

STUDIO PILATES INTERNATIONAL
246 HAWTHORNE RD
HAWTHORNE, QLD, 4171
nakari@studiopilates.com

- EXISTING INTERNAL PARTITIONS TO REMAIN
- EXISTING EXTERNAL WALLS TO REMAIN
- NEW INTERNAL PARTITIONS TO BE INSTALLED BY TENANT

DRAWING TITLE :
LOCATION PLAN

Drawn: NP Date: 4/2/22

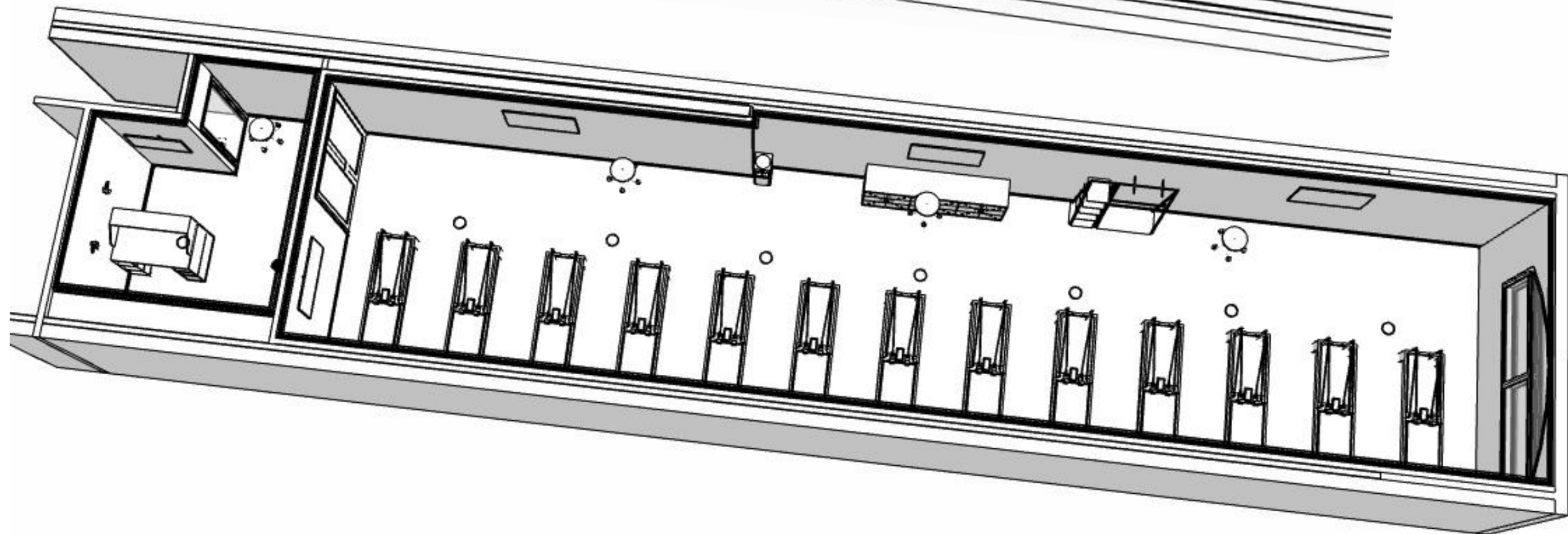
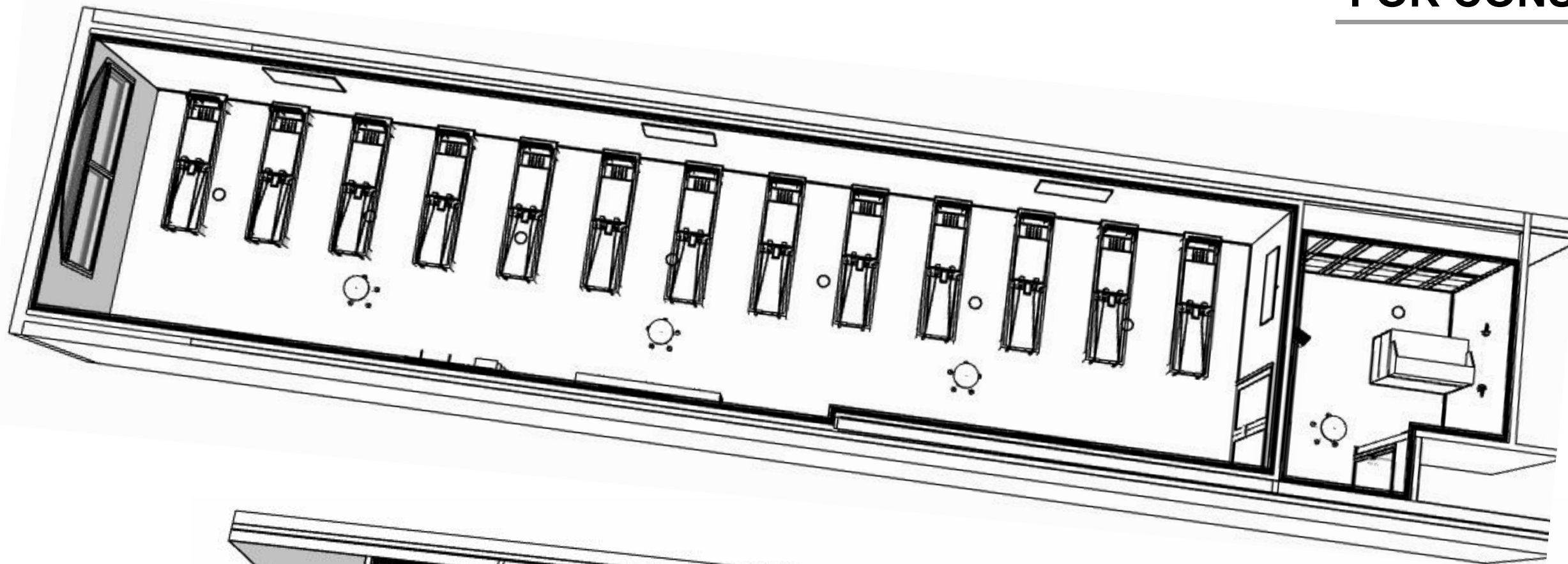
DRAWING NO.
00C

REVISION NO.
B

**STUDIO PILATES
MANLY**

1/5 RIALTO LANE
MANLY, NSW, 2095

FOR CONSTRUCTION



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DRAWING TITLE :
ISOMETRIC VIEWS

Drawn: NP Date: 4/2/22

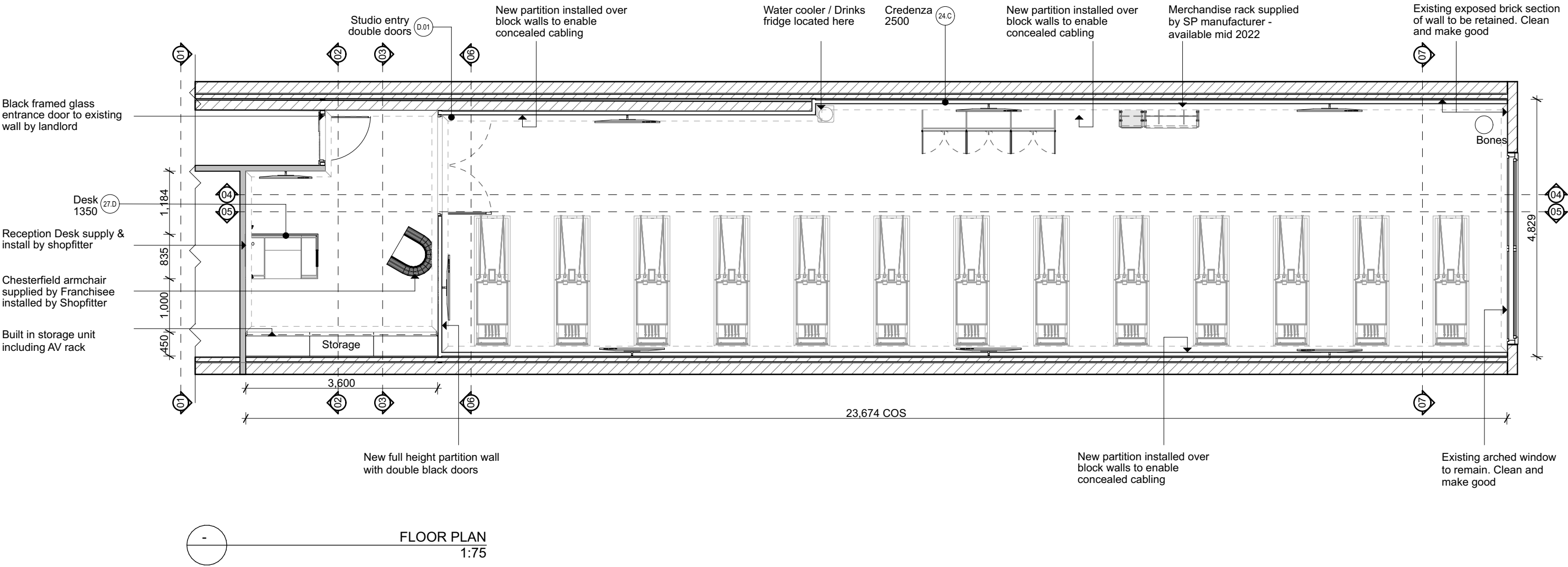
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KEY :

- NEW FULL HEIGHT PLASTER STUD WALL
- EXISTING STUD WALL
- EXISTING MASONRY WALL

NOTES :

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS.
ALL DIMENSIONS TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION.
REPORT ALL DISCREPANCIES TO STUDIO PILATES PROJECT MANAGER.
STRUCTURAL CERTIFICATE OF COMPLIANCE TO BE PROVIDED UPON COMPLETION.

DRAWING TITLE :

FLOOR PLAN

Drawn: NP Date: 4/2/22

Scale: 1:75 @ A3

DRAWING NO.

01

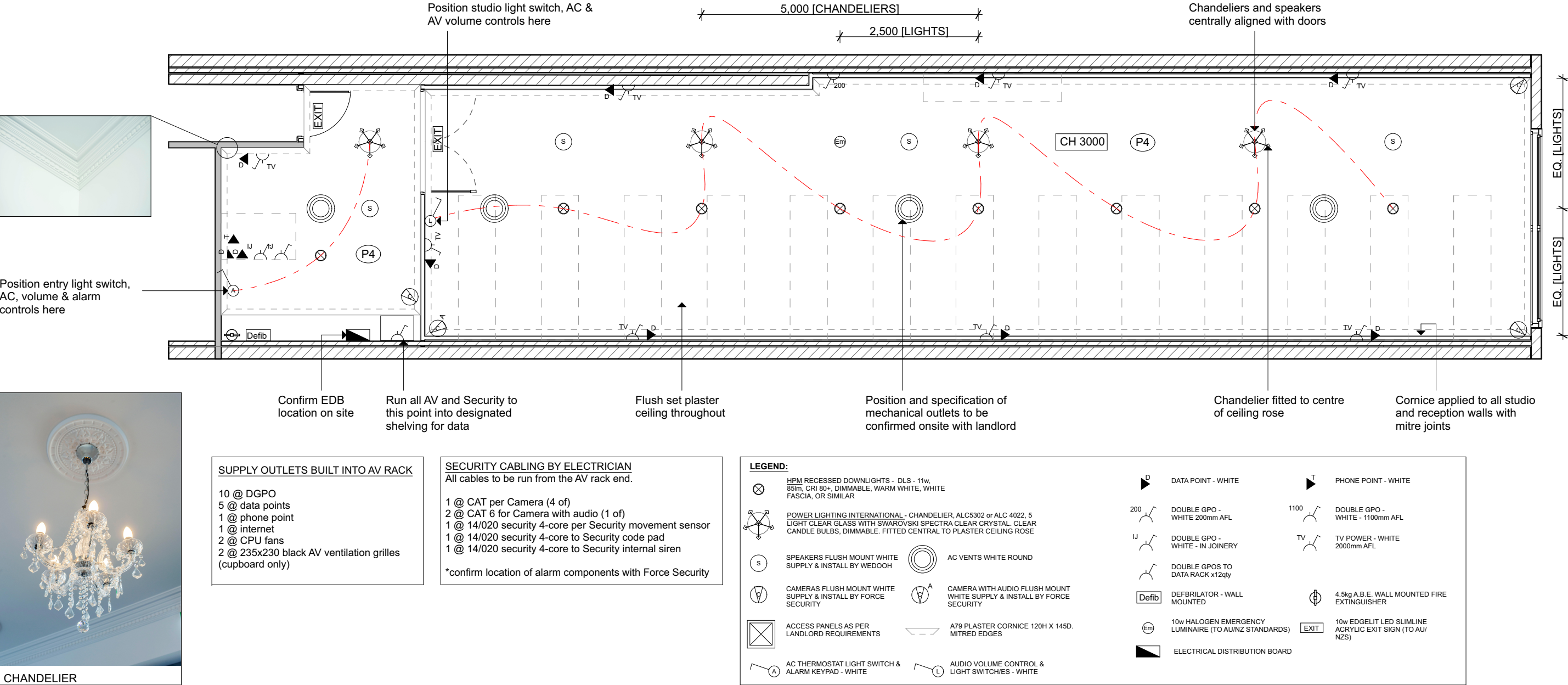
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NOTES :

1. INSTALLATION CERTIFICATES AND/OR ENGINEER'S CERTIFICATE OF STRUCTURAL ADEQUACY TO BE PROVIDED UPON COMPLETION OF FITOUT. REFER LESSOR FITOUT MANUAL AND LOCAL AUTHORITY BUILDING APPROVAL DOCUMENTS TO DETERMINE WHICH CERTIFICATES ARE REQUIRED.
2. SHOPFITTER TO CONFIRM WITH LANDLORD THE REQUIREMENTS FOR FLUSH AND FRAMELESS ACCESS AND/OR SERVICE PANELS.
3. INSTALL EMERGENCY LIGHT TEST UNIT TO AUSTRALIAN STANDARDS.
4. MECHANICAL AND SPRINKLER SYSTEMS DESIGNED AND INSTALLED IN CONJUNCTION WITH LESSOR REQUIREMENTS.
5. ENSURE ALL CABLING IS CONCEALED. NO VISIBLE CABLING TO TVs OR OTHER EQUIPMENT.
6. ALL DATA, PHONE AND POWER POINTS TO BE CLEARLY LABELLED.
7. ALARM SUPPLIED AND INSTALLED BY FRANCHISEE'S CONTRACTOR. COORDINATE SITE ACCESS AND INSTALLATION WITH SHOPFITTER.
8. ALL AUDIO VISUAL TO BE SUPPLIED AND INSTALLED BY FRANCHISOR'S CONTRACTOR. COORDINATE SITE ACCESS AND INSTALLATION WITH SHOPFITTER.
9. SPEAKERS TO BE ZONED SEPARATELY BETWEEN STUDIO & RECEPTION



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Electrical installation in accordance with AS 3000:2018, AS 3012:2019, AS 3017:2007, AS 3760:2010. Exit signs AS 2293. Emergency Lights AS 2293
Fire Protection in accordance with AS 1851
Mechanical services in accordance with AS 1668
Glazing in accordance with AS 2208:1996
Ceilings in accordance with AS 2785:2000 & AS 1170.5:2004
Walls in accordance with AS 1170.2, 4.2.1, AS 1170.0, Table 3.2
Timber Framing in accordance with AS 1684
Disabled Access and Egress in accordance with AS 1428.1

DRAWING TITLE :
REFLECTED CEILING PLAN

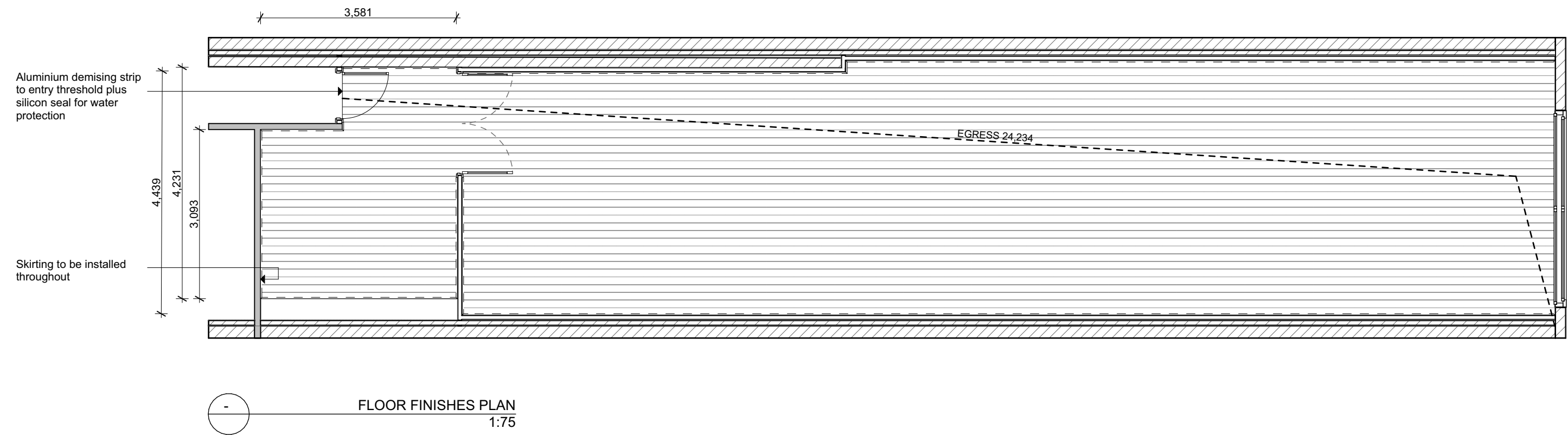
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Scale: 1:75 @ A3

DRAWING NO.
02

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GLA: 115 M2

TIMBER FLOORING: 108.75 M2 COS

TILES: N/A

NOTES :

1. SHOPFITTER TO TREAT ALL EXPANSION JOINTS AS APPROPRIATE. CONSULT WITH SPI PROJECT MANAGER REGARDING SPECIFICATIONS.
2. ALUMINIUM DEMISING STRIP TO BE INSTALLED AT ALL CHANGE OF FLOOR FINISH JUNCTIONS.
3. FLOOR PROTECTION TO BE INSTALLED THROUGHOUT CONSTRUCTION.

DRAWING TITLE :

FLOOR FINISHES PLAN

Drawn: NP

Date: 4/2/22

Scale: 1:50 @ A3

DRAWING NO.

03

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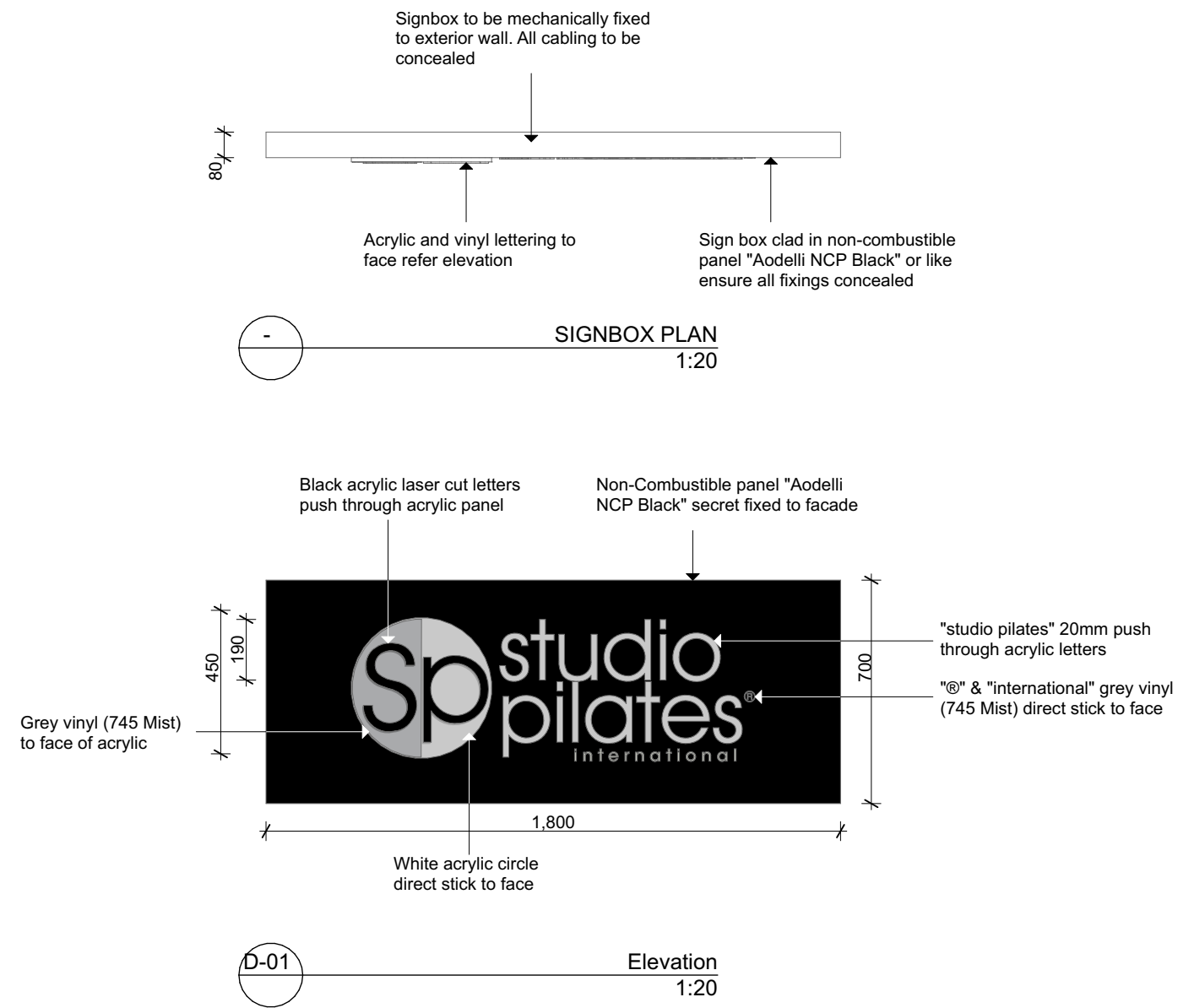
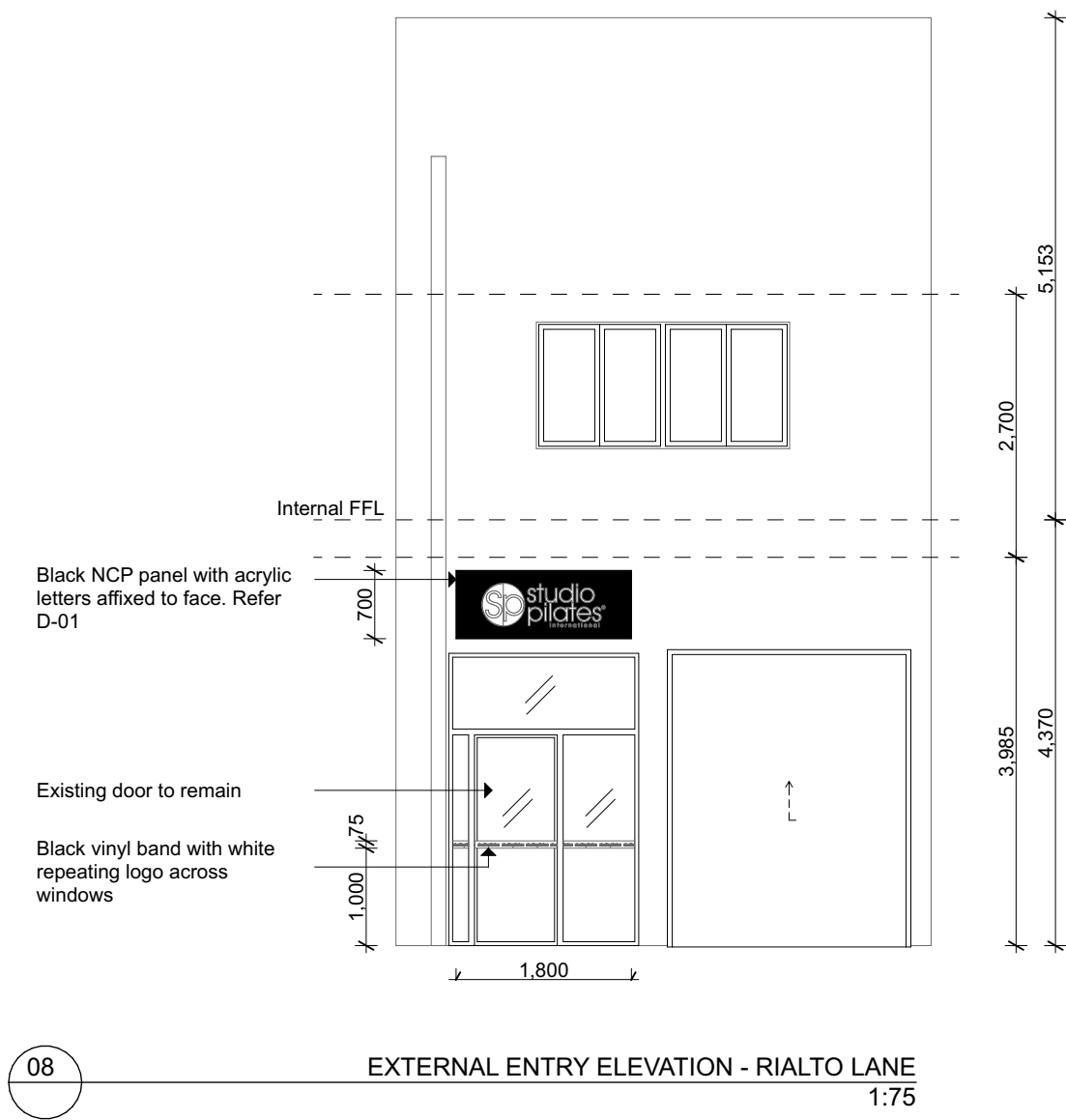
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EXTERNAL ELEVATION

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Scale: 1:50 @ A3

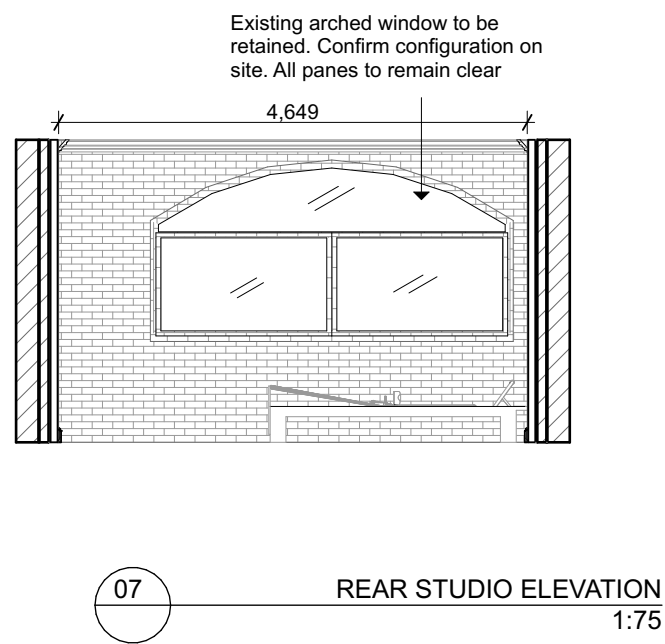
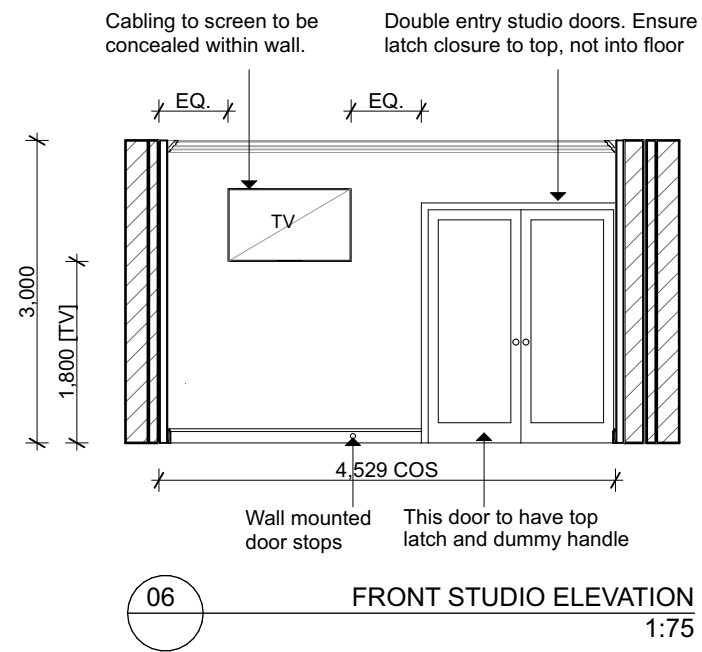
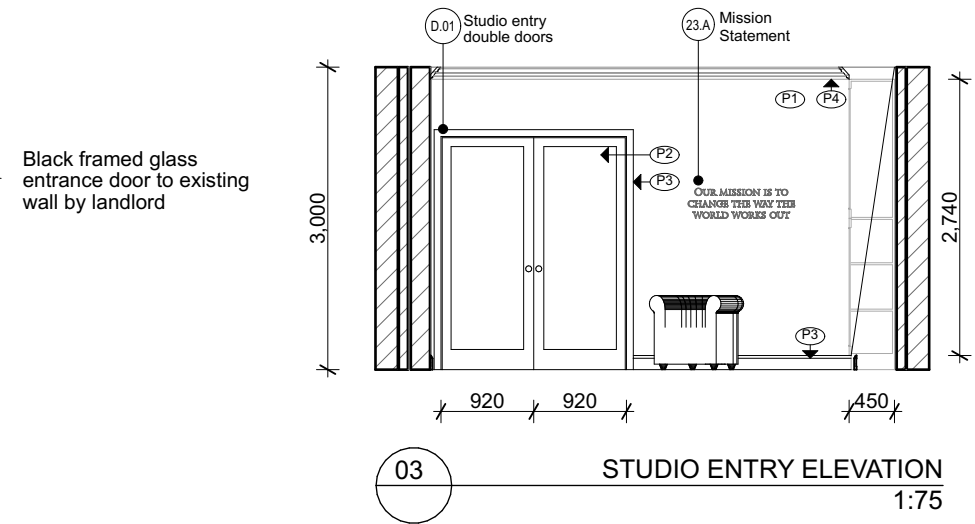
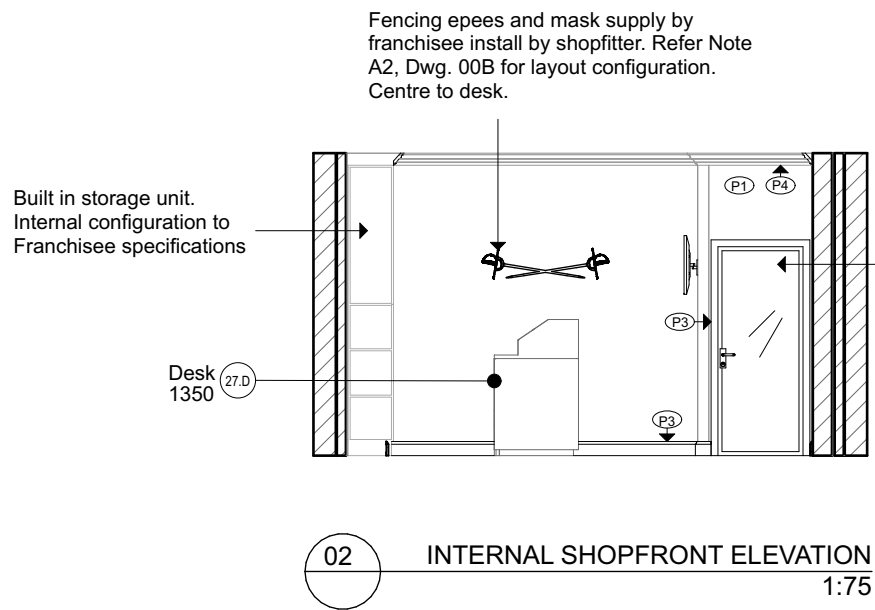
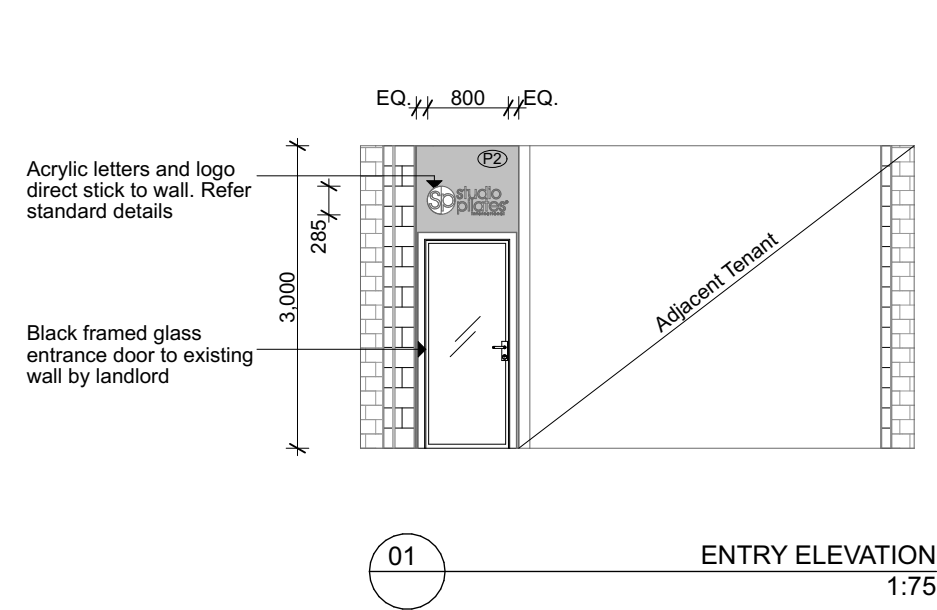
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DRAWING TITLE :

INTERNAL ELEVATIONS

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Scale: 1:50 @ A3

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11

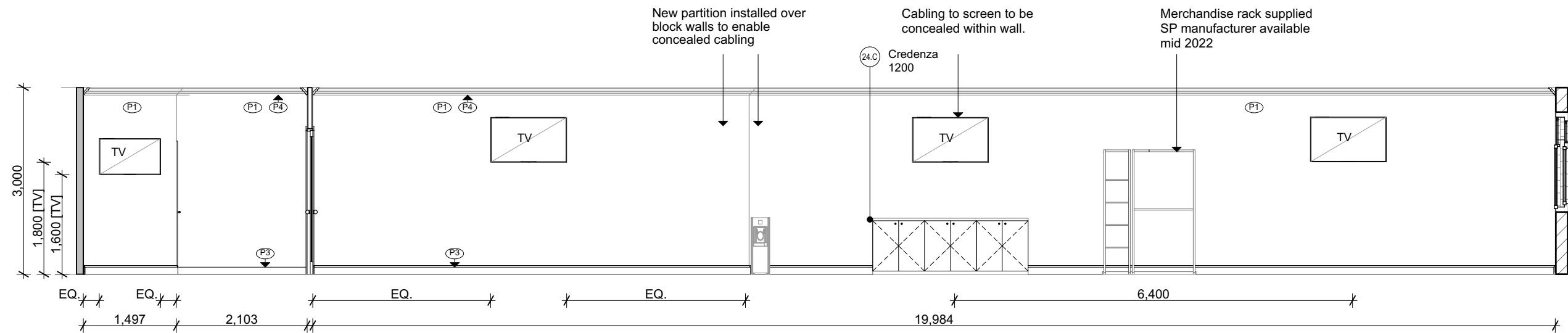
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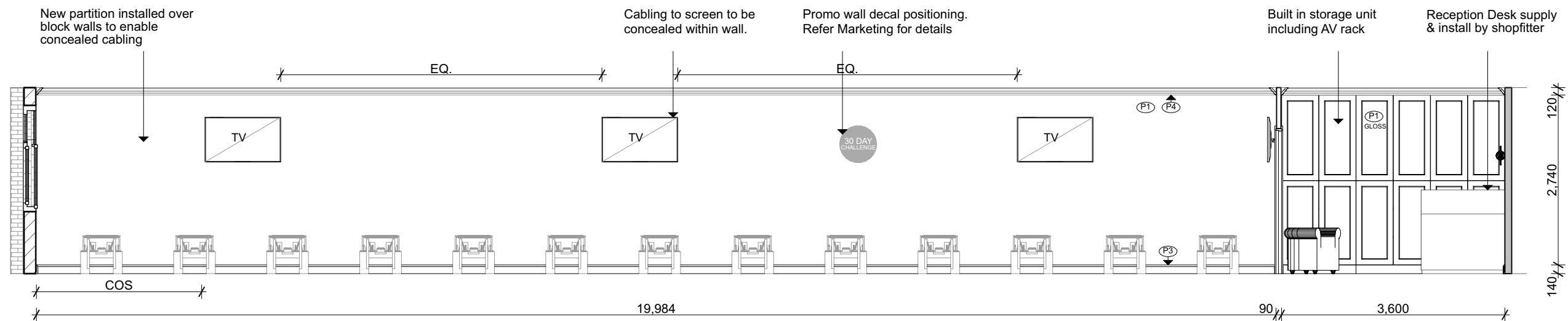
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04 LEFT ELEVATION
1:75



05 RIGHT ELEVATION
1:75



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