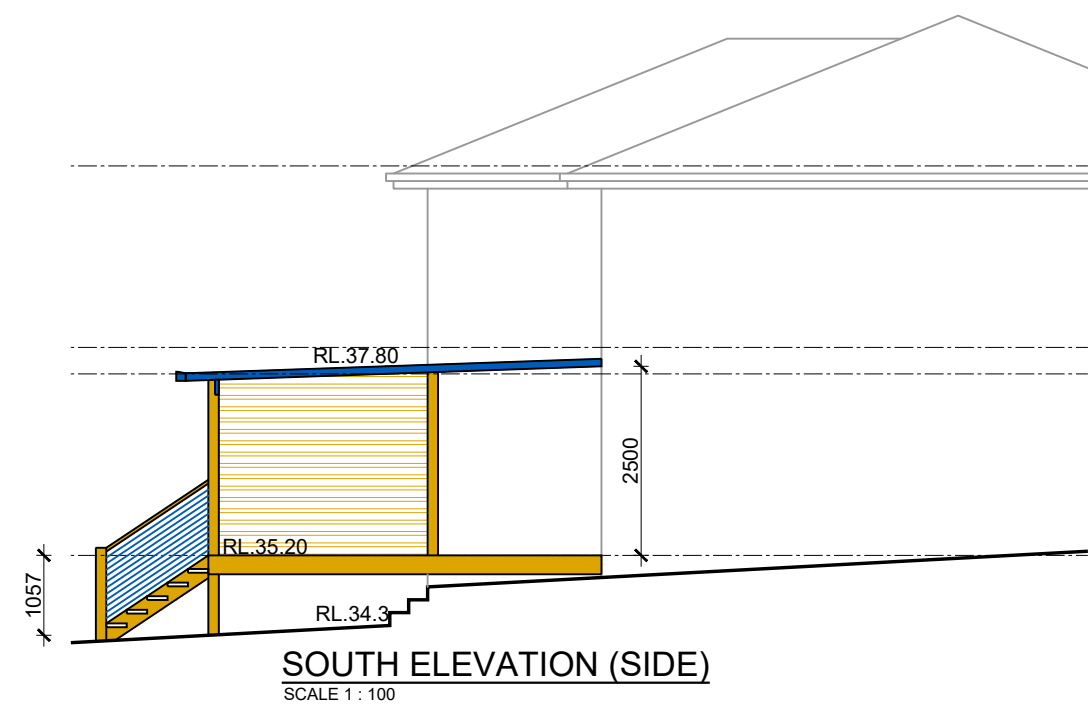
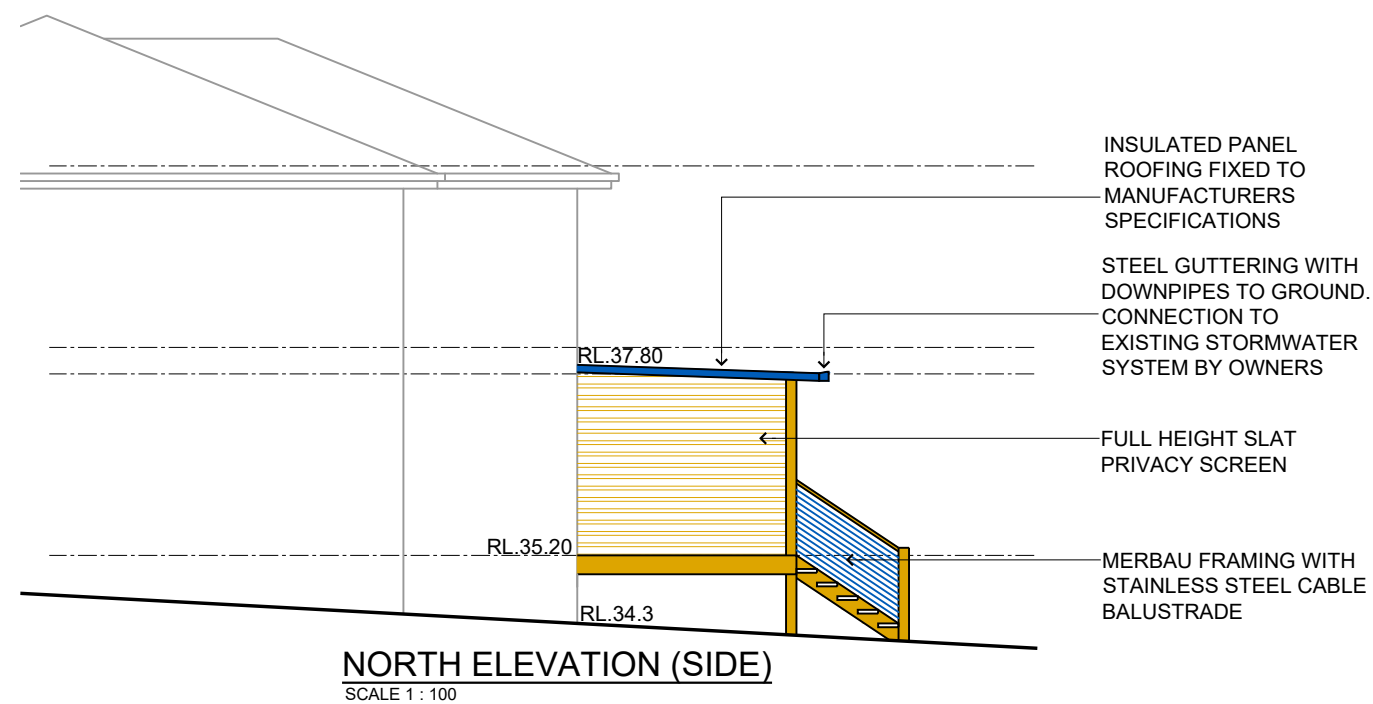
DRAWING

SITE PLAN / SITE ANALYSIS

LOT	SP	SEC
1	69550	
SCALE	DATE	DRAWN
1:200(A3)	16.05.19	WM
JOB NO	DRAWING NO	SHEET NO
19-1155	191155-01	1 OF 2



Stormwater connecting to the existing by owners
and runs to the rear of the property



DATE	AMENDMENT	ISSUE
16.05.19	Preliminary issue	A

Urban exteriors
patios, decks and landscape solutions

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WILLCO
CONSULTING

ARCHITECTURAL SERVICES - BUILDING DESIGN
A: 18 Parkes Crescent, Faulconbridge NSW 2776
E: info@willco.net.au
P: 0433 710 662 W: willco.net.au

PROPOSED
DECK AND AWNING
FOR CLIENT
MR. BRAD CALLAGHAN

AT SITE ADDRESS
136 OLIVER STREET FRESHWATER 2096
DRAWING
FLOOR PLAN / ELEVATIONS

LOT	SP	SEC
1	69550	
SCALE	DATE	DRAWN
1:100(A3)	16.05.19	WM
JOB N ^o	DRAWING N ^o	SHEET N ^o
19-1155	191155-02	2 OF 2



BOARDS SEWER

PROPOSED
DECK AND
AWNING

Stormwater connecting to the existing by owners
and runs to the rear of the property

WASTE, RECYCLING
AND MATERIALS STORAGE

ADJOINING
DWELLING

SP 69550

EXISTING
DWELLING

ADJOINING
DWELLING

EXISTING
CONCRETE

OLIVER STREET

SITE PLAN / SITE ANALYSIS

SCALE 1 : 200

SITE ANALYSIS

TOTAL SITE AREA

EXISTING DWELLING
EXISTING DRIVEWAY & CONCRETE

TOTAL EXISTING IMPERVIOUS AREA

TOTAL AREA OF PROPOSED
TOTAL NEW IMPERVIOUS AREA 366m²
TOTAL PROPOSED IMPERVIOUS AREA
TOTAL PROPOSED LANDSCAPED AREA 216m²

SCHEDULE OF COLOUR AND FINISHES

BEAMS SHALL BE:
WHITE

GUTTERING SHALL BE:
WOODLAND GREY

WOODLAND GREY

ROOFING SHALL BE:
WOODLAND GREY

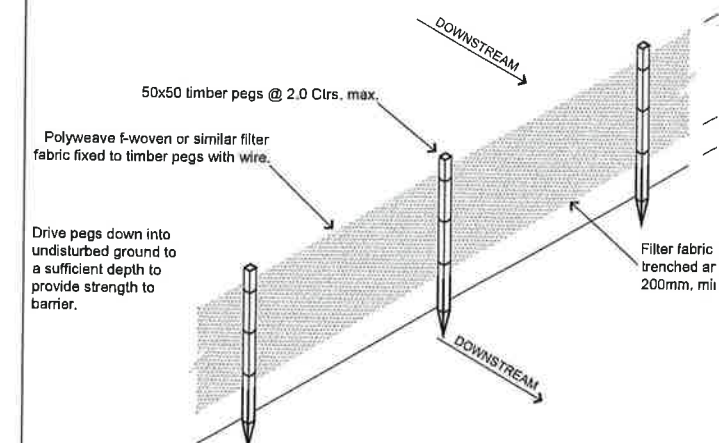
WOODLAND GREY

POSTS SHALL BE:
138 x 138 MERBAU

ALL NEW STORMWATER RUN
OFF TO BE DIRECTED TO
EXISTING SYSTEM

ALL NEW BUILDING WORKS SHALL COMPLY WITH
VOLUME 2 OF THE NATIONAL CONSTRUCTION CODE
SERIES - BUILDING CODE OF AUSTRALIA (NCCS - BCA) 2019

Sediment control fence details



DATE	AMENDMENT	ISSUE
16.05.19	Preliminary issue	A

urban exteriors
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PROPOSED

DECK AND AWNING

FOR CLIENT

MR. BRAD CALLAGHAN

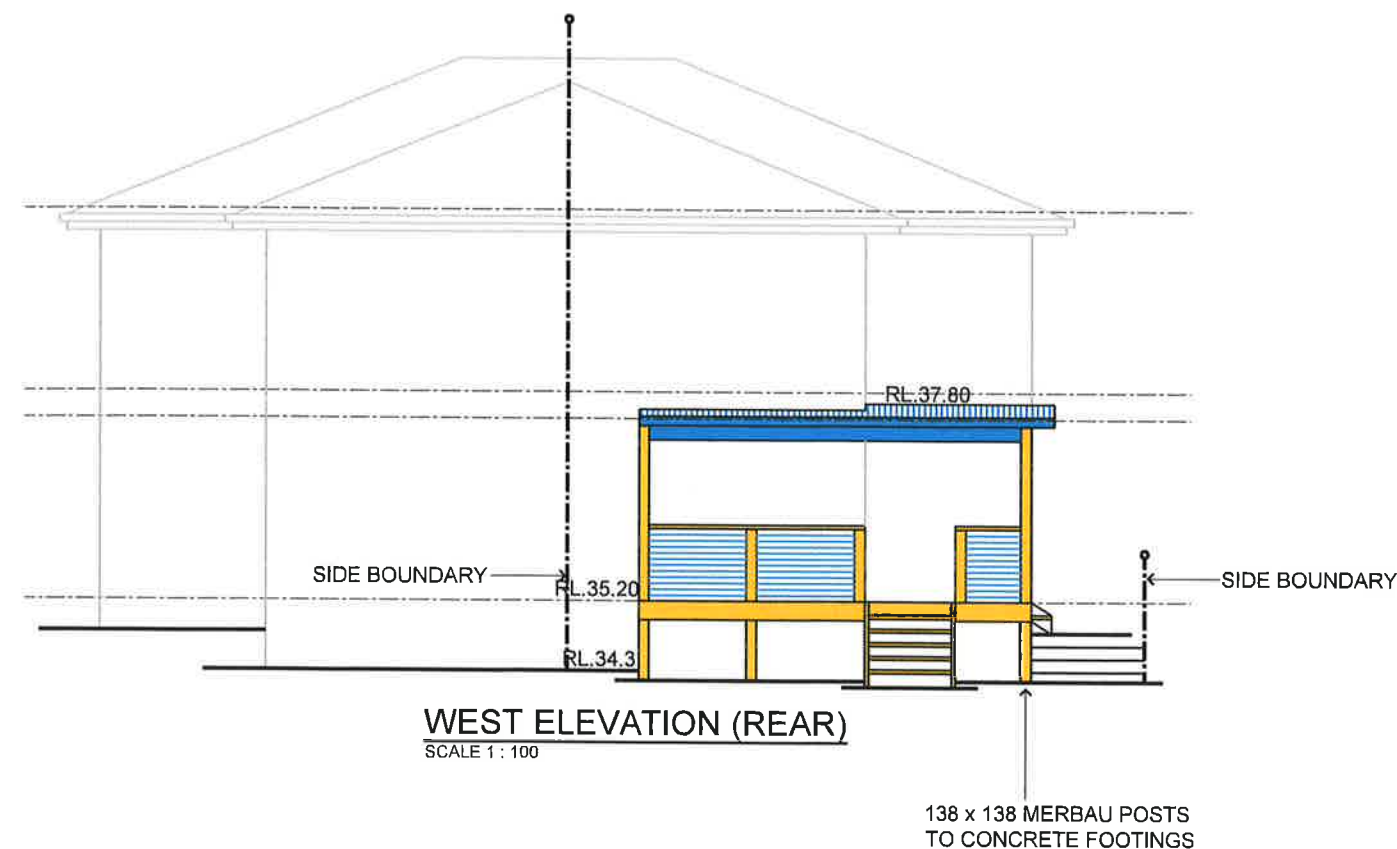
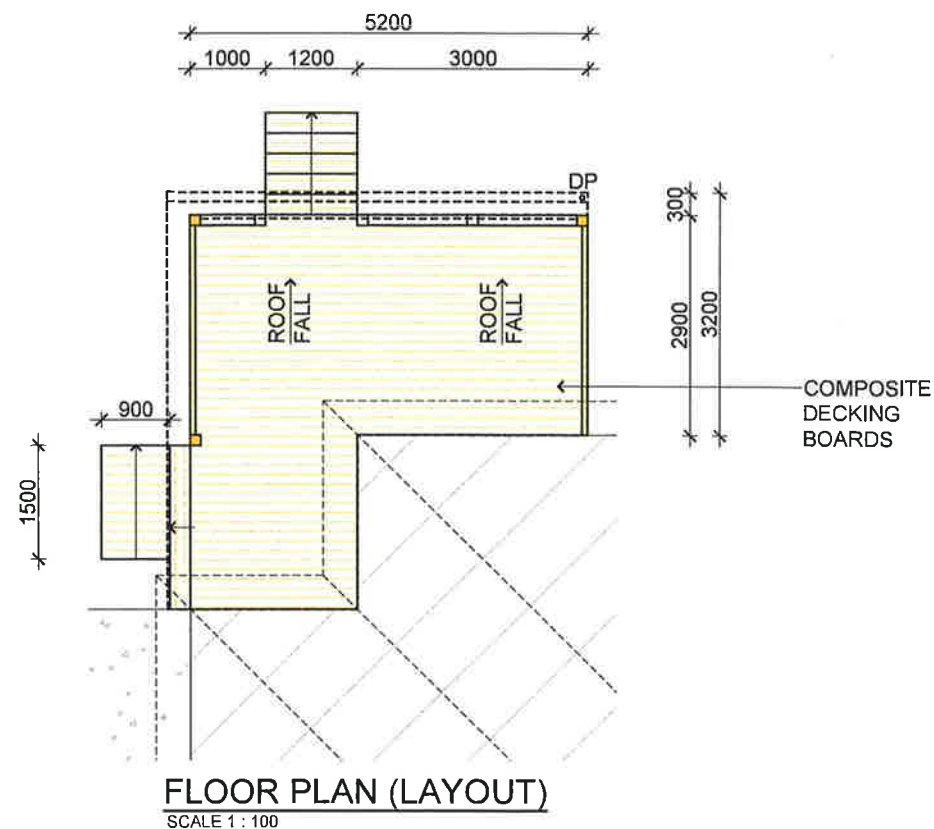
AT SITE ADDRESS

136 OLIVER STREET
FRESHWATER 2096

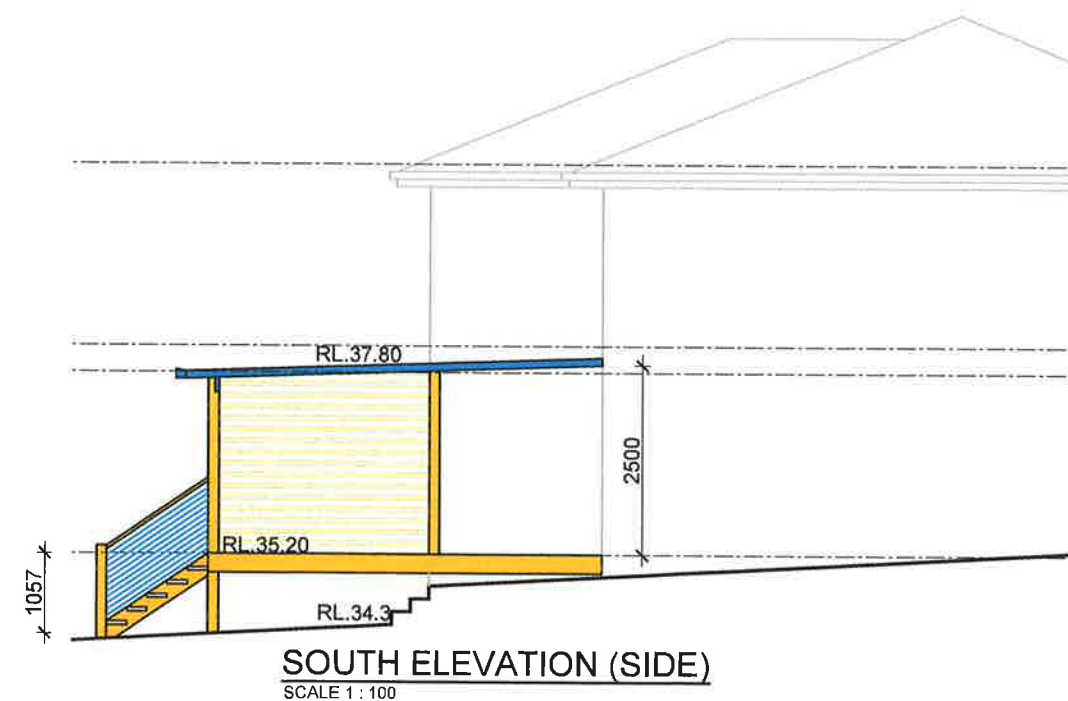
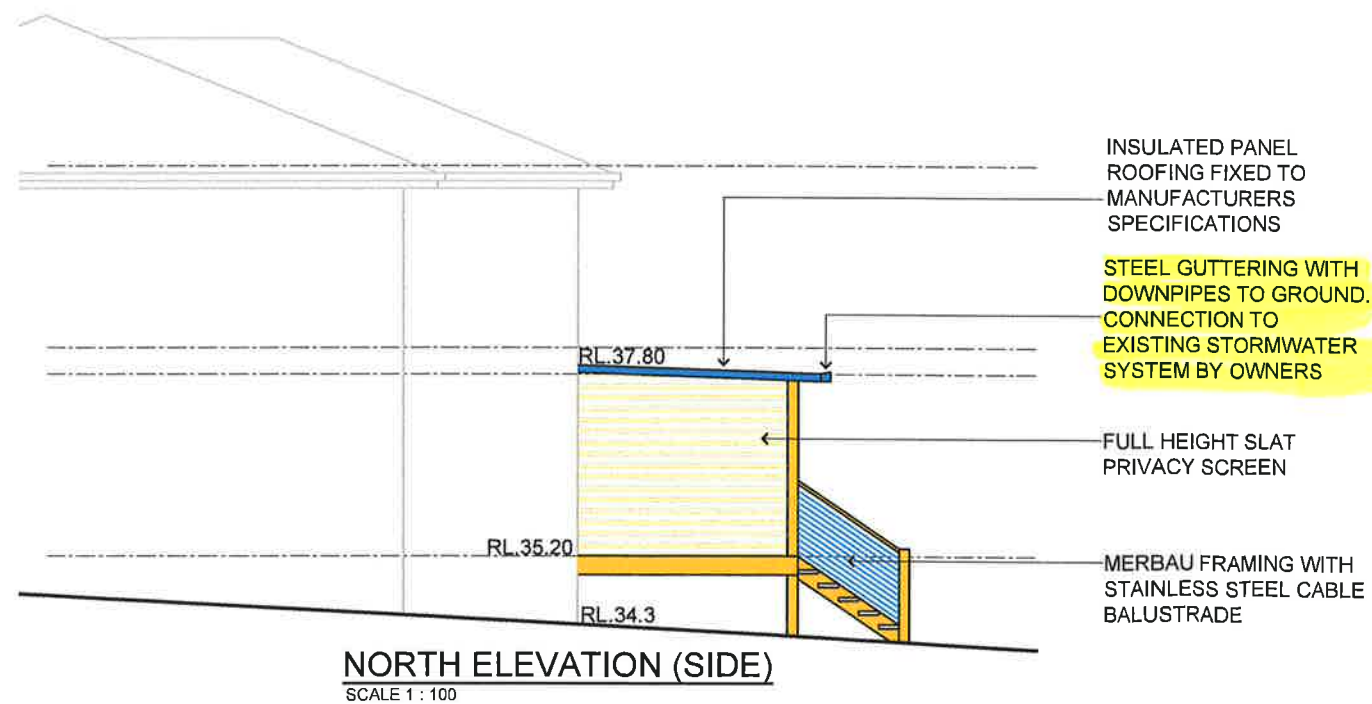
DRAWING

Stormwater Plan
SITE PLAN / SITE ANALYSIS

LOT	SP	SEC
1	69550	
SCALE	DATE	DRAWN
1:200(A3)	16.05.19	WI
JOB NO	DRAWING NO	SHEET
19-1155	191155-01	1 OF 1



Stormwater connecting to the existing by owners and runs to the rear of the property



 83 Blackbutt Crescent Pennant Hills Licence No: 274944c ABN: 22169612202 info@urbanexteriors.com.au P: 02 9446 7308 M: 0415 993 632			 ARCHITECTURAL SERVICES - BUILDING DESIGN A: 18 Parkes Crescent, Faulconbridge NSW 2776 E: info@willco.net.au P: 0433 710 662 W: willco.net.au			PROPOSED DECK AND AWNING FOR CLIENT MR. BRAD CALLAGHAN			AT SITE ADDRESS 136 OLIVER STREET FRESHWATER 2096 DRAWING <i>Stormwater Plan</i> FLOOR PLAN / ELEVATIONS			LOT 1	SP 69550	SEC
16.05.19	Preliminary issue	A	SCALE 1:100(A3)			DATE 16.05.19			DRAWN WM			JOB NO 19-1155	DRAWING NO 191155-02	SHEET NO 2 OF 2