Artisan BY ICON HOMES

ISSUE: K

DRAWING: 21173-10

SHEET: 1/18

Proposed Dwelling

#19 Kerry Close, Beacon Hill

Icon Job Number: J0872

ACCURATE design & drafting

info@accuratedesign.com.au 02 4647 2552

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Notes:
1. Levels shown are approx. and should be verified on site
2. Figured dimensions are to be taken in preference to scaling
3. All measurements are in mm unless otherwise stated
4. Window sizes are nominal only. Final window sizes by builder
5. Dimensions are to be verified on site by builder before commencement of work
6. Centre line of downpipes to be 350mm from corner of face brickwork (unless specified on elevation)
7. Refer to the builders project specification for inclusions
8. Construction to be in accordance with the Relevant BCA/NCC and other relevant Australian standards
9. All service positions, air conditioning droppers, outlets, return air grills, manholes and bulkheads to be determined on site by supervisor
10. Termite protection to Australian standards
11. Brick sill to be greater than 18'
12. Refer to Basix page for energy requirements
13. 20mm tolerance to be allowed for frames that are built to the low side of the slab
14. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
15. Final AJ's to engineers specifications
16. Plus or minus 200mm to floor level

Amendments

Issue	Changes	Date	Signed/Requested Date Requested	Drawing Number
A	Preliminary sketch	23-6-21	BS SG	21173
B	Sketch Amendments	30-6-21	AL	21173-1
C	Preliminary Plans	18-08-21	SG	21173-2
D	Estimating Mark ups	19-08-21	SG	21173-3
E	Variation 1 & 2	18-11-21	BS	21173-4
F	Variation 3 + Markups	09-12-21	AL	21173-5
G	Ensuite Layout	13-12-21	AL	21173-6
H	Variation 5 - REV B + BASIX	18-01-22	AL	21173-7
I	BASIX	25-01-22	AL	21173-8
J	Prelim SOEE Requirements	10-02-22	AL	21173-9
K	ACU	07-04-22	SG	21173-10

Sheet Number	Sheet Name
01	Perspective View
02	Cover Page
03	Existing Site Plan
04	Demolition Site Plan
05	Proposed Site Plan
06	Landscape Plan
07	Ground Floor Plan
08	Upper Floor Plan
09	Front & Rear Elevations
10	Side Elevations
11	Section & Details
12	Slab Detail
13	Electrical Plan
14	Upper Floor Electrical Plan
15	Shadow Diagrams 21st June
16	Wet Area Details
17	Wet Area Details

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not limited): OWNER, BUILDER, SUBCONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

1 FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS
DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimize the risk of workers falling more than two meters. However, construction of this building will require workers to be working at heights where a fall in excess of two meters is possible and injury is likely to result from such a fall. The builder should provide such a barrier wherever a person is required to work in a situation where falling more than two meters is a possibility.

DURING OPERATION OR MAINTENANCE
For houses or other low-rise buildings when scaffolding is appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be in situations where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislations.

b) SLIPPERY OR UNEVEN SURFACES
FLOOR FINISHES Specified
If finishes have been specified by the designer these have been selected to minimize the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to
The specified finished should be made in consultation with the designer, or if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.
FLOOR FINISHES By Owner
If a designer has not been involved in the selection of surface finishes in the pedestrian trafficable areas of this building then surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.
STEPS, LOOSE OBJECTS AND UNEVEN SURFACES
Due to design restrictions for building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.
Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from assess ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be sorted in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS
Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the works is being carried out onto persons below.

1. Prevent or restrict access to areas below where the works is being carried out.
2. Provide tie boards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE)

BUILDING COMPONENTS
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after the support parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times to avoid a collapse, which may injure persons in the area.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major, narrow or steeply sloping road:
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.
For building where on-site loading/unloading is restricted:
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.
For all building:
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL
Rapture of services during excavation or other activity creates a variety of risks including release of hazardous materials. Existing services are located on or around the site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.
Locations with underground power lines:
Underground power lines MAY be located near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by a mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be sorted on site in a way which minimizes bending before lifting. Advice should be provided about unsafe lifting methods in areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturers specifications and not used when faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in an accordance with the manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS
For alterations to a building constructed prior to:
1990 - It therefore may contain asbestos
1986 - It therefore is likely to contain asbestos
Either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS
Many materials used in the construction of this building can cause harm if inhaled in a powder form. Persons working on or in the building during construction, operational maintenance or demolition should ensure food ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER
The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful materials when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS
Man typed of glue, solvents, spray back, paints, vanishes, and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE
Fiberglass, Rockwell, ceramics and other material used for thermal or sound insulation may contain synthetic mineral fiber which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful materials should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS
This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendation for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATIONS
Construction of this building and some maintenance of the building will require excavation and installation of items within excavation. Where practical, installation should be carried out using methods which do not require workers to enter the excavations. Where this is not practical, adequate support for the excavated area should be provided to prevent a collapse. Warning signs and barriers to prevent accidental or unauthorized access to all excavations should be provided.

ENCLOSED SPACES
For buildings with enclosed spaces where maintenance or other access may be required:
Enclosed spaces within this building may be present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorized access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES
For buildings with small spaces where maintenance or other access may be required:
some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorized access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorized access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secure when not gully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUIDLINGS

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with the Code of Practice:
Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.
All work using Plant should be carried out in accordance with the Code of Practice:
Managing Risks of Plant at the Workplace.
All work should be carried out in accordance with the Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement

ISSUE: K
DRAWING: 21173-10
SHEET: 2/18

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

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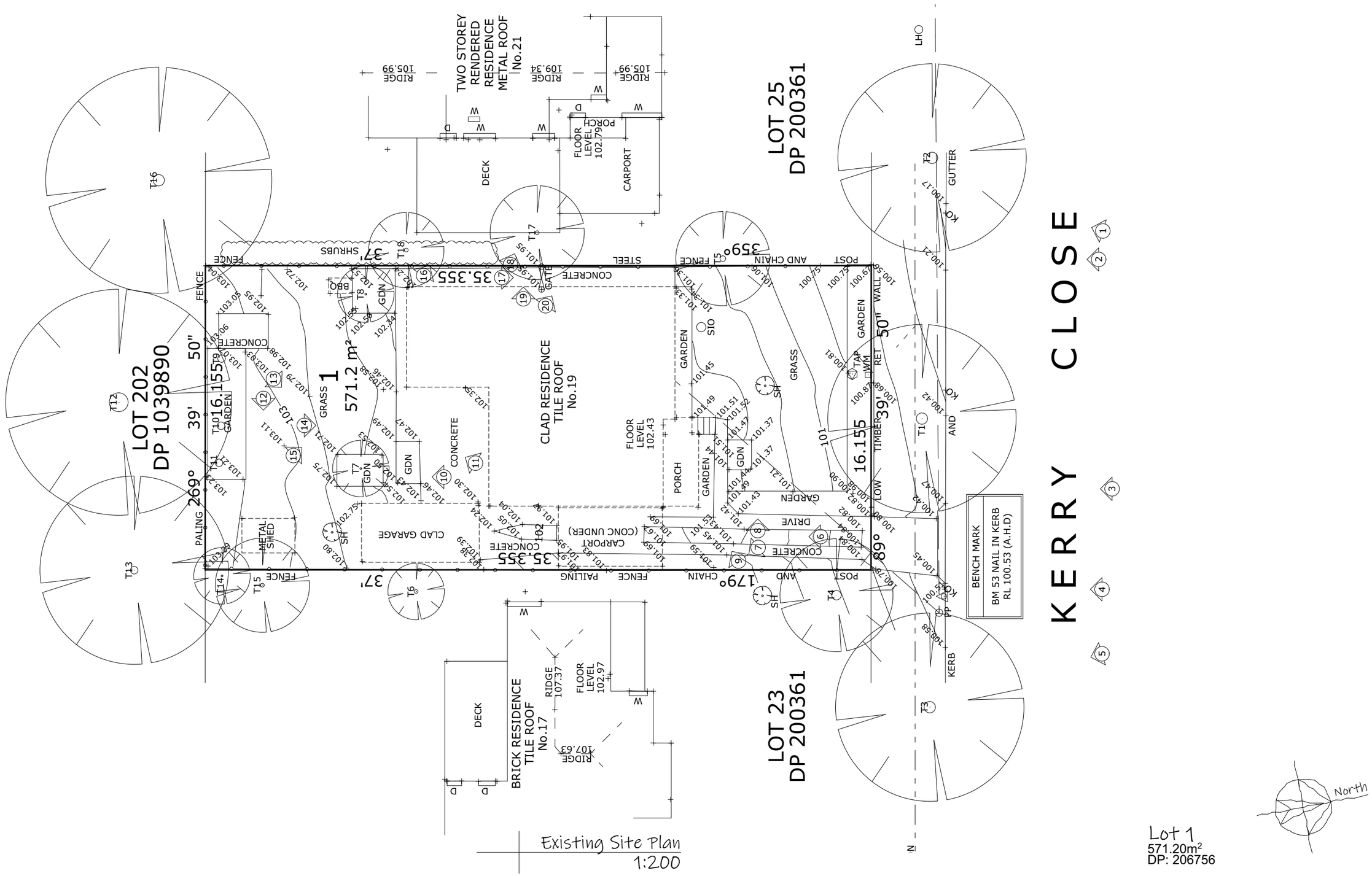

ISSUE:	DRAWING:	DATE:	LOT:
K	21173-10	07-04-22	1
	SHEET:	PAPER:	DP:
	3/18	A3	206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling

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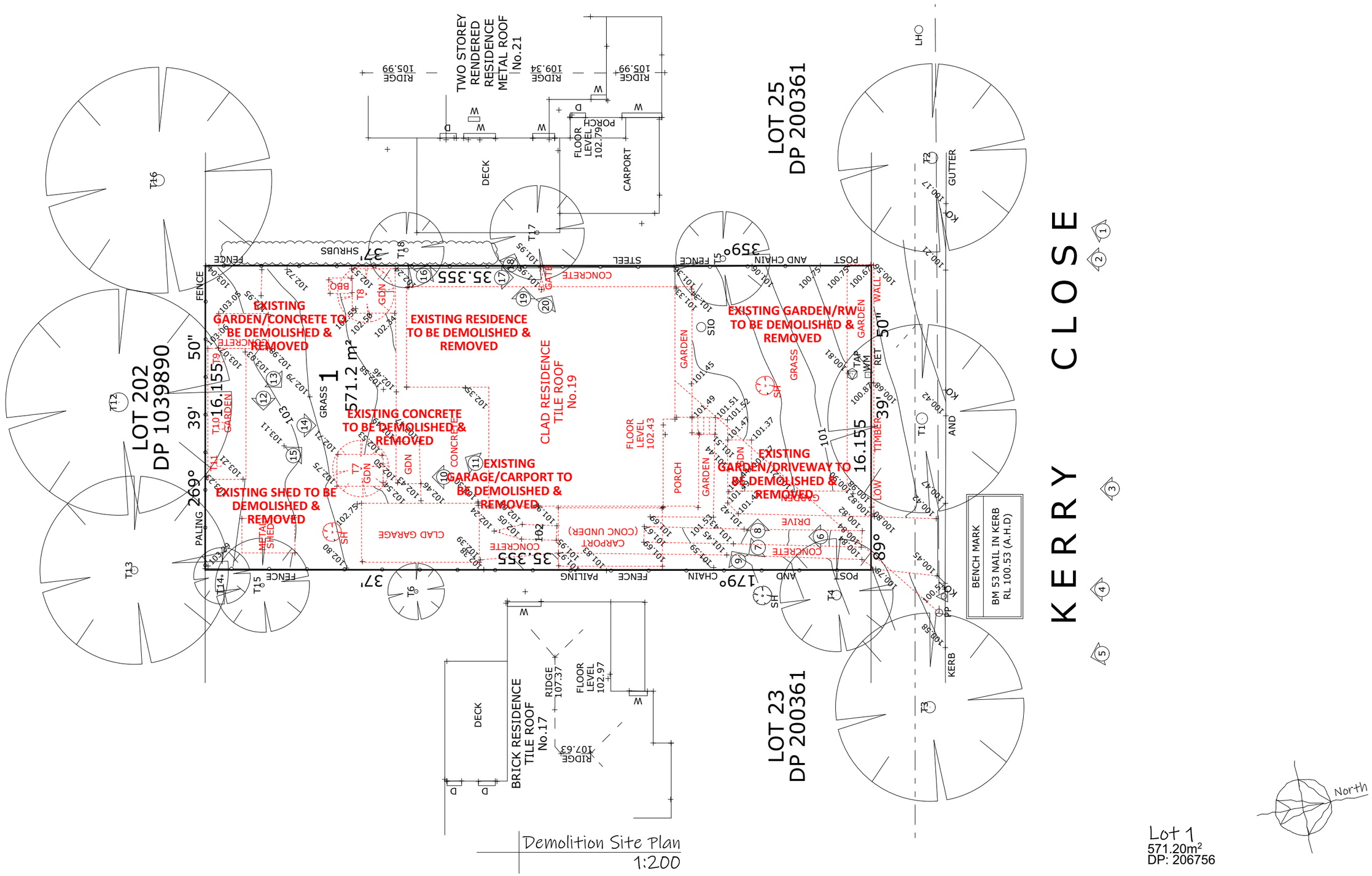

Lot 1
571.20m²
DP: 206756

ISSUE: K
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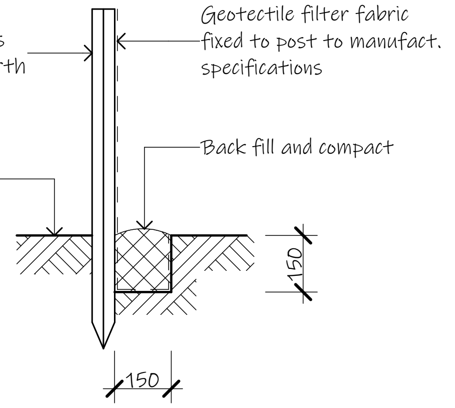
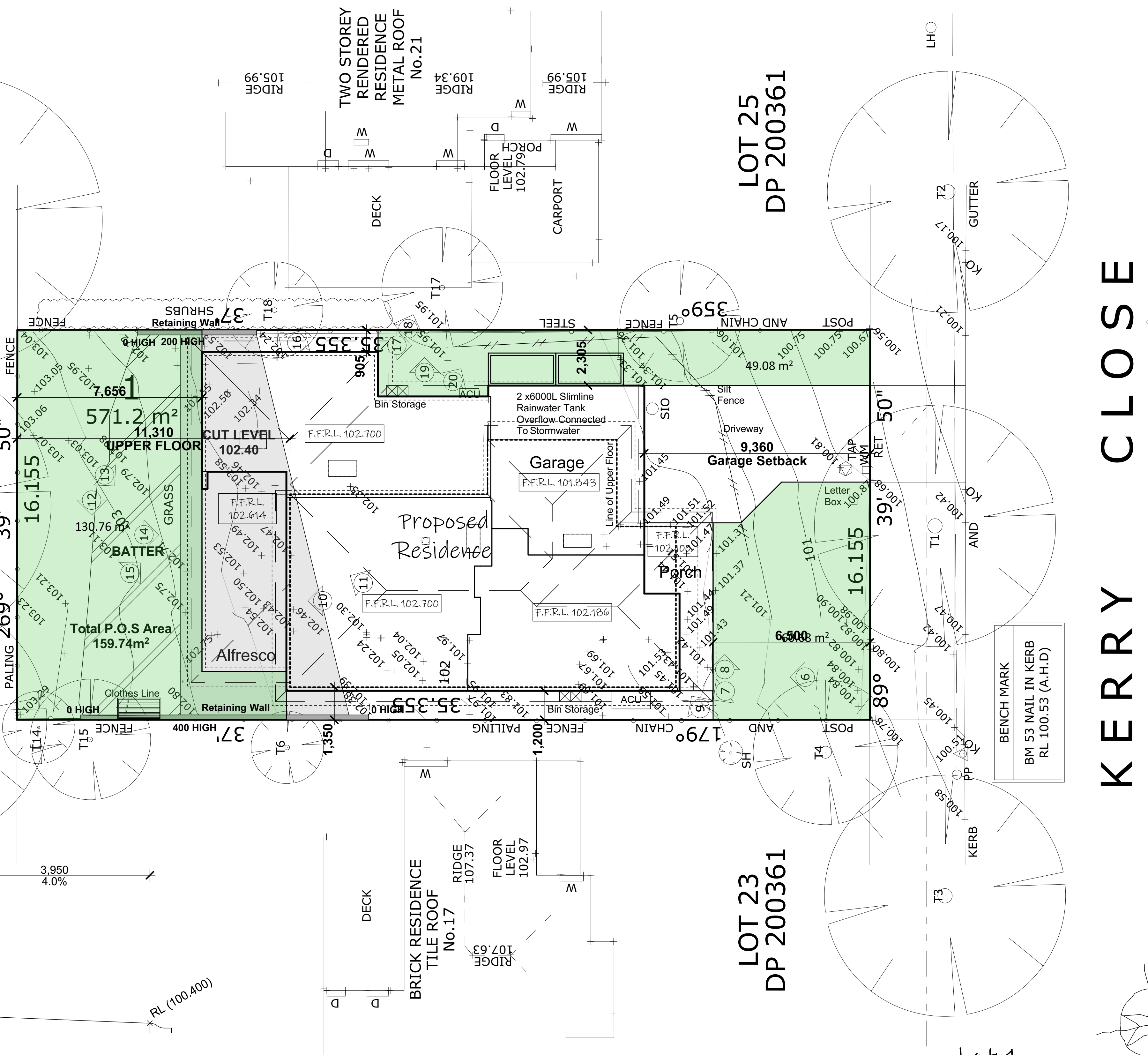


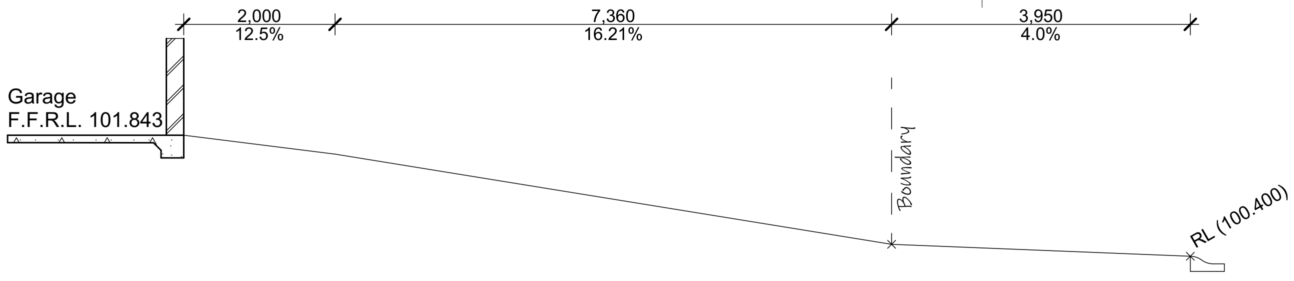
Soil Erosion and Sediment Control Fence
1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any ajoining property or to the street. This measure is to be placed prior to any excavation work beggining and is to be removed only when the sites surface as been stabalized, i.e. paved, landscaped or turfed
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Typical Silt Fence
1:20



Proposed Site Plan
1:200

Lot 1
571.20m²
DP: 206756



Driveway Profile
1:100

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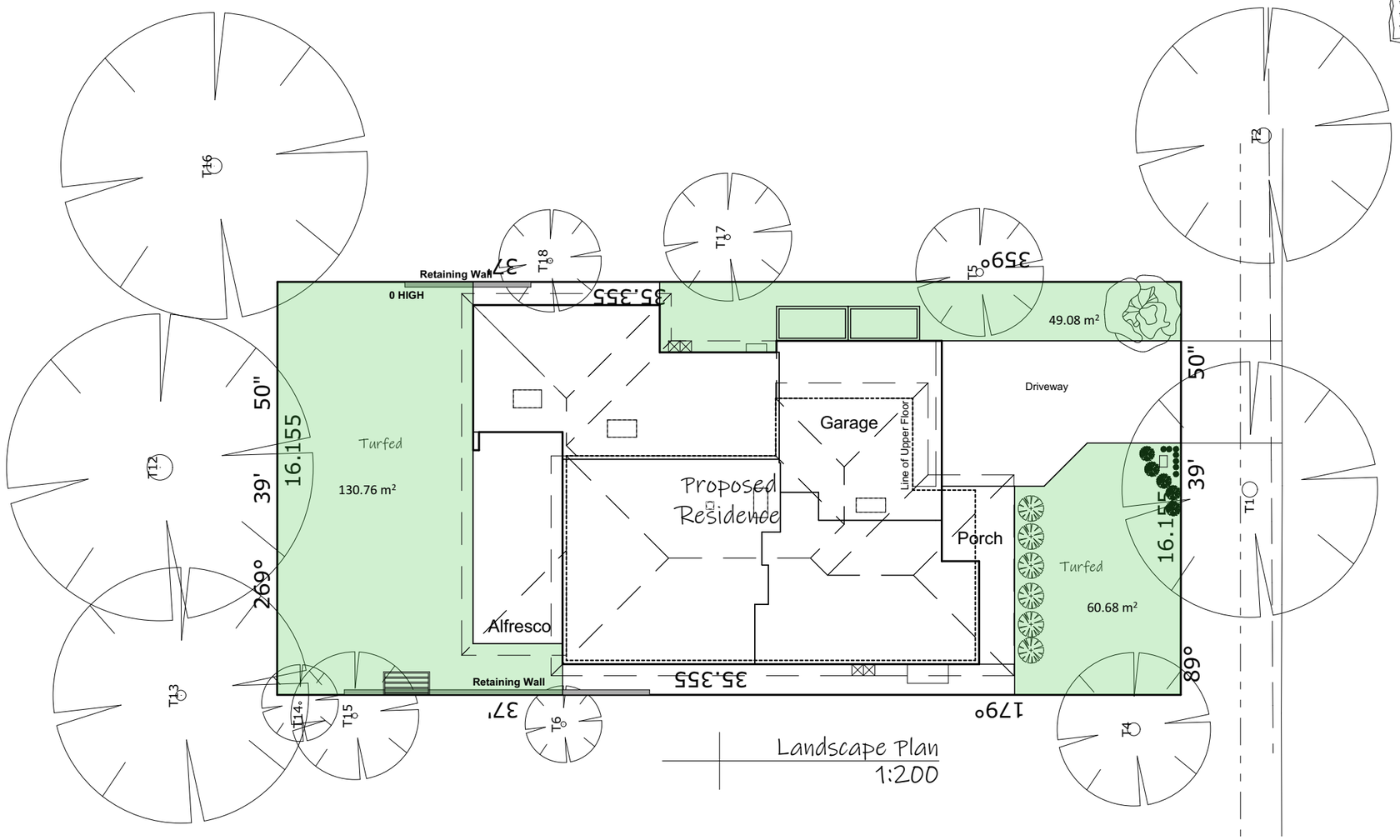
Key	Species	Dimensions	Container	Quantity
	Corodyline	1.2m x 1.2m	200mm	6
	Fraxinus Oxycarpa	12m x 6m	100ltr	1
	Buxus Microphylla	0.3m x 0.4m	200mm	7
	Conovolvulus	0.5m x 1m	200mm	5

NOTES:
* All plants to be planted in premium garden mix and slow release fertilizer
* Gardens to be mulched with Eucalyptus Mulch
* Plants are to be maintained for 6 months or until established
* Any losses are to be replaced



KERRY CLOSE

Landscaped Area:
240.52sqm - 42.11%

North

Lot 1
571.20m²
DP: 206756

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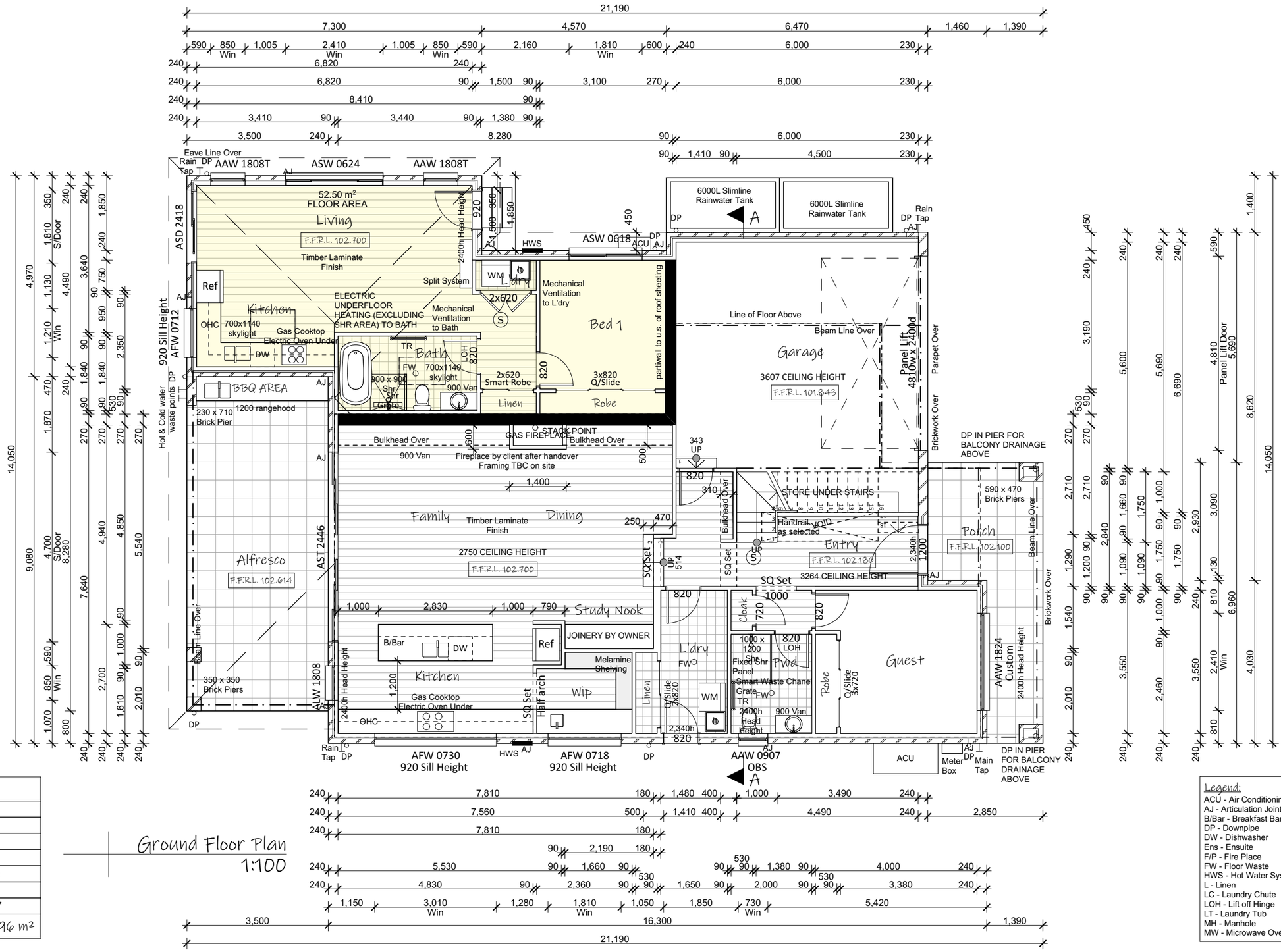

Floor Area (m2)	
Balcony	10.50
Porch	13.95
Alfresco	28.98
Garage	42.99
Lower Living	111.38
Secondary Dwelling	59.89
Upper Living	130.27
	397.96 m²

Ground Floor Plan
1:100

Legend:

ACU - Air Conditioning Unit	OBS - Obscure
AJ - Articulation Joint	OHC - Over Head Cupboard
B/Bar - Breakfast Bar	P - Pantry
DP - Downpipe	R - Robe
DW - Dishwasher	RHS - Rolled Hollow Steel
Ens - Ensuite	S - Smoke Alarm
F/P - Fire Place	Shr - Shower
FW - Floor Waste	TR - Towel Rail
HWS - Hot Water System	Van - Vanity
L - Linen	w.i.l. - Walk in Linen
LC - Laundry Chute	w.i.r. - Walk in Robe
LOH - Lift off Hinge	w.i.p. - Walk in Pantry
LT - Laundry Tub	w.c. - Wash Closet
MH - Manhole	WM - Washing Machine
MW - Microwave Oven	

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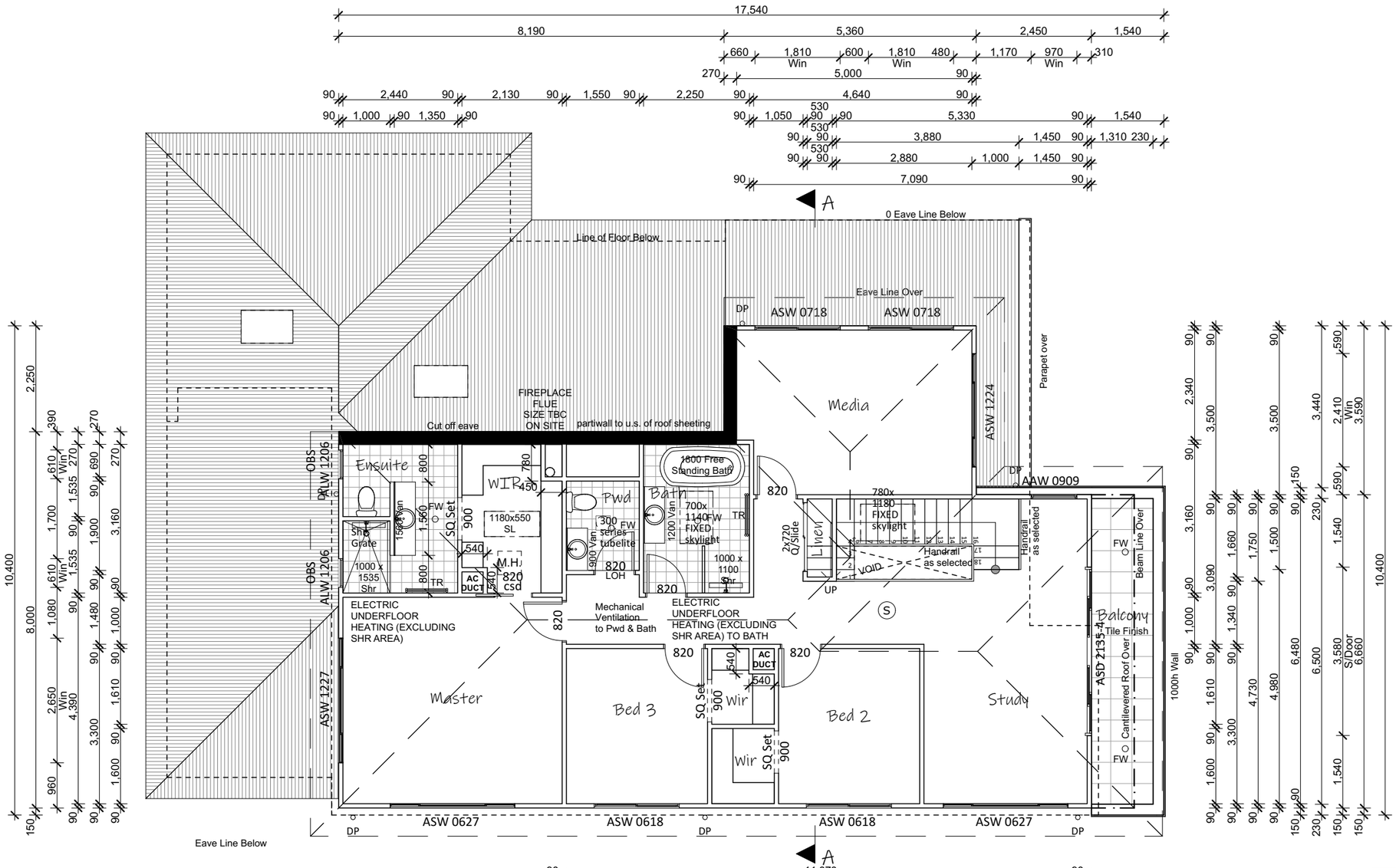

Upper Floor Plan
1:100

Floor Area (m2)	
Balcony	10.50
Porch	13.95
Alfresco	28.98
Garage	42.99
Lower Living	111.38
Secondary Dwelling	59.89
Upper Living	130.27
	397.96 m²

Legend:

ACU - Air Conditioning Unit	OBS - Obscure
AJ - Articulation Joint	OHC - Over Head Cupboard
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MW - Microwave Oven	

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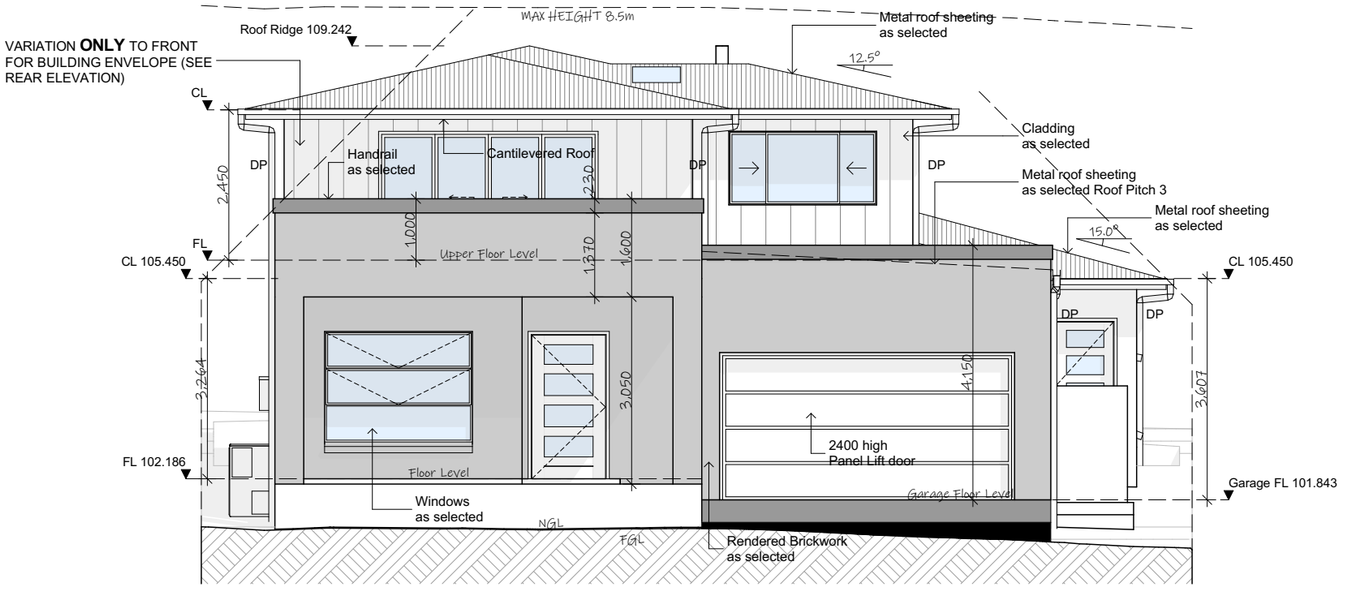
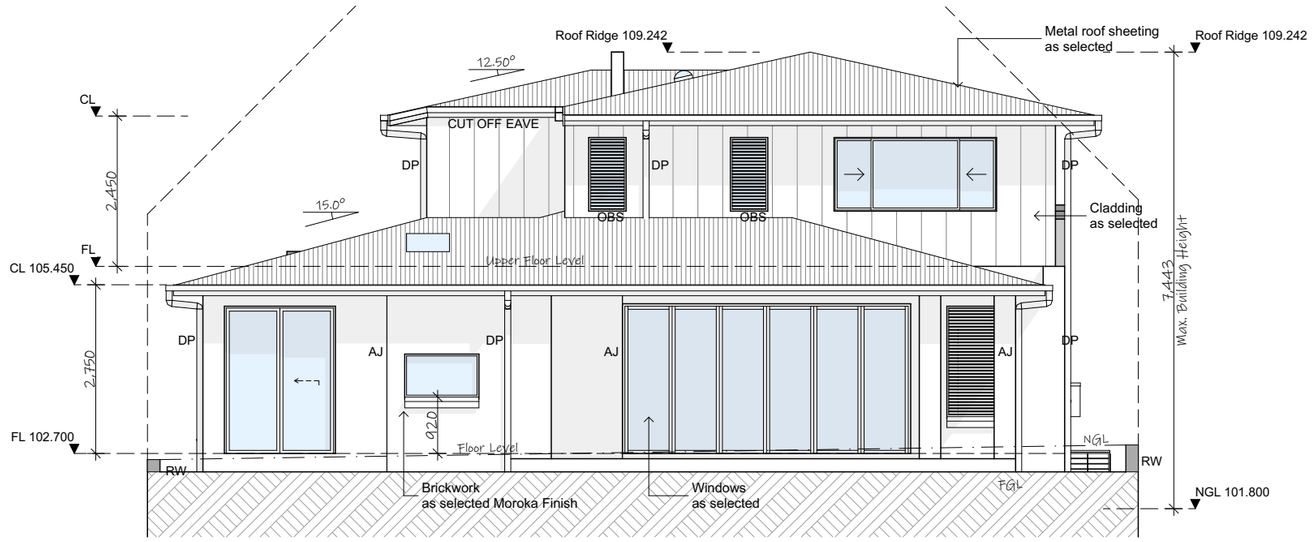
Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
OBS - Obscure
DP - Downpipe
RW - Retaining Wall



Front/North Elevation
1:100



South/Rear Elevation
1:100

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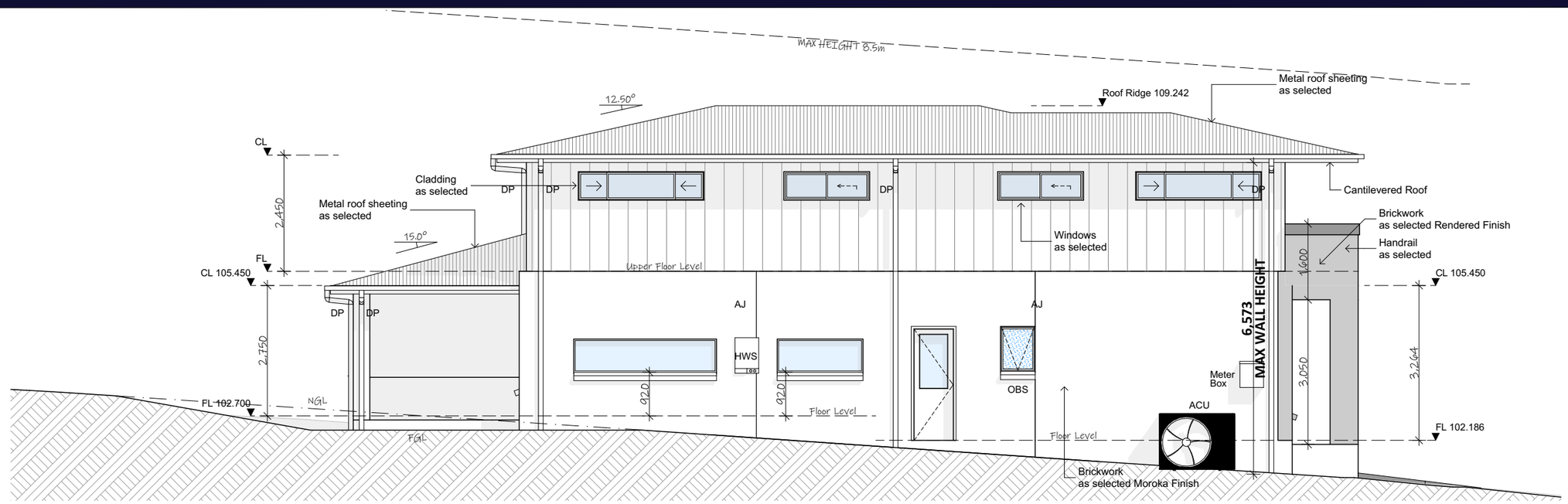
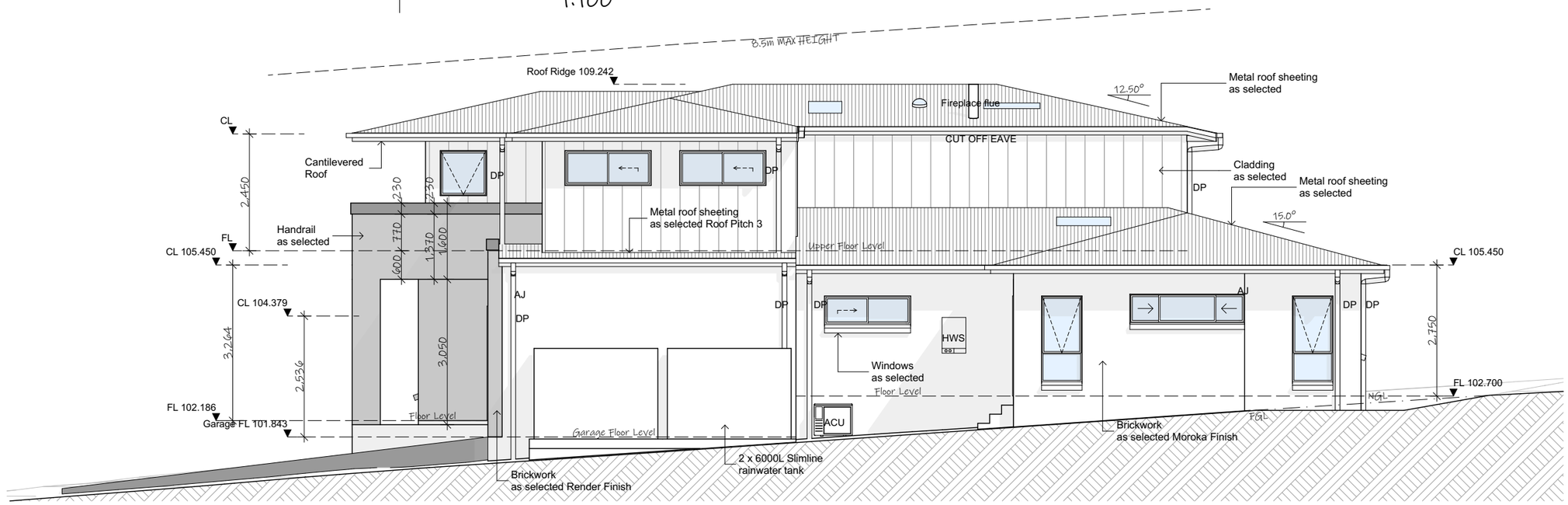


East/Side Elevation
1:100



West/Side Elevation
1:100

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Legend:
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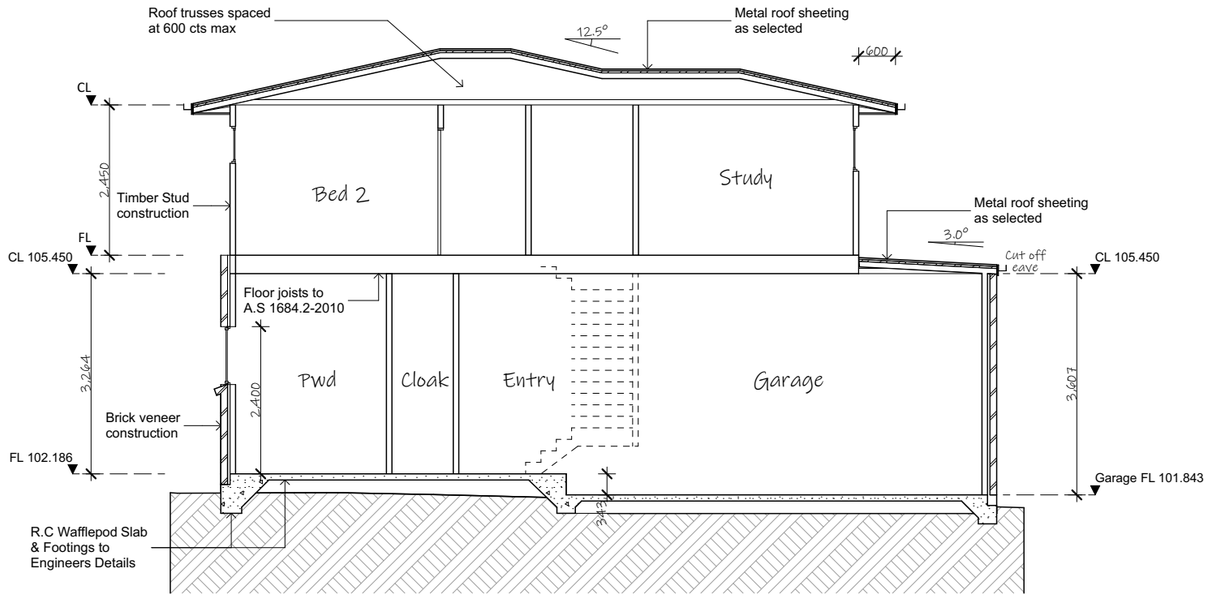
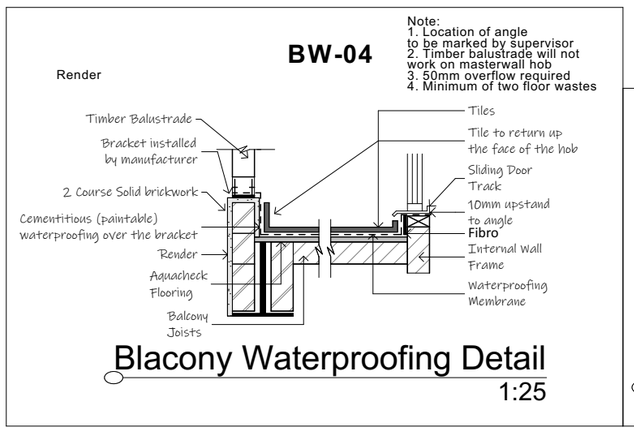
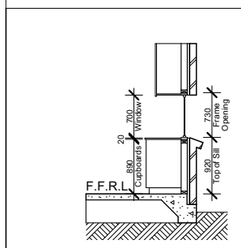


Section A-A
1:100



Blacony Waterproofing Detail
1:25



Kitchen Sill Detail
1:100

Energy Requirements Summary:

Ceiling/Roof
- R5.0 insulation to ceilings
- R1.3 sisalation blanket to underside of roof (Primary Res. Only)
- Roof colour solar absorbance no less than 0.5

External walls
- R2.5 insulation to all external walls exc. Garage

Internal walls
- R2.5 insulation to Garage
- R2.5 insulation to Garage, L'dry & Pwd (Primary Res. Only)
- R2.5 insulation to walls connecting to roof space

Floor -
- Waffle pod slab with min. 175mm void and 85mm concrete cover
- R2.5 between garage & floor above (Primary Res. Only)
- R2.5 to upper floor areas that over hang floor below (Primary Res. Only)

Windows / Glazed Doors
Glazing - Single
Frames - Aluminium

Refer to Certificate for U & SHGC requirements

Window manufacturer
- Trend & Breezeway (Louvre windows only)

Please note: if recessed down lights will be installed IC rated led down lights are required & fitted with approved covers that allow bulk insulation to fully cover

General notes:
All exhaust fans to be self closing. max 250mm dia.
All window frames to be weather stripped.
All gaps and cracks sealed.
All glazing to refer to Nathers certificate for minimum U & SHGC values.
Please note R values noted represent added insulation and not total r value.
R2.5 insulation allowed to ceiling perimeter due to height restrictions where applicable
R2.5 insulation to all skylight shafts (if applicable)
All insulation to be installed in accordance with as.3999

ISSUE: K
DRAWING: 21173-10
DATE: 07-04-22
LOT: 1
SHEET: 11/18
PAPER: A3
DP: 206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

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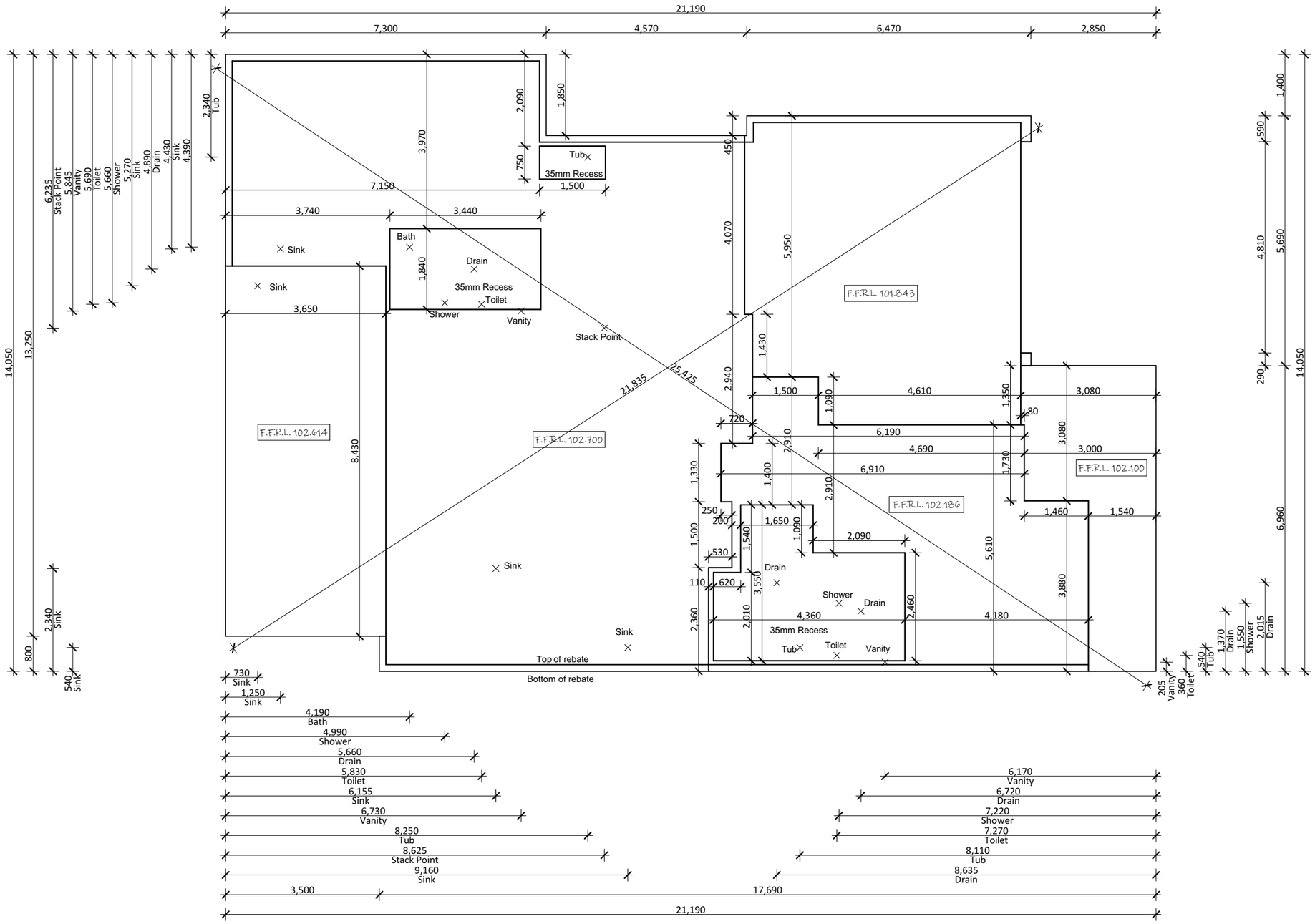
info@accuratedesign.com.au 02 4647 2552

Note:
Frames built to the low side
of the slab, allow 20mm tolerance



Slab Detail
1:100

ISSUE: K
DRAWING: 21173-10
DATE: 07-04-22
LOT: 1
SHEET: 12/18
PAPER: A3
DP: 206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
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Icon Job Number: J0872

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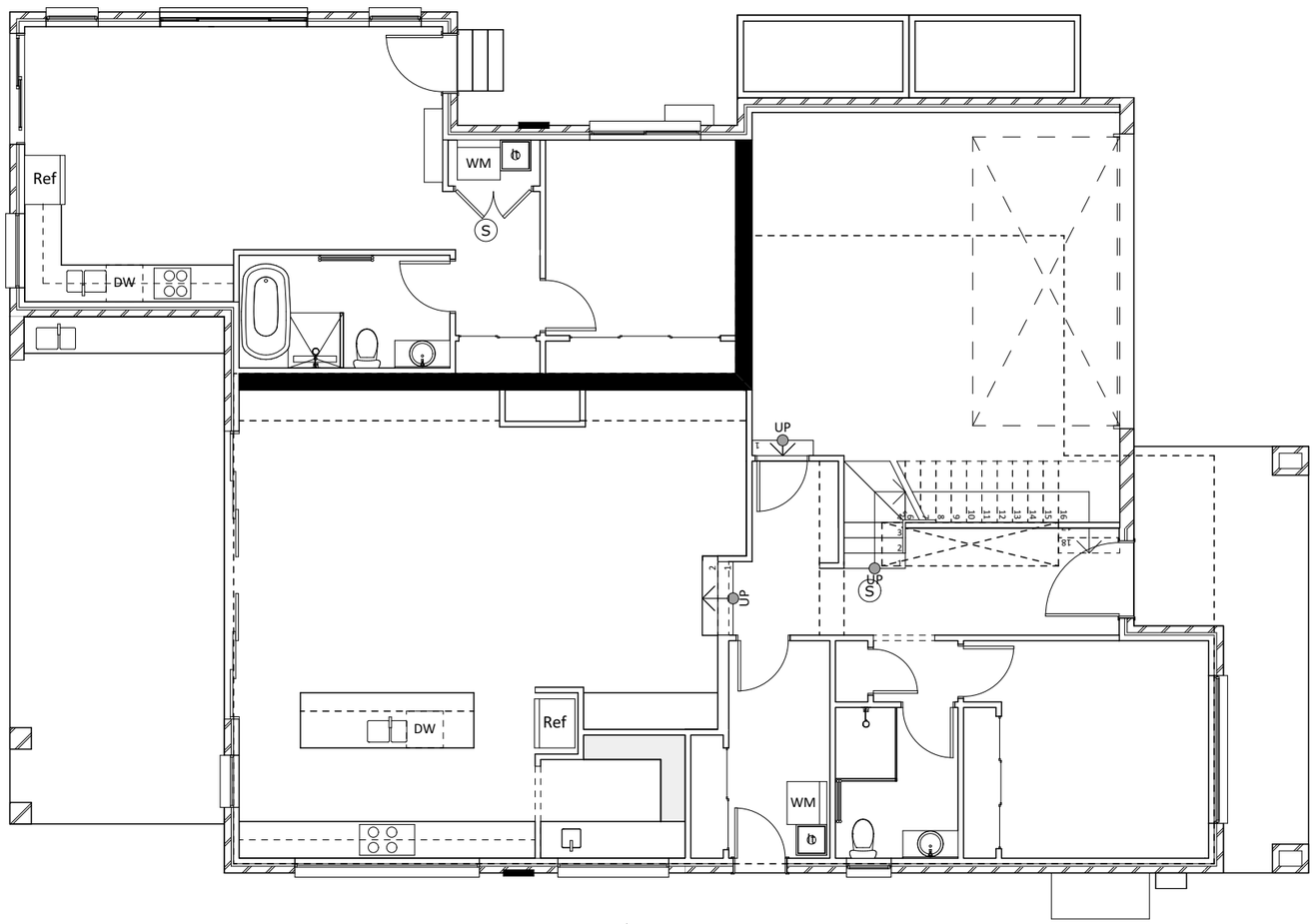
Description	Symbol	Qty	Notes	Description	Symbol	Qty	Notes	Description	Symbol	Qty	Notes
Light Point		-		T.V Point	TV	-				-	
Pendant Light		-		Exhaust Fan		-				-	
Wall Light Point		-		2 in 1		-				-	
Downlight		-		3 in 1		-				-	
Spotlight		-		Door Chime		-				-	
Small Up/Down Light		-		Smoke Alarm	S	-				-	
20W Flouro		-		Ceiling Fan		-				-	
Dimmer Switch	D	-		Ceiling Fan/Light		-				-	
Light Switch		-		Sensor Light		-				-	
Single G.P.O		-		Phone Point	PH	-				-	
Double G.P.O		-		Gas Point	GAS	-				-	
Ext. Single G.P.O		-		Data Point	DATA	-				-	
Ext. Double G.P.O		-		Alarm Pad	AP	-				-	



Electrical Plan
1:100

ISSUE: K
DRAWING: 21173-10
DATE: 07-04-22
LOT: 1
SHEET: 13/18
PAPER: A3
DP: 206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

ACCURATE design & drafting
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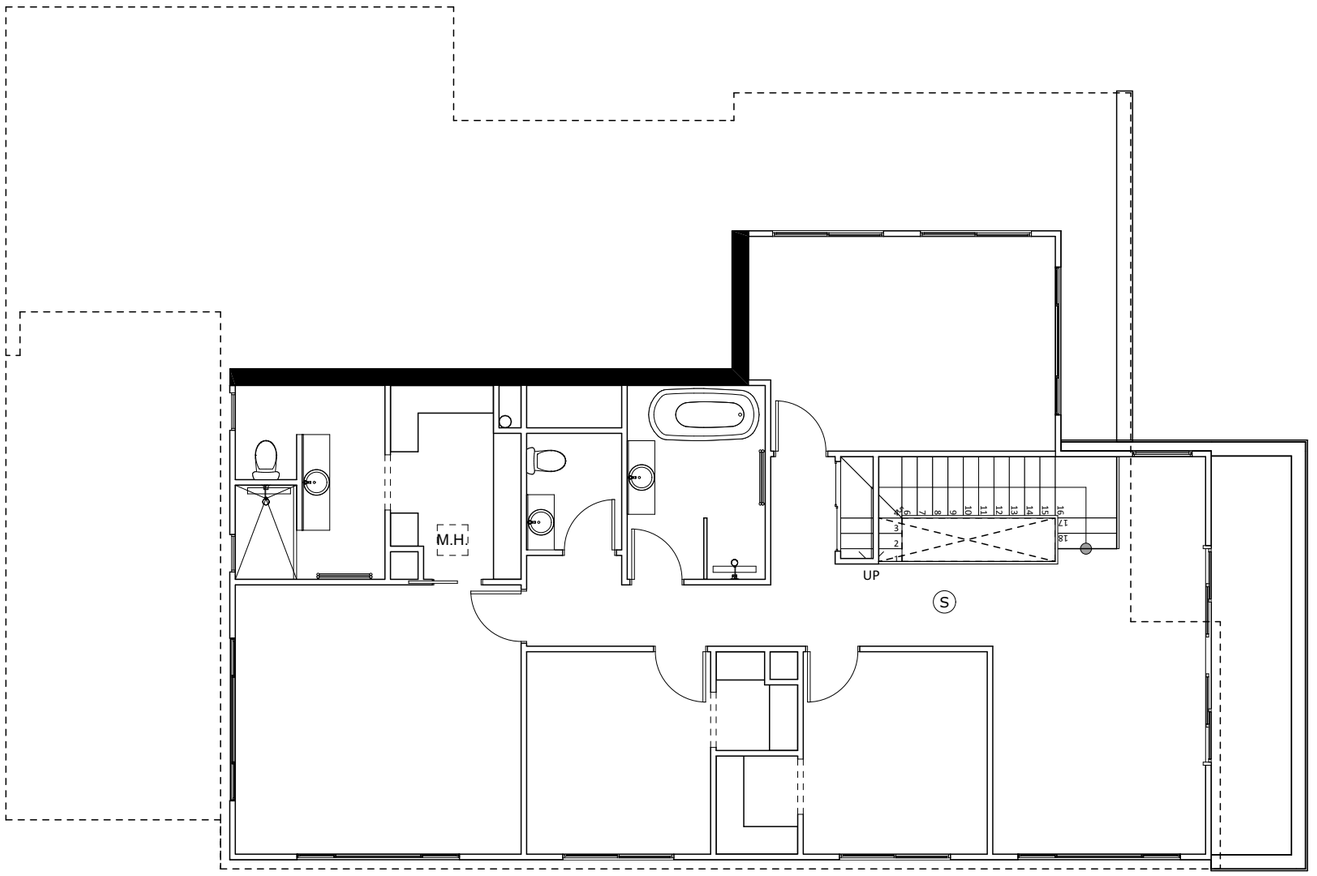
Description	Symbol	Qty	Notes	Description	Symbol	Qty	Notes	Description	Symbol	Qty	Notes
Light Point		-		T.V Point	TV	-				-	
Pendant Light		-		Exhaust Fan		-				-	
Wall Light Point		-		2 in 1		-				-	
Downlight		-		3 in 1		-				-	
Spotlight		-		Door Chime		-				-	
Small Up/Down Light		-		Smoke Alarm	S	-				-	
20W Flouro		-		Ceiling Fan		-				-	
Dimmer Switch	D	-		Ceiling Fan/Light		-				-	
Light Switch		-		Sensor Light		-				-	
Single G.P.O		-		Phone Point	PH	-				-	
Double G.P.O		-		Gas Point	GAS	-				-	
Ext. Single G.P.O		-		Data Point	DATA	-				-	
Ext. Double G.P.O		-		Alarm Pad	AP	-				-	



Upper Electrical Plan
1:100

ISSUE: K
DRAWING: 21173-10
DATE: 07-04-22
LOT: 1
SHEET: 14/18
PAPER: A3
DP: 206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

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Artisan BY ICON HOMES

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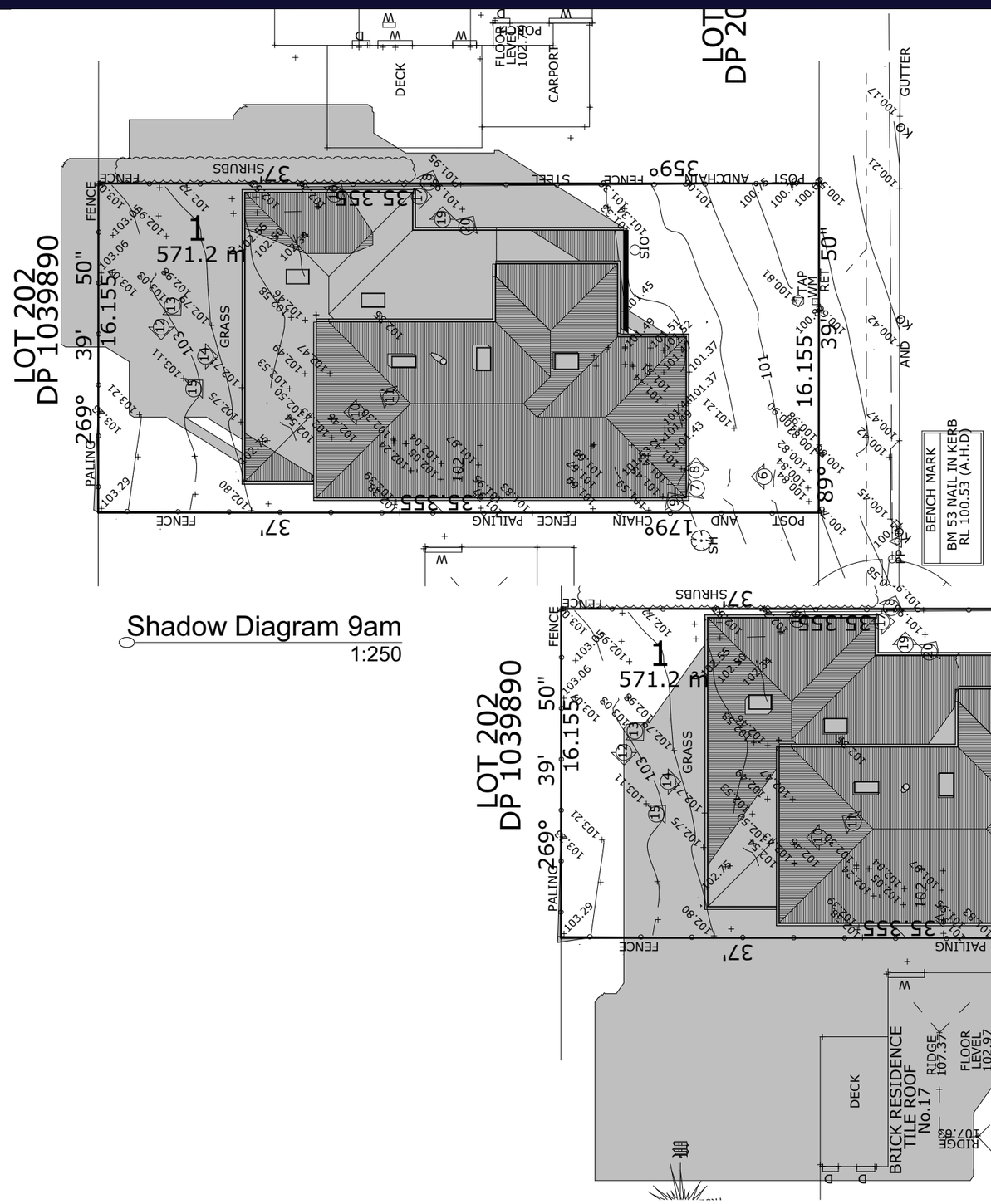
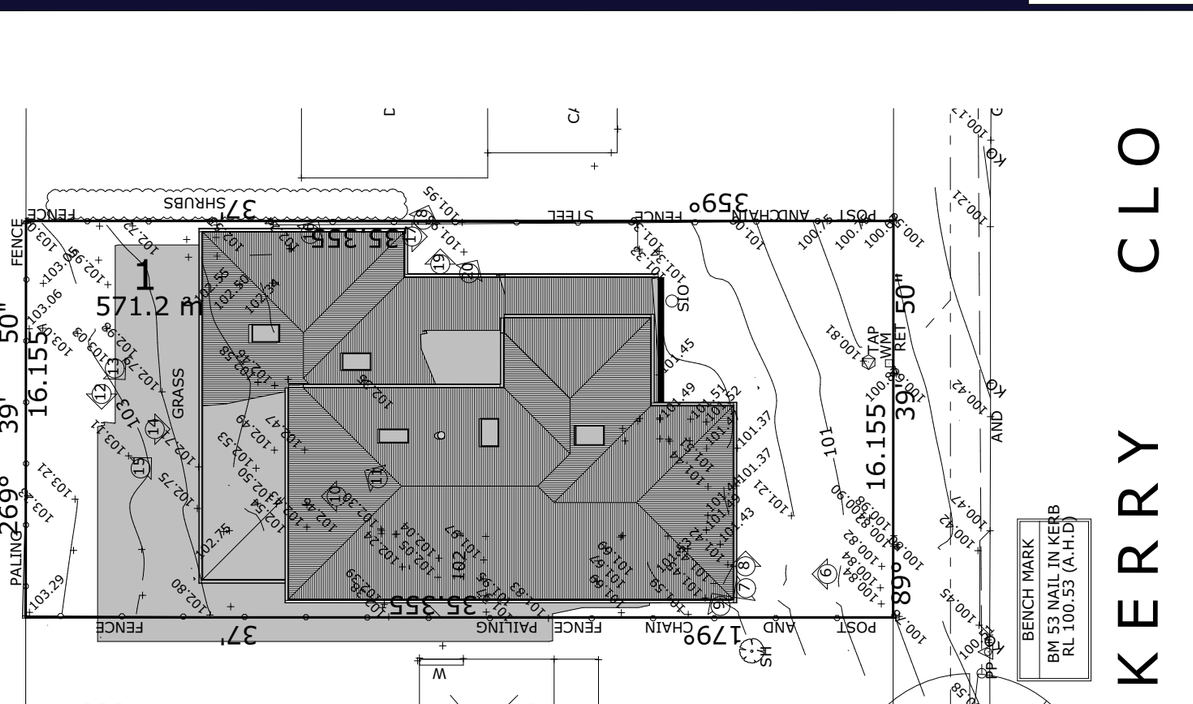


Shadow Diagram 9am
1:250



Shadow Diagram 12pm
1:250

Shadow Diagram 3pm
1:250

Lot 1
571.20m²
DP: 206756

North

ISSUE:	DRAWING:	DATE:	LOT:
K	21173-10	07-04-22	1
	SHEET:	PAPER:	DP:
	15/18	A3	206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

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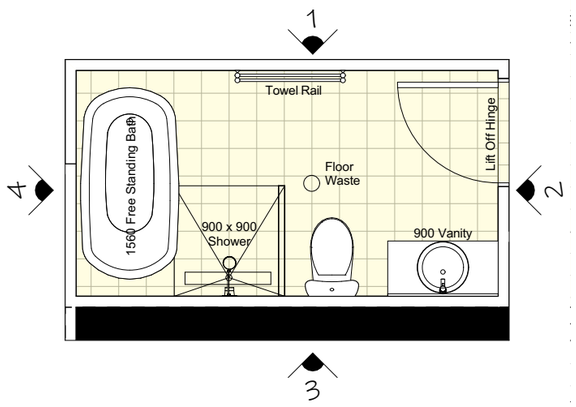
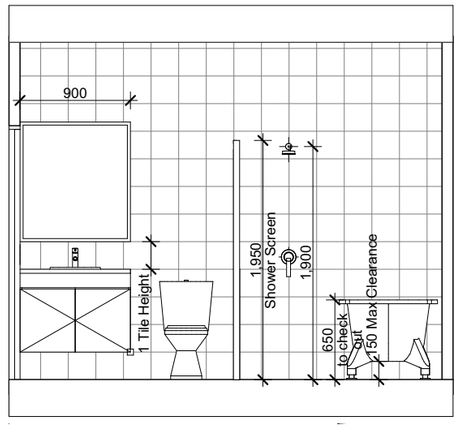
Artisan BY ICON HOMES

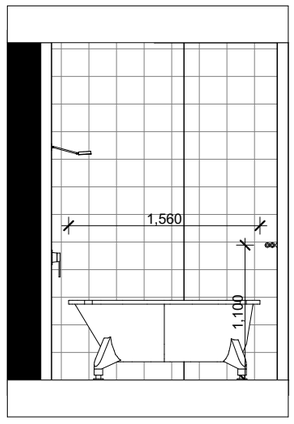
Artisan BY ICON HOMES



Secondary Dwelling Detail
1:50



Elev 1
1:50



Elev 2
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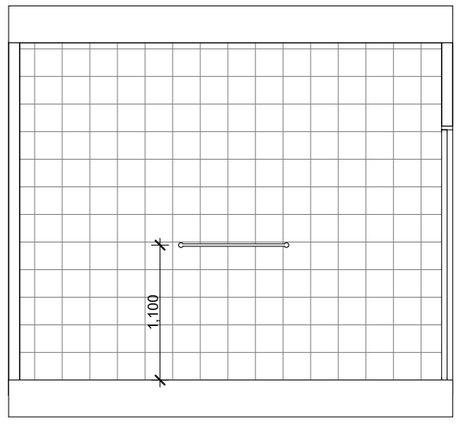

Elev 3
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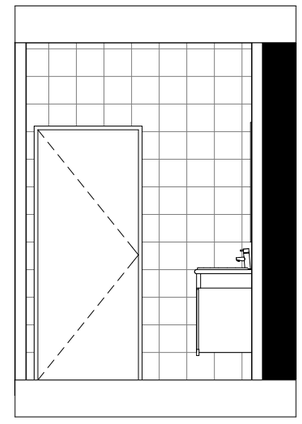

Elev 4
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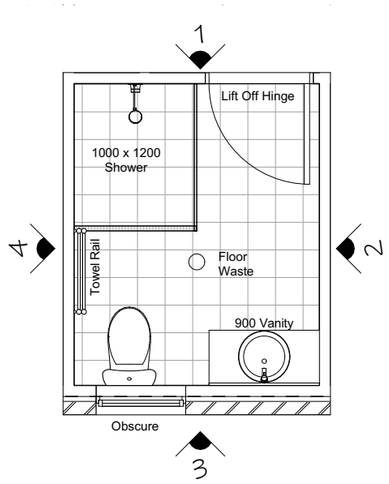
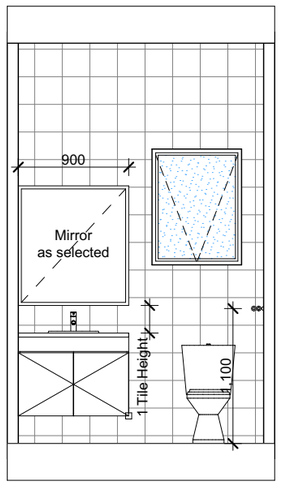


Pwd Detail
1:50



Elev 1
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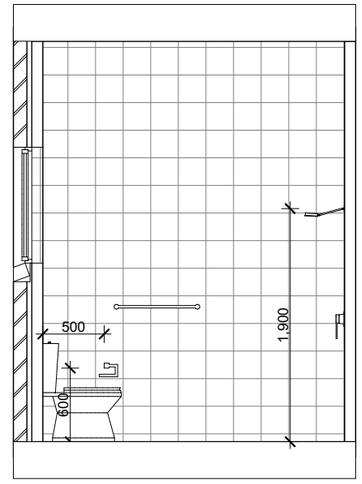

Elev 2
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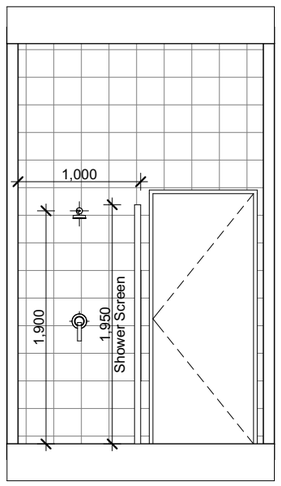

Elev 3
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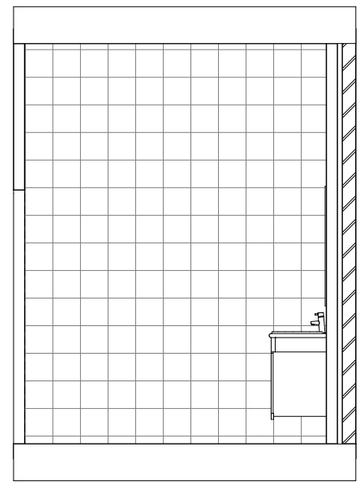

Elev 4
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ISSUE:	DRAWING:	DATE:	LOT:
K	21173-10	07-04-22	1
	SHEET:	PAPER:	DP:
	16/18	A3	206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

ACCURATE design & drafting
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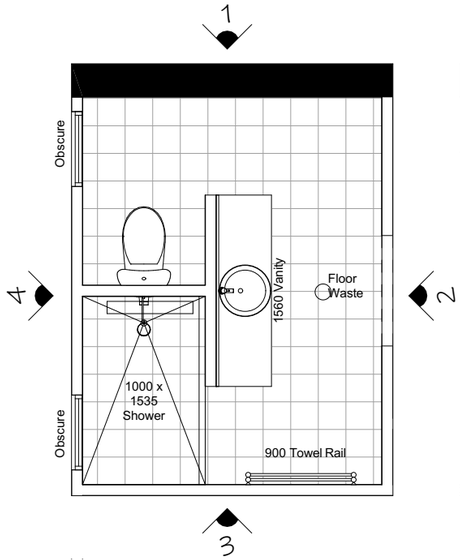
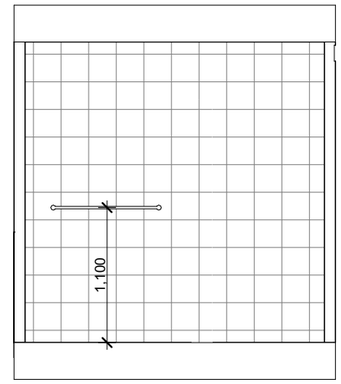


Ens Detail
1:50



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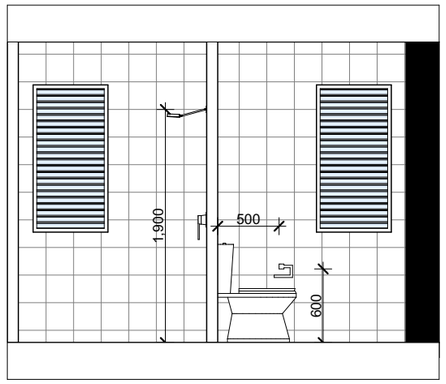
1:50



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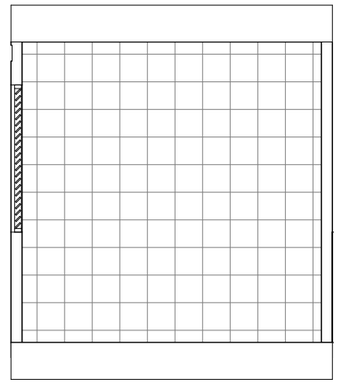

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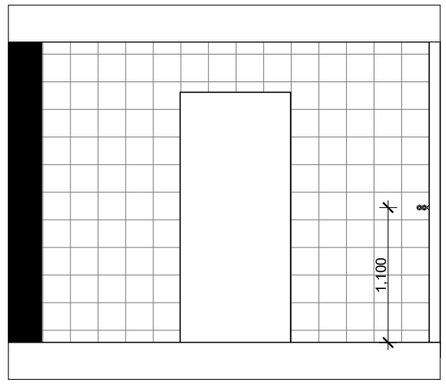

Elev 4
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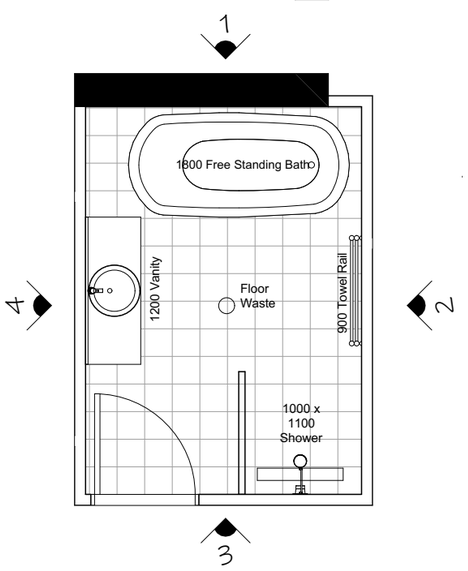
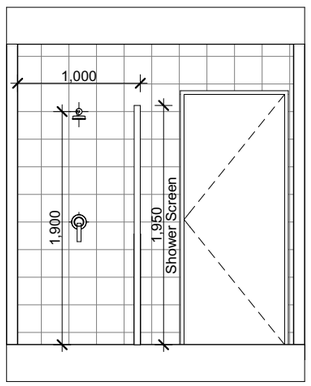
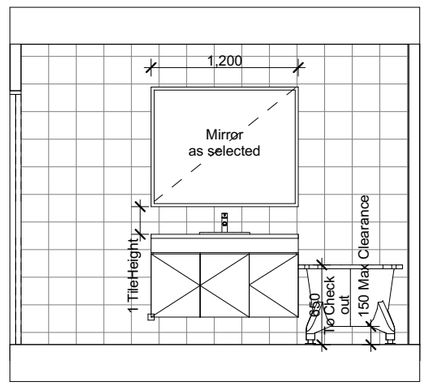


Bath Detail
1:50



Elev 1
1:50



Elev 2
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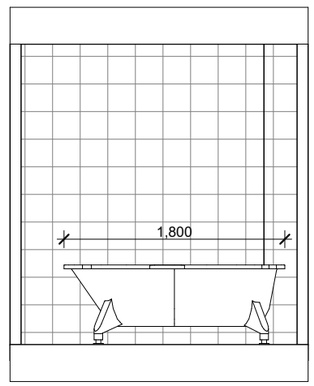

Elev 3
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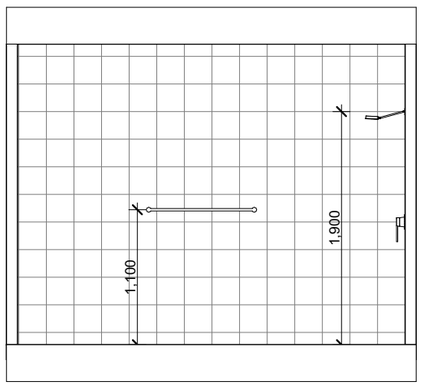

Elev 4
1:50

ISSUE: K
DRAWING: 21173-10
DATE: 07-04-22
LOT: 1
SHEET: 17/18
PAPER: A3
DP: 206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

ACCURATE design & drafting
info@accuratedesign.com.au 02 4647 2552

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1273638M_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 07 April 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW | Planning, Industry & Environment

Project summary	
Project name	21173 - 19 Kerry Close, Beacon Hill_04
Street address	19 Kerry Close Beacon Hill 2100
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited 206756
Lot no.	1
Section no.	-
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0

Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by
Name / Company Name: Abeaut Design Pty Ltd t/a Accurate Design and Draf
ABN (if applicable): 66116356551

Description of project

Project address	
Project name	21173 - 19 Kerry Close, Beacon Hill_04
Street address	19 Kerry Close Beacon Hill 2100
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited 206756
Lot no.	1
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m²)	571.20
Roof area (m²)	289.94
Non-residential floor area (m²)	-
Residential car spaces	2
Non-residential car spaces	-

Common area landscape	
Common area lawn (m²)	0.0
Common area garden (m²)	0.0
Area of indigenous or low water use species (m²)	0.0
Assessor details	
Assessor number	DMN/16/1737
Certificate number	JHNN7QY1S0
Climate zone	56
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No
Project score	
Water	✔ 40 Target 40
Thermal Comfort	✔ Pass Target Pass
Energy	✔ 50 Target 50

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Area of indigenous species (min area 1m²)
1	4 or more bedrooms	191.22	21.9	213.5	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area 1m²)
2	3	42.7	7.46	20.0	-

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses
   (a) Dwellings
      (i) Water
      (ii) Energy
      (iii) Thermal Comfort
2. Commitments for single dwelling houses
3. Commitments for common areas and central systems/facilities for the development (non-building specific)
      (i) Water
      (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔ ✔	✔ ✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

	Fixtures					Appliances		Individual pool				Individual spa			
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	3 star	3 star	3 star	no	-	-	-	-	-	-	-	-	-

	Alternative water source						
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
1	individual water tank (no. 1)	Tank size (min) 1500.0 litres	To collect run-off from at least: 100.0 square metres of roof area;	yes	yes	yes	no	no
All other dwellings	individual water tank (no. 1)	Tank size (min) 1500.0 litres	To collect run-off from at least: 60.0 square metres of roof area;	yes	yes	yes	no	no

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✔	✔

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting, if the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✔	✔
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔	✔	✔
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✔ ✔	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✔ ✔ ✔	 ✔
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✔	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✔	✔	✔

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, not ducted	manual switch on/off	individual fan, not ducted	manual switch on/off	natural ventilation only, or no laundry	-

Cooling			Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1	3-phase airconditioning EER > 4.0 (zoned)	3-phase airconditioning EER > 4.0 (zoned)	3-phase airconditioning EER > 4.0 (zoned)	3-phase airconditioning EER > 4.0 (zoned)	4	2 (dedicated)	yes	yes	yes	yes	1	yes
All other dwellings	1-phase airconditioning 3 star (average zone)		1-phase airconditioning 3 star (average zone)		1	1 (dedicated)	yes	yes	yes	yes	0	yes

	Individual pool		Individual spa		Appliances & other efficiency measures						
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	yes	yes

	Alternative energy
Dwelling no.	Photovoltaic system (min rated elecrtrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant will be applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	40.0	21.1
All other dwellings	34.4	19.8

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
1	100	-	-	-	No
All other dwellings	40	-	-	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✔	✔
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✔	✔	✔
(c) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	✔	✔	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✔	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✔	✔
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✔	✔

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✔	✔
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✔	✔
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

ISSUE: K
DRAWING: 21173-10
DATE: 07-04-22
LOT: 1
SHEET: 18/18
PAPER: A3
DP: 206756

note: all works to be carried out in conjunction with the construction notes on sheet 2

Proposed Dwelling
#19 Kerry Close, Beacon Hill
Icon Job Number: J0872

ACCURATE design & drafting
info@accuratedesign.com.au 02 4647 2552

External Colour Board

Site Address: 19 Kerry Close Beacon Hill

Client: Nick and Jen Doherty

Metal Roof: Colorbond Monument	Garage Door: Colorbond: Surfmist	Gutter/ Fascia: Colorbond: Monument
Water Tank: Colour: Surfmist	Render/ Capping/ Moroka: Taubmans: Surfmist	Cladding: Taubmans: Knight Grey
Windows & Doors: Aluminium Colour: Monument	Front Entry Door: Surfmist	Driveway: Coloured Concrete: Colour: Charcoal

Jen Taunton 28.02.22