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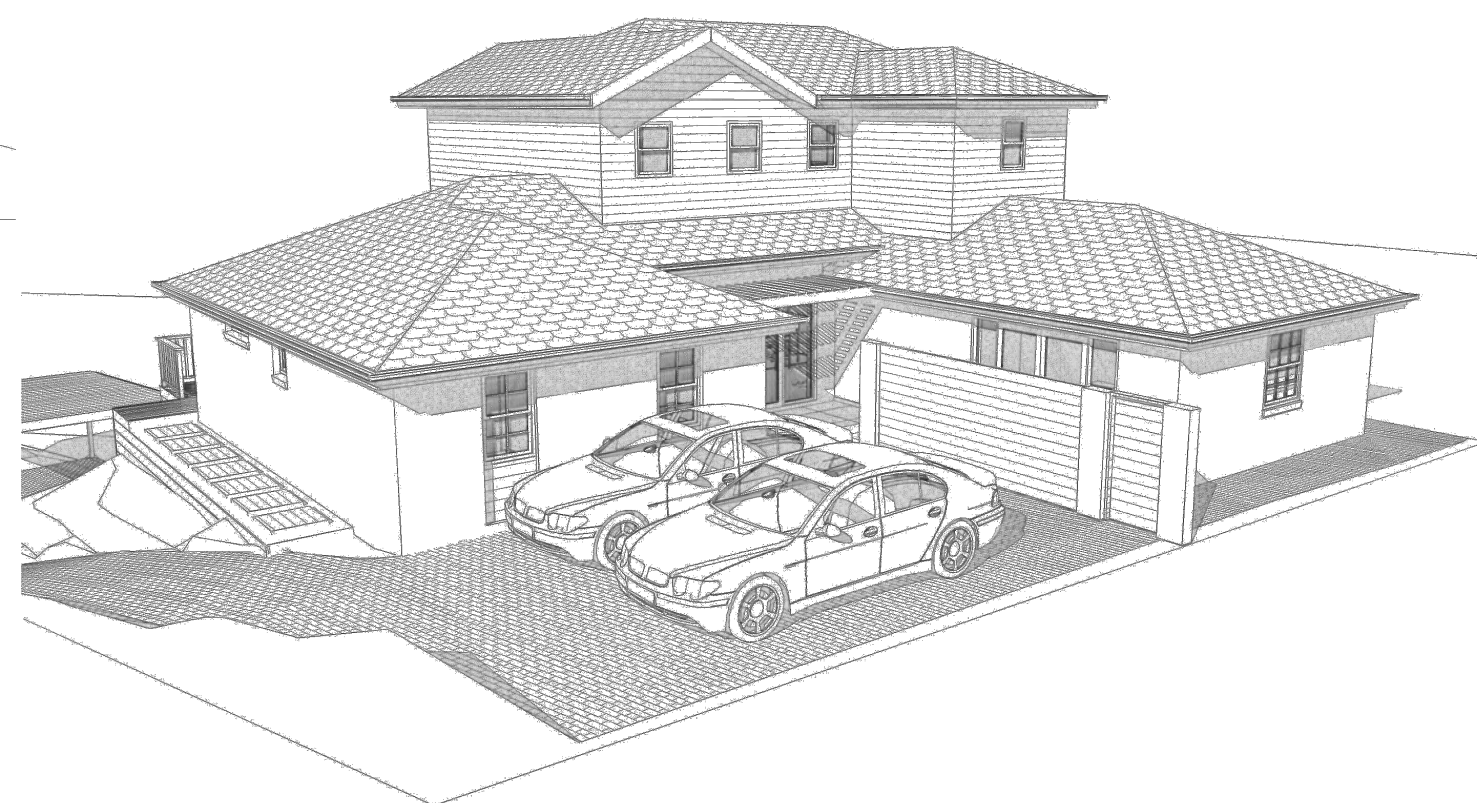
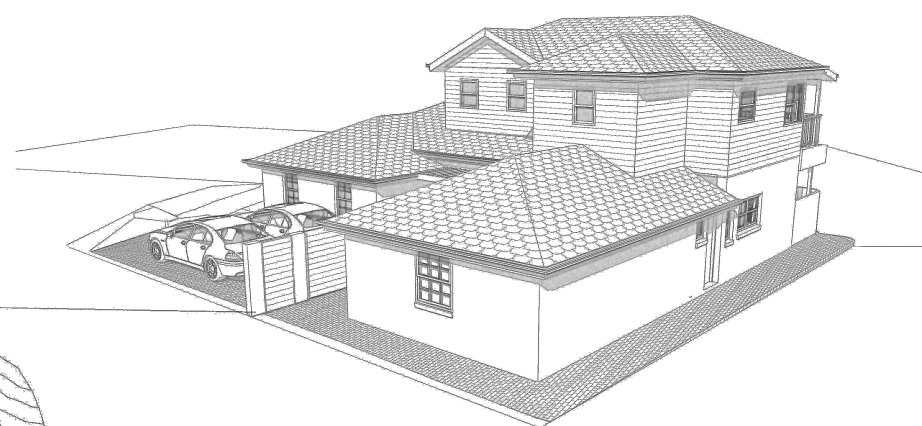
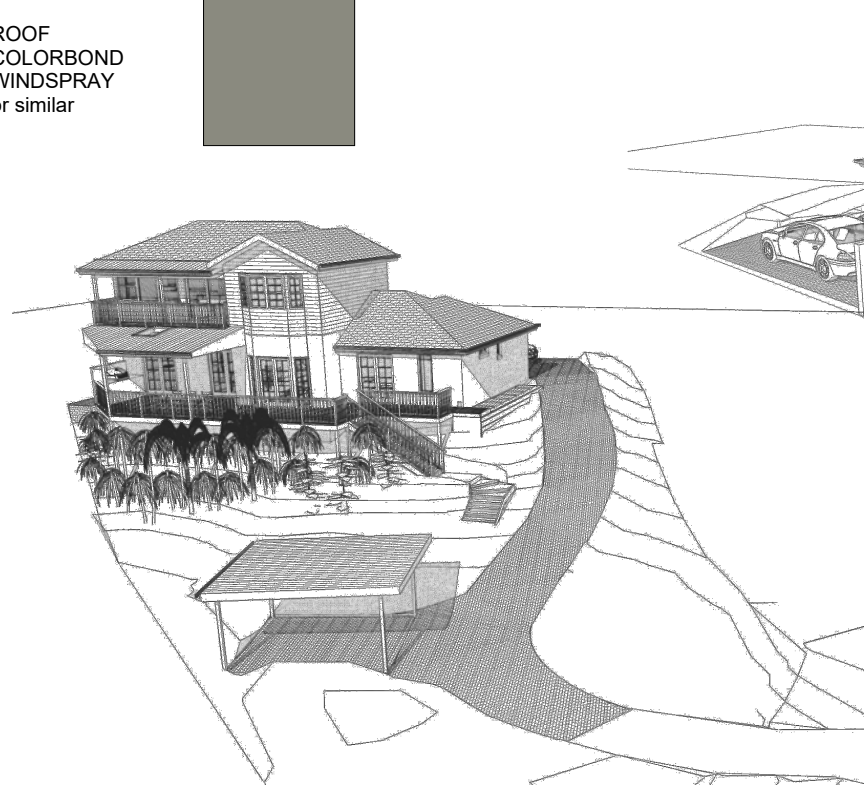
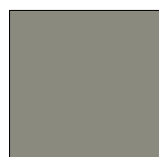
**private residence**

3 bakers road, church point

additions and alterations  
development application

architectural perspectives

ROOF  
COLORBOND  
WINDSPRAY  
or similar







Postal address: P O Box 870, Narrabeen NSW 2101  
Office: 28 Cook Terrace, Mona Vale  
M 0432 125 244

Project : Additions & Alterations  
DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m<sup>2</sup>  
Client : Private Residence  
Drawing : - Survey

Drawn/Designed : PB/MW  
Project Number : 1928  
Drawing No. : DA2

Date : 081119  
Scale : 1:200 @ A3  
Issue :

TITLE INDICATES THAT LOT 51 IN D.P.1043879 IS SUBJECT TO:  
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).

LEGEND  
BL BALCONY  
CL CENTERLINE  
CON CONCRETE  
DK DECK  
DS DOOR SILL  
FL FLOOR LEVEL  
GRT GRATE  
HL HOOD LEVEL  
HYD HYDRANT  
LIN LINTEL  
NS NATURAL SURFACE  
PAV PAVING  
PER PERGOLA  
PL POOL  
PLM TREE PALM-DIA,SPREAD,HEIGHT  
RF ROOF  
RR ROOF RIDGE  
SIP SEWER INSPECTION PIT  
SL SILL LEVEL  
STR STAIRS  
TEL TELSTRA  
TER TERRACE  
TG TOP OF GUTTER  
TIL TILE  
TKB TOP OF KERB  
TNK TANK  
TR TREE-DIA,SPREAD,HEIGHT  
TRW TOP OF RETAINING WALL  
VC VEHICLE CROSSING

A FIRST ISSUE 17/09/19

- BOUNDARIES HAVE NOT BEEN DEFINED. A PRELIMINARY BOUNDARY SURVEY FOR DESIGN AND DA PURPOSES HAS BEEN UNDERTAKEN. LOT DIMENSIONS HAVE BEEN TAKEN FROM THE TITLE DIAGRAM. SITE AREA HAS BEEN CALCULATED FROM THESE DIMENSIONS - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.

- IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.

- TREE SIZES ARE ESTIMATES ONLY.

- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF SCOTT & ISABEL McLENNAN

- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY. - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.

- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (99 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.

- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.

- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.

- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.

- CONTOUR INTERVAL - 1 metre. - SPOT LEVELS SHOULD BE ADOPTED.

- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).

- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.

- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.

- IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.

- COPYRIGHT: WATERVIEW SURVEYING SERVICES

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- THIS NOTICE MUST NOT BE ERASED.



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michael@wvsurveying.com.au  
0474 843 180

Vertical Datum

DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. PM 32079  
R.L. 1.320  
SOURCE: S.C.I.M.S. 13/9/2019

Client Details

SCOTT & ISABEL McLENNAN  
3 BAKERS ROAD  
CHURCH POINT NSW 2105

Drawing Title

DETAIL AND LEVELS OVER  
3 BAKERS ROAD  
CHURCH POINT NSW 2105  
BEING LOT 52 IN DP.1043879

PROJECT: 1019

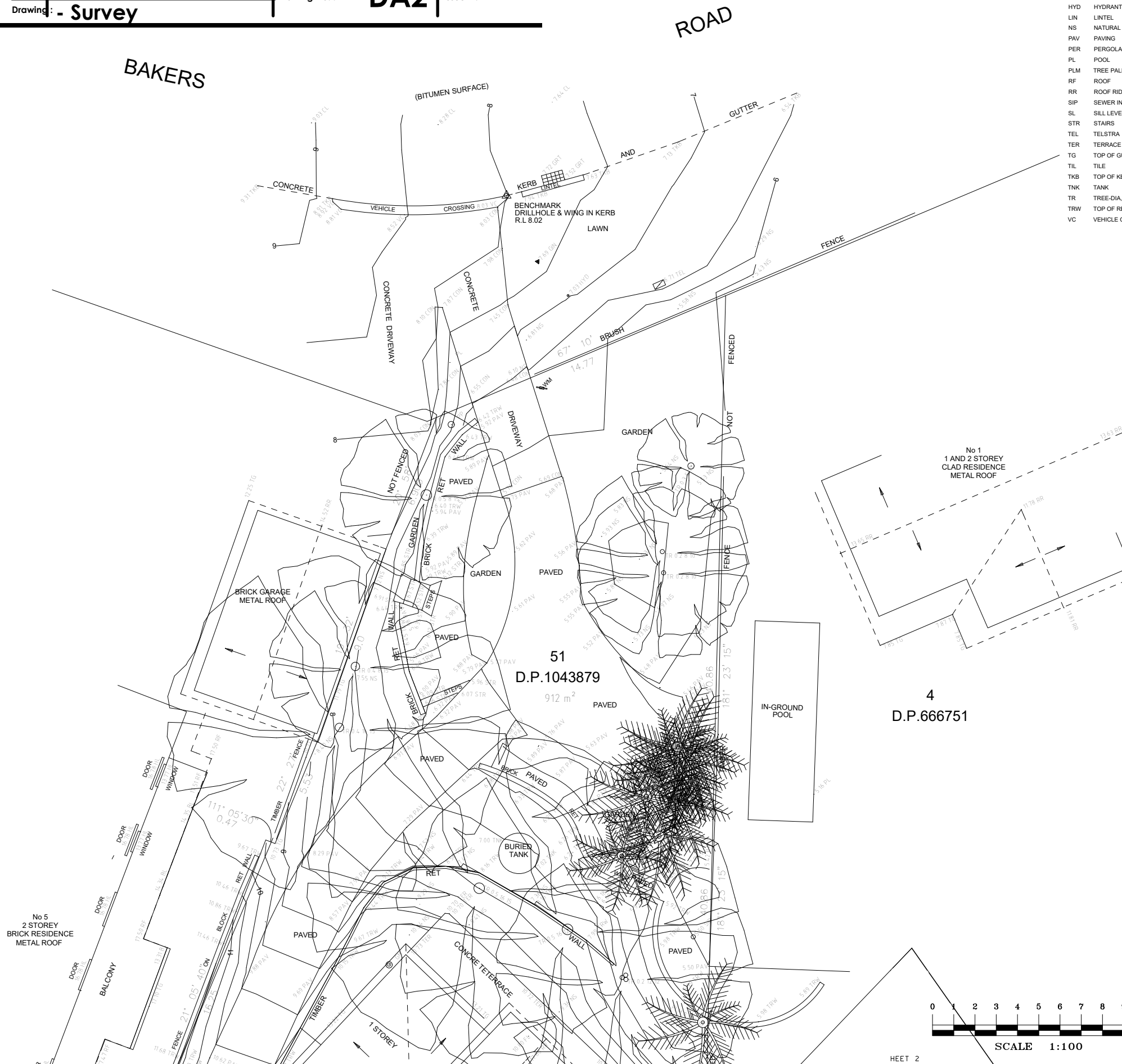
PAGE 1 OF 2

Date of survey  
12/09/2019

Drawing No.  
1019detail 1

Scale  
1:100 @ A1

Rev.  
A



MGA (Approx North)

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- THIS NOTICE MUST NOT BE ERASED.



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Vertical Datum  
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. PM 32079  
R.L. 1.320  
SOURCE: S.C.I.M.S. 13/9/2019

Client Details  
SCOTT & ISABEL McLENNAN  
3 BAKERS ROAD  
CHURCH POINT NSW 2105

Drawing Title  
DETAIL AND LEVELS OVER  
3 BAKERS ROAD  
CHURCH POINT NSW 2105  
BEING LOT 52 IN DP.1043879

PROJECT: 1019	PAGE 2 OF 2
Date of survey 12/09/2019	Drawing No. 1019detail 1
Scale 1:100 @ A1	Rev. A

52  
D.P.1043879

51  
D.P.1043879  
912 m<sup>2</sup>

4  
D.P.666751

1  
D.P.1068977

2  
D.P.1186422

LEGEND  
BL BALCONY  
CL CENTERLINE  
CON CONCRETE  
DK DECK  
DS DOOR SILL  
FL FLOOR LEVEL  
GRT GRATE  
HL HOOD LEVEL  
HYD HYDRANT  
LIN LINTEL  
NS NATURAL SURFACE  
PAV PAVING  
PER PERGOLA  
PL POOL  
PLM TREE PALM-DIA,SPREAD,HEIGHT  
RF ROOF  
RR ROOF RIDGE  
SIP SEWER INSPECTION PIT  
SL SILL LEVEL  
STR STAIRS  
TEL TELSTRA  
TER TERRACE  
TG TOP OF GUTTER  
TIL TILE  
TKB TOP OF KERB  
TNK TANK  
TR TREE-DIA,SPREAD,HEIGHT  
TRW TOP OF RETAINING WALL  
VC VEHICLE CROSSING

**Northern beaches designs**  
Postal address: P O Box 870, Narrabeen NSW 2101  
Office: 28 Cook Terrace, Mona Vale  
M 0432 125 244

Project  
Additions & Alterations  
DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m<sup>2</sup>

Client : Private Residence

Drawing : - Survey

Drawn/Designed : PB/MW

Project Number : 1928

Drawing No. : DA3

Date : 081119

Scale : 1:200 @ A3

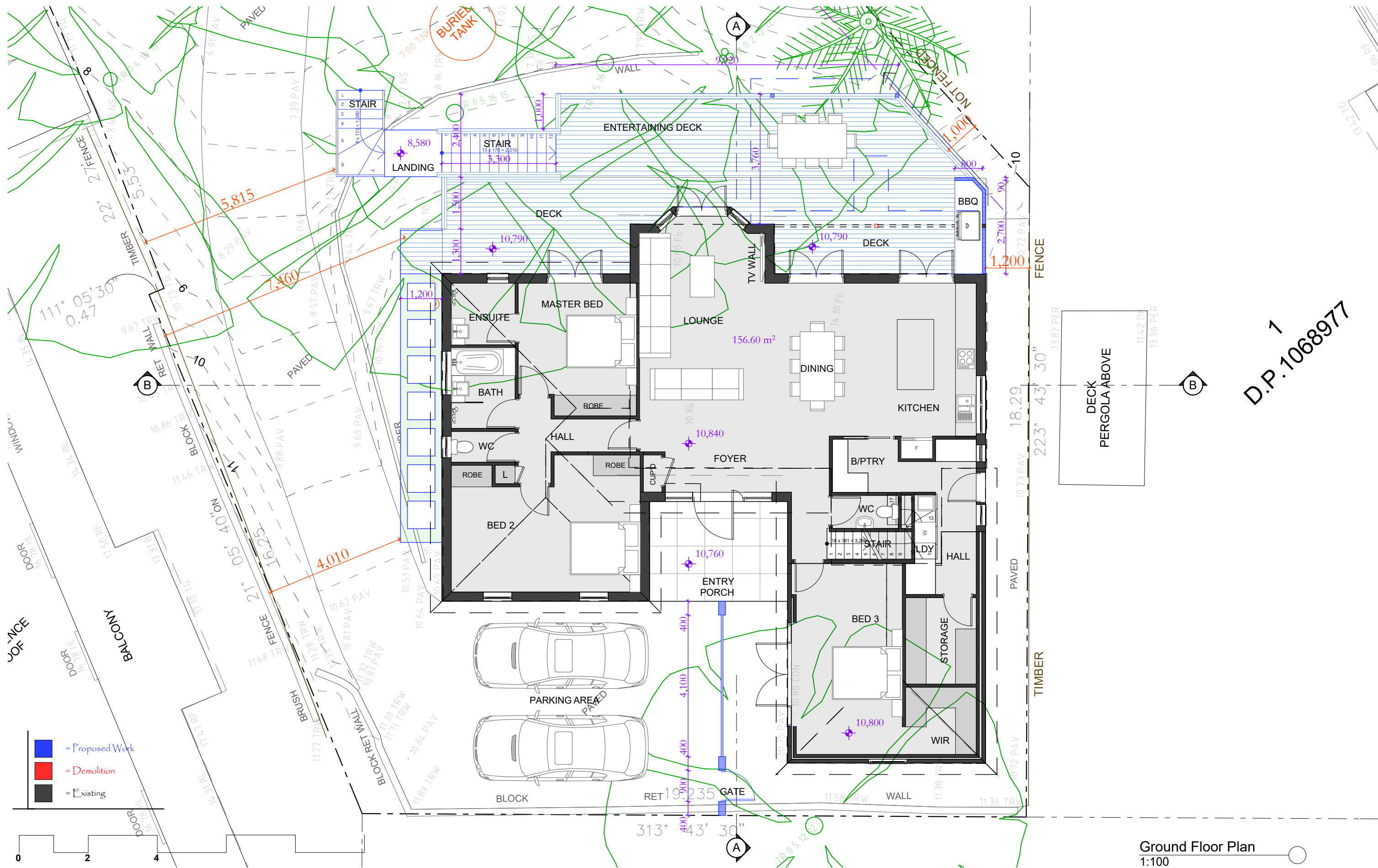
Issue :

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SCALE 1:100



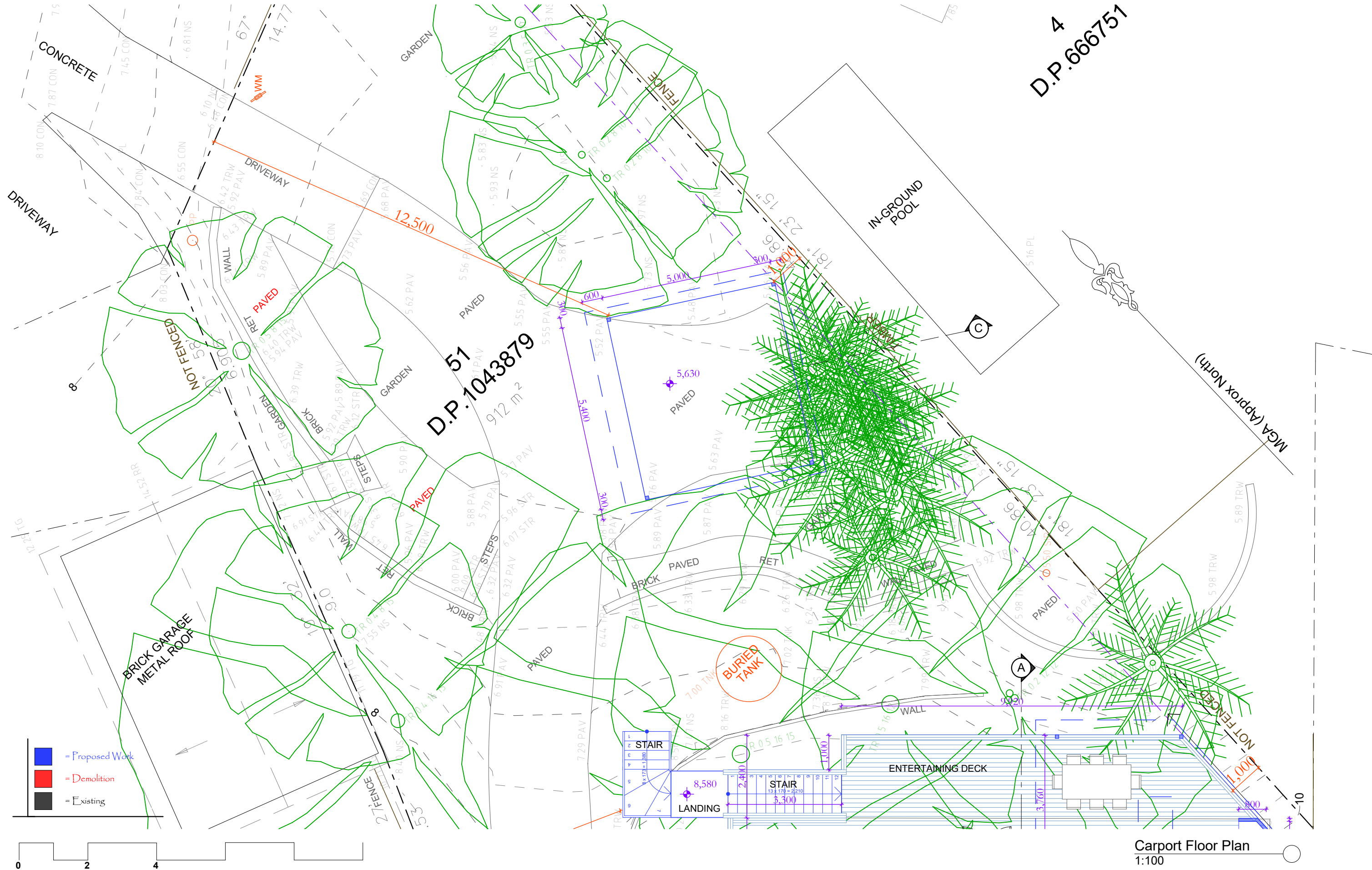






Ground Floor Plan  
1:100





Date :	Issue :	Description :

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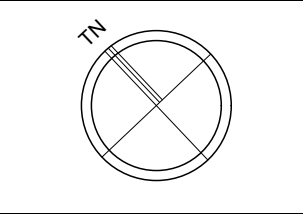
**Northern beaches designs**

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Office: 28 Cook Terrace, Mona Vale  
M 0432 125 244, Member no. BDA 2479-18

**Project :** Additions & Alterations  
DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m2

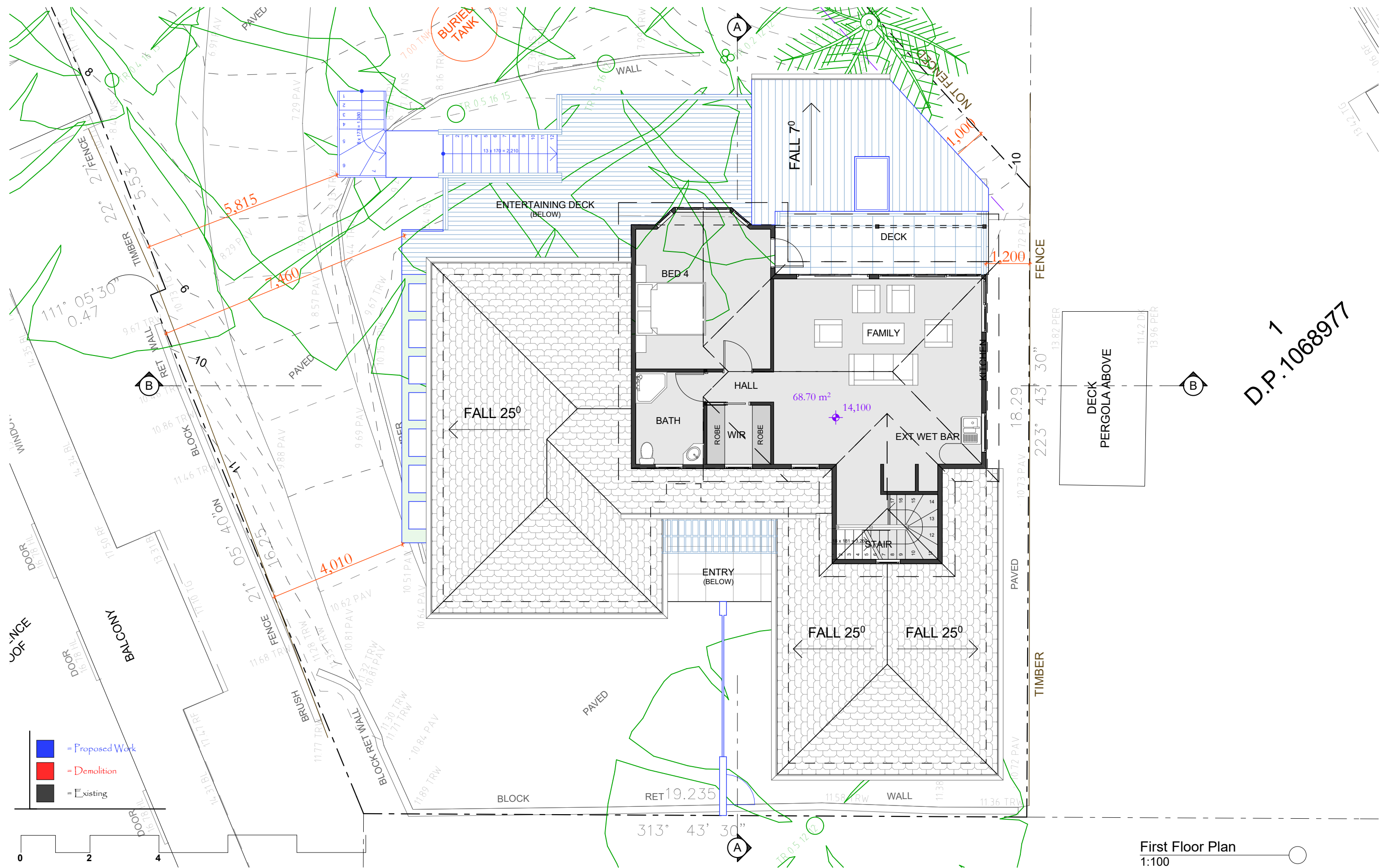
**Client :** Private Residence

**Drawing : -** Carport Floor Plan



Drawn/Designed : PB/MW	Date : 081119
Project Number : 1928	Scale : 1:100 @ A3
Drawing No. : <b>DA6</b>	Issue :





First Floor Plan  
1:100

<b>Date :</b>	<b>Issue :</b>	<b>Description :</b>

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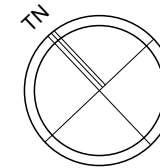
 Northern beaches *designs*

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**Project :** Additions & Alterations  
DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m2

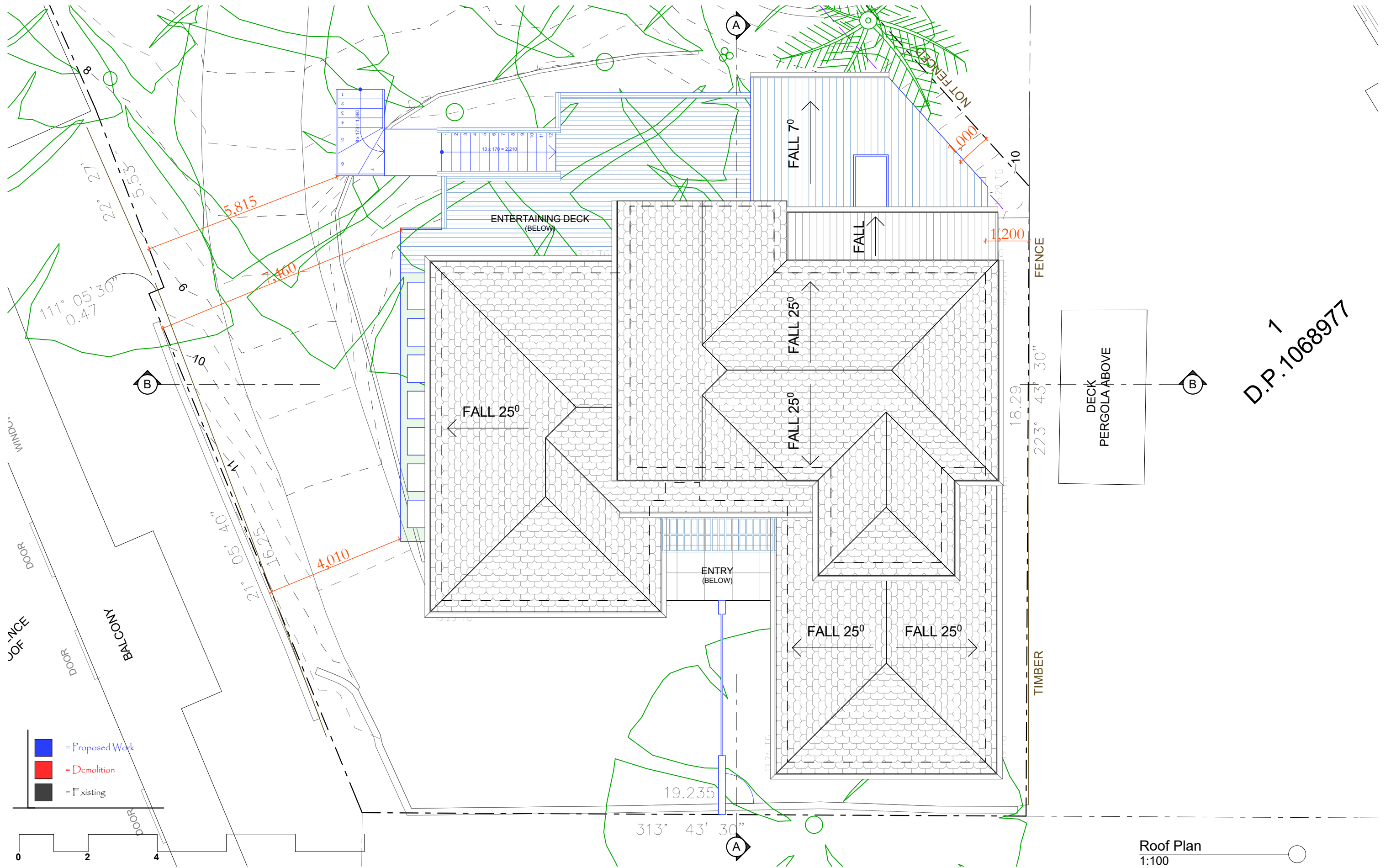
**Client :** Private Residence

**Drawing : - First Floor Plan**

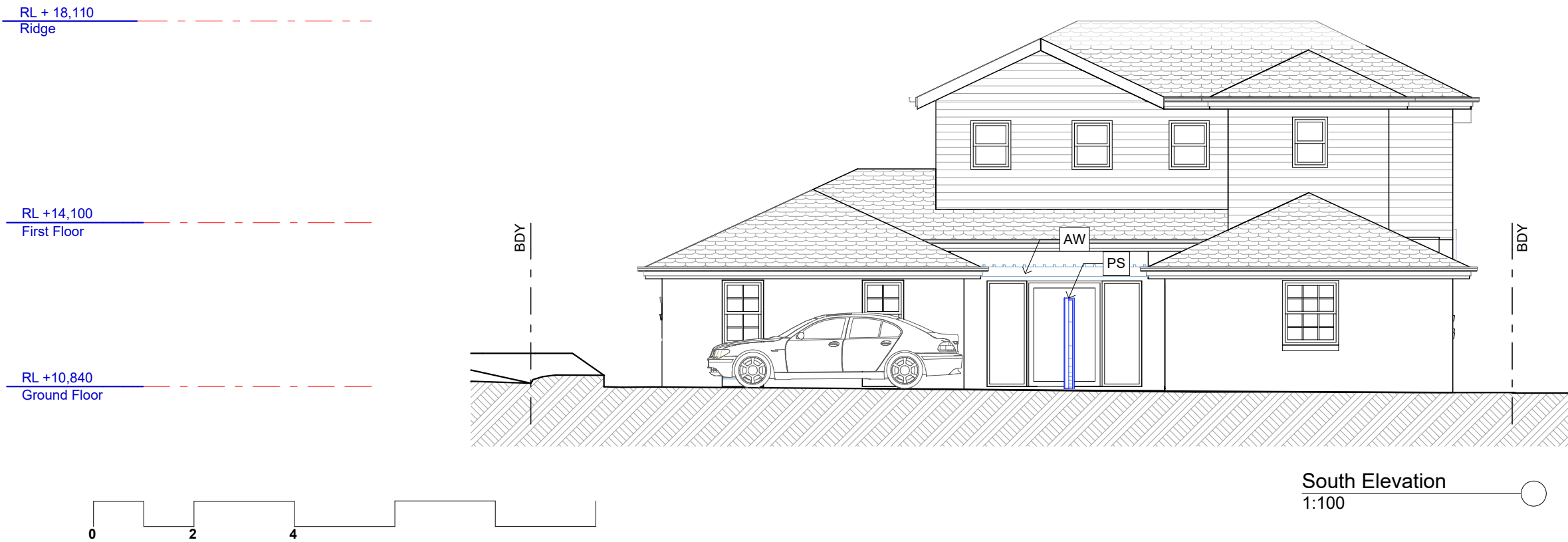
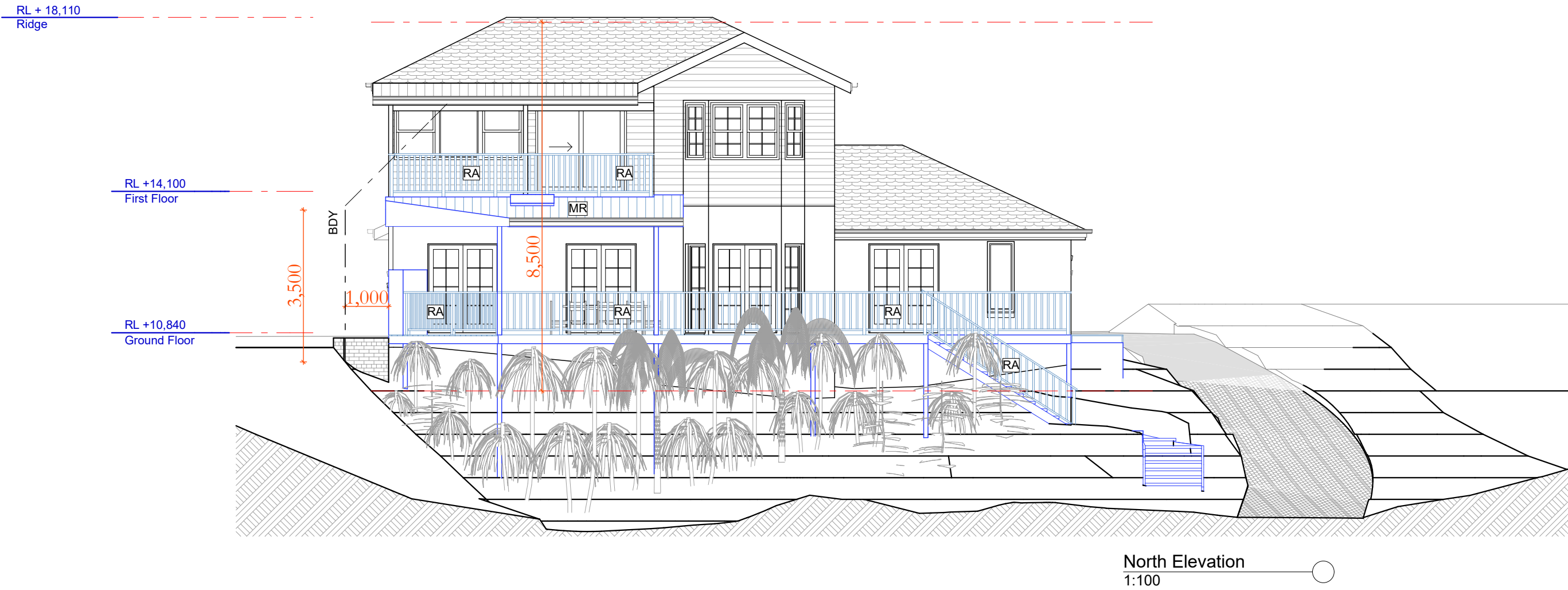


Drawn/Designed : PB/MW <hr/> Project Number : <b>1928</b> <hr/> Drawing No. : <b>DA7</b>	Date : 081119 <hr/> Scale : 1:100 @ A3 <hr/> Issue :
--	--





Roof Plan  
1:100



MR roof with metal cladding  
RA rail to BCA/NCC  
PS privcay screen  
AW awning over Entry

Date :	Issue :	Description :

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Project : Additions & Alterations  
DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m2  
Client : Private Residence  
Drawing : - Elevations, N, S

= Proposed Work  
 = Demolition  
 = Existing

Drawn/Designed : PB/MW  
Project Number : 1928  
Drawing No. : DA9

Date : 081119  
Scale : 1:100 @ A3  
Issue :



RL + 18,110  
Ridge

RL +14,100  
First Floor

RL +10,840  
Ground Floor

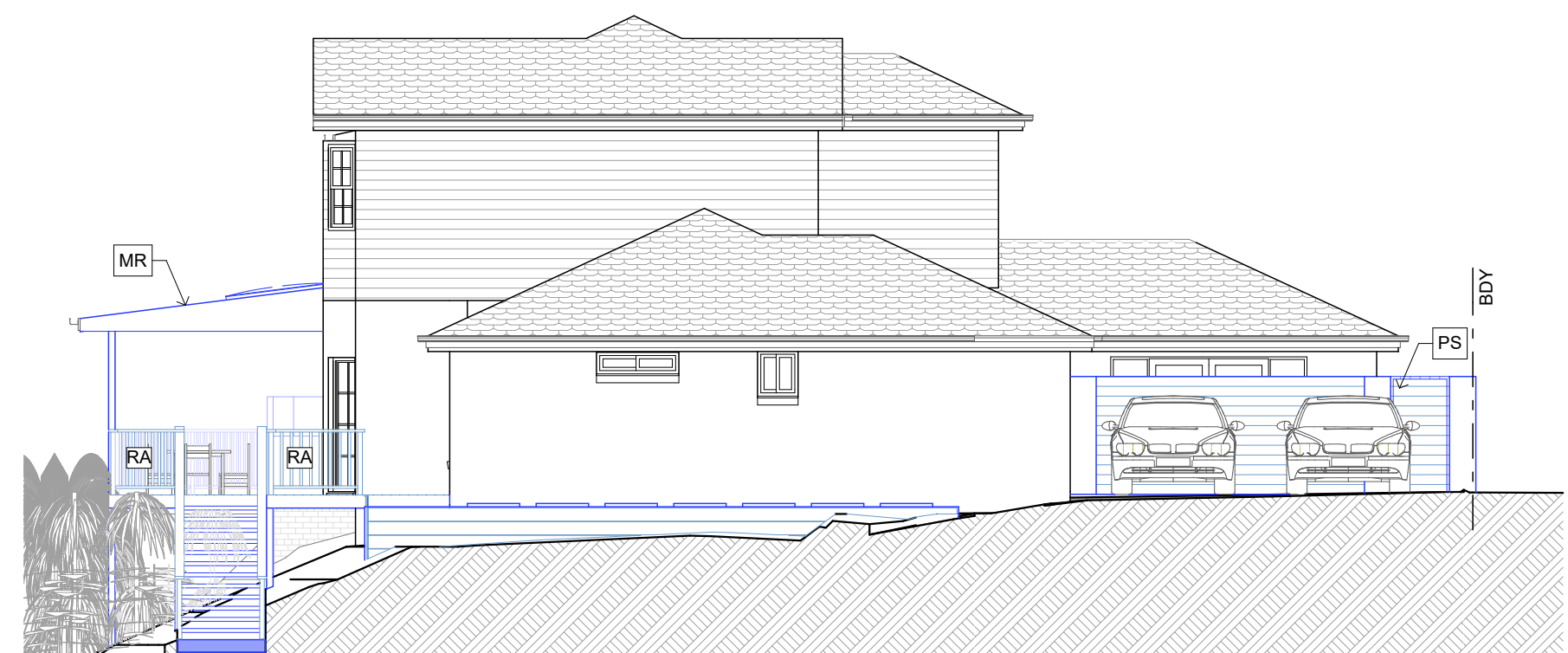


East Elevation  
1:100

RL + 18,110  
Ridge

RL +14,100  
First Floor

RL +10,840  
Ground Floor



MR roof with metal cladding  
RA rail to BCA/NCC  
PS privacy screen  
AW awning over Entry

West Elevation  
1:100

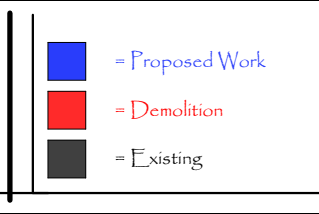


Date :	Issue :	Description :

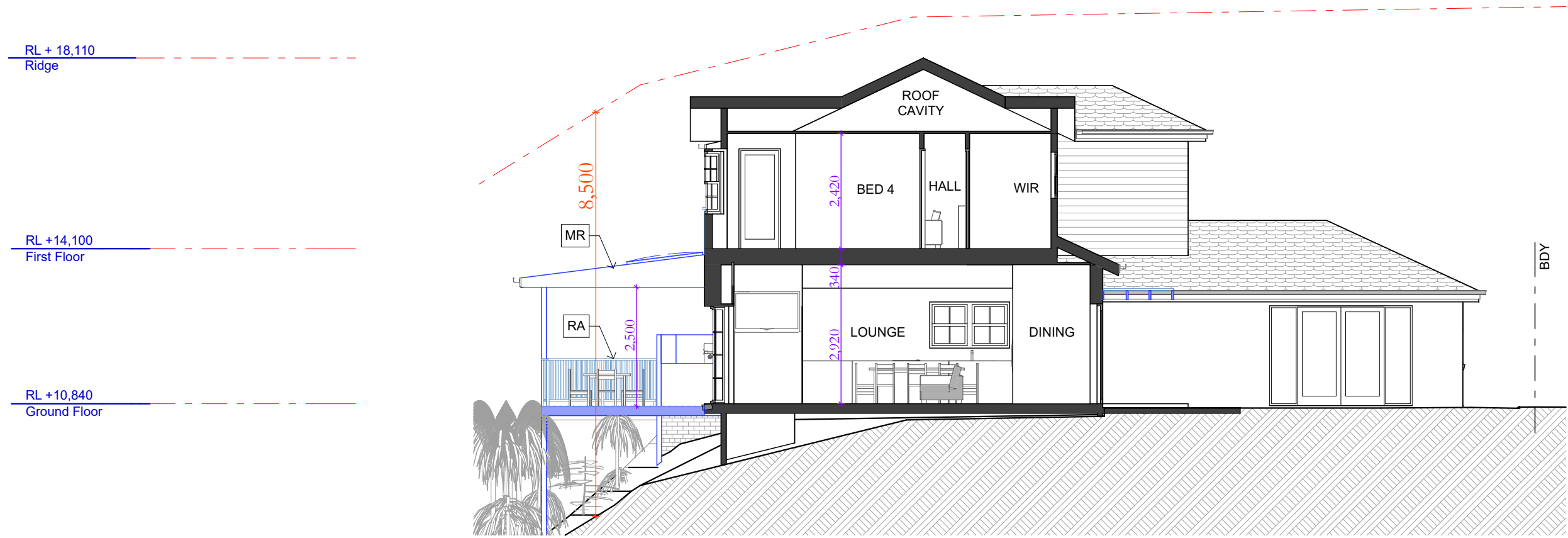
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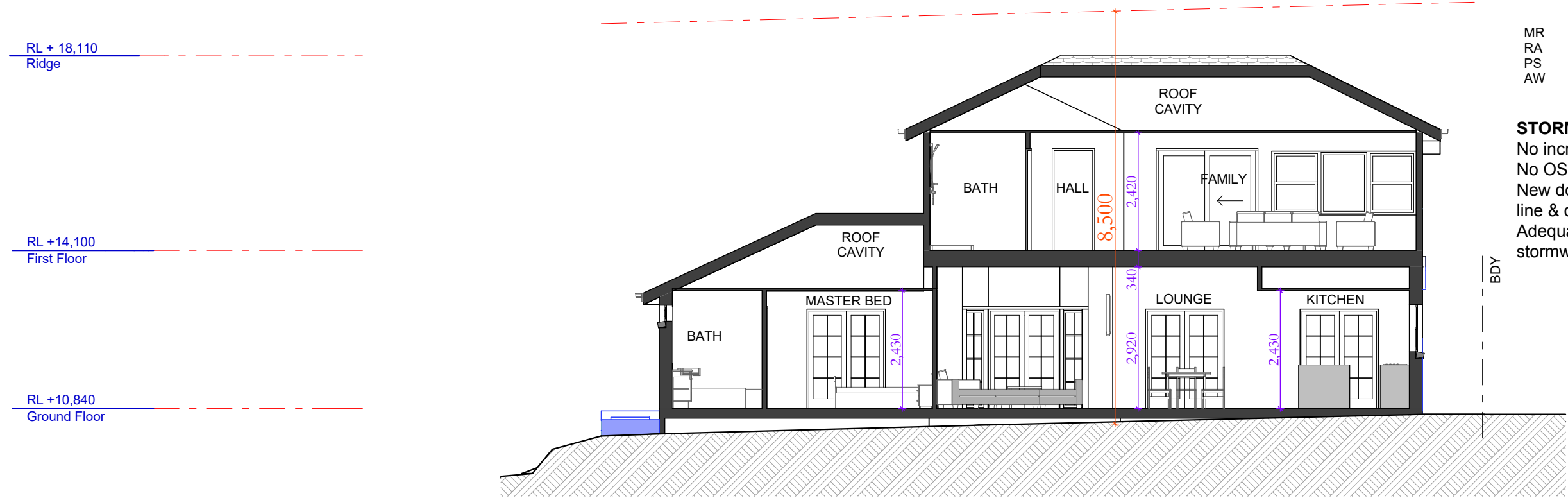
Project : Additions & Alterations  
DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m2  
Client : Private Residence  
Drawing : - Elevations, E, W



Drawn/Designed : PB/MW	Date : 081119
Project Number : 1928	Scale : 1:100 @ A3
Drawing No. : DA10	Issue :



Section A-A  
1:100

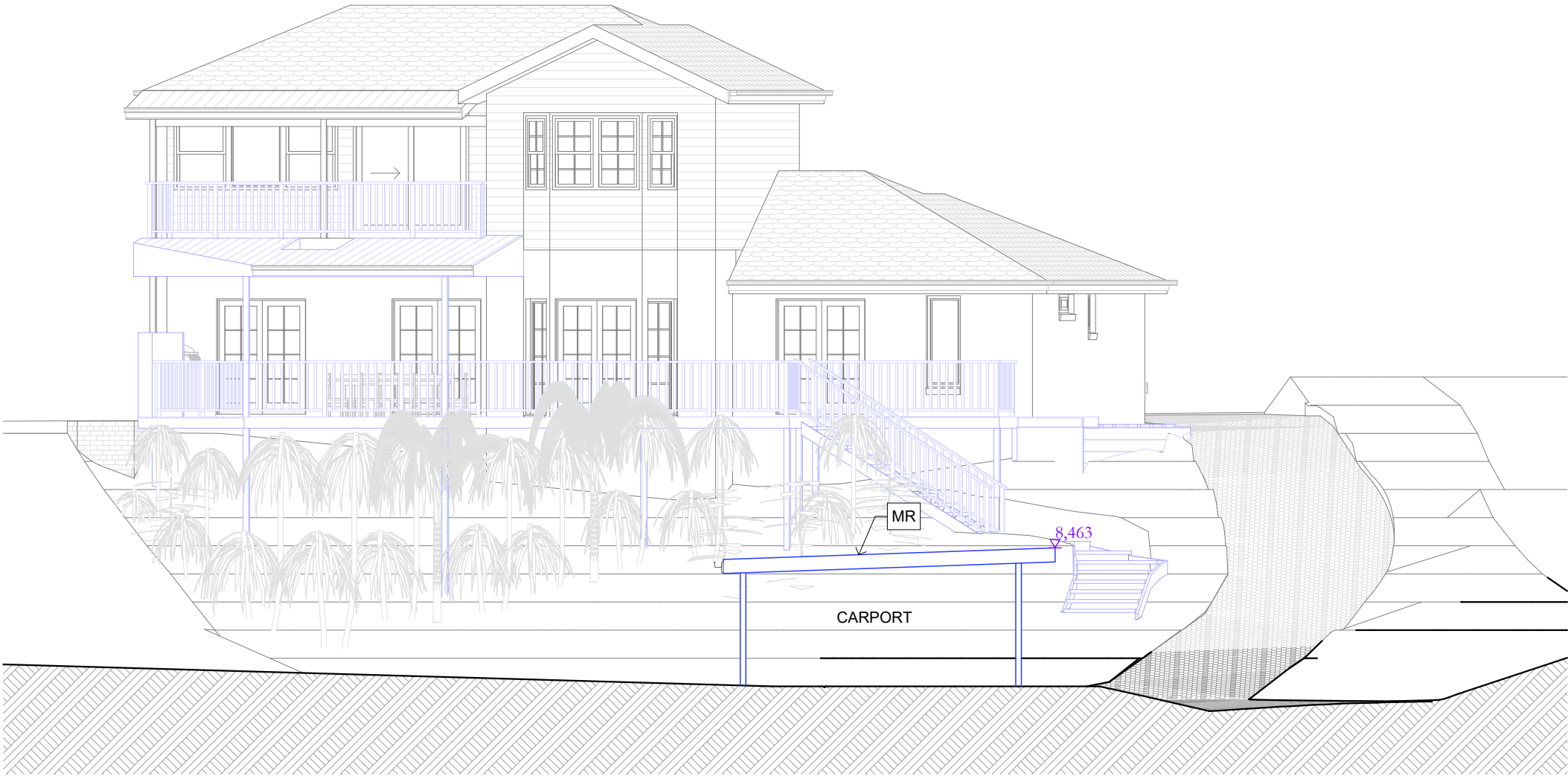


- MR roof with metal cladding
- RA rail to BCA/NCC
- PS privacy screen
- AW awning over Entry

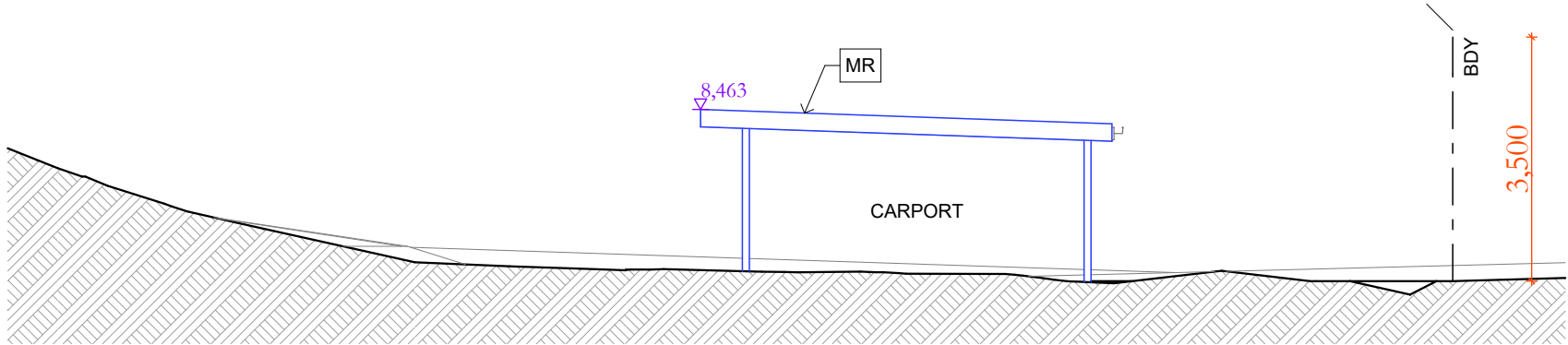
**STORMWATER DETAILS**  
No increase in impervious area by 50m2.  
No OSD required for carport & awning.  
New downpipes connected to 90mm stormwater line & discharged to existing onsite system.  
Adequacy of existing system to be checked by stormwater engineer at construction stage.

Section B-B  
1:100



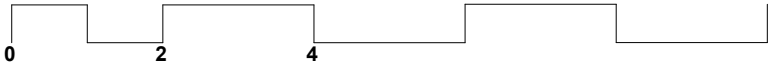


North Carport Elevation  
1:100



South Carport Elevation  
1:100

- MR      roof with metal cladding
- RA      rail to BCA/NCC
- PS      privacy screen
- AW      awning over Entry



Date :	Issue :	Description :

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DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m2

Client : Private Residence

Drawing : - Carport N, S

- = Proposed Work
- = Demolition
- = Existing

Drawn/Designed : PB/MW

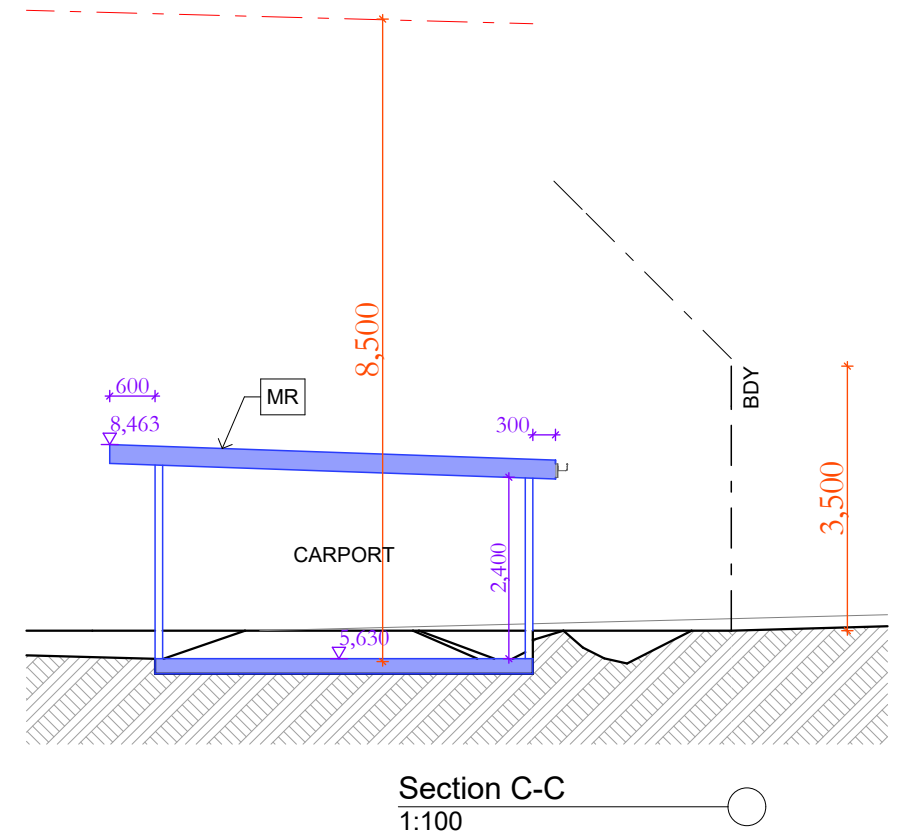
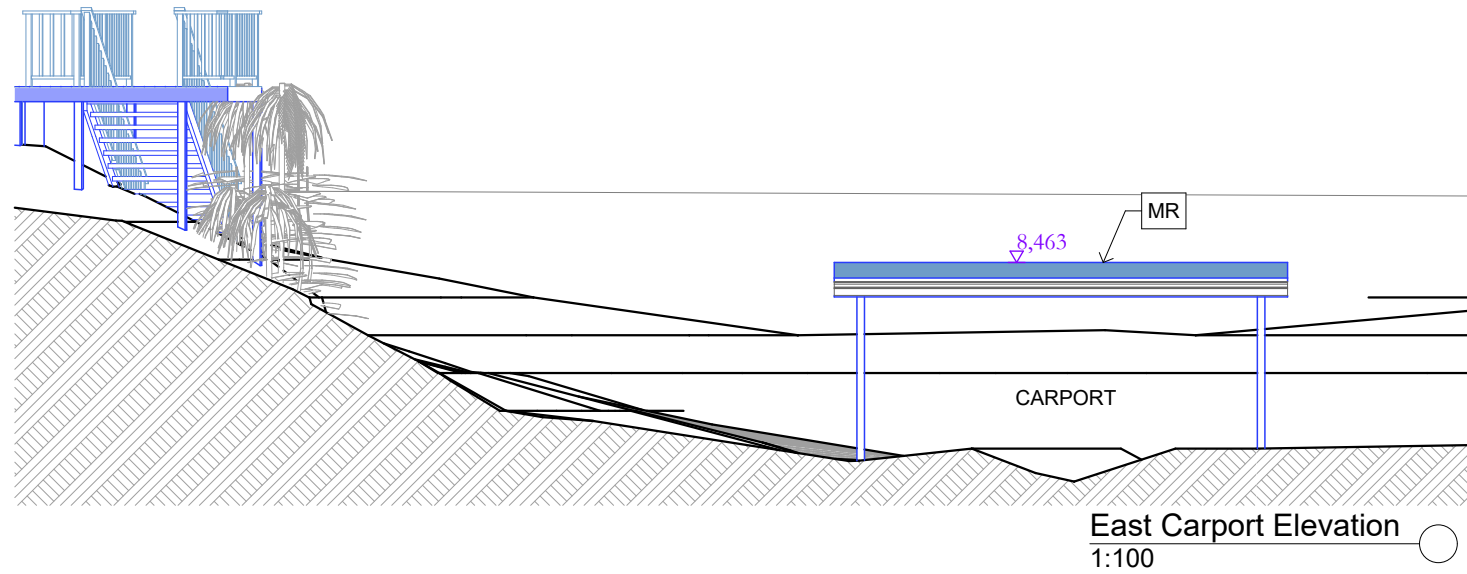
Project Number : 1928

Drawing No. : **DA12**

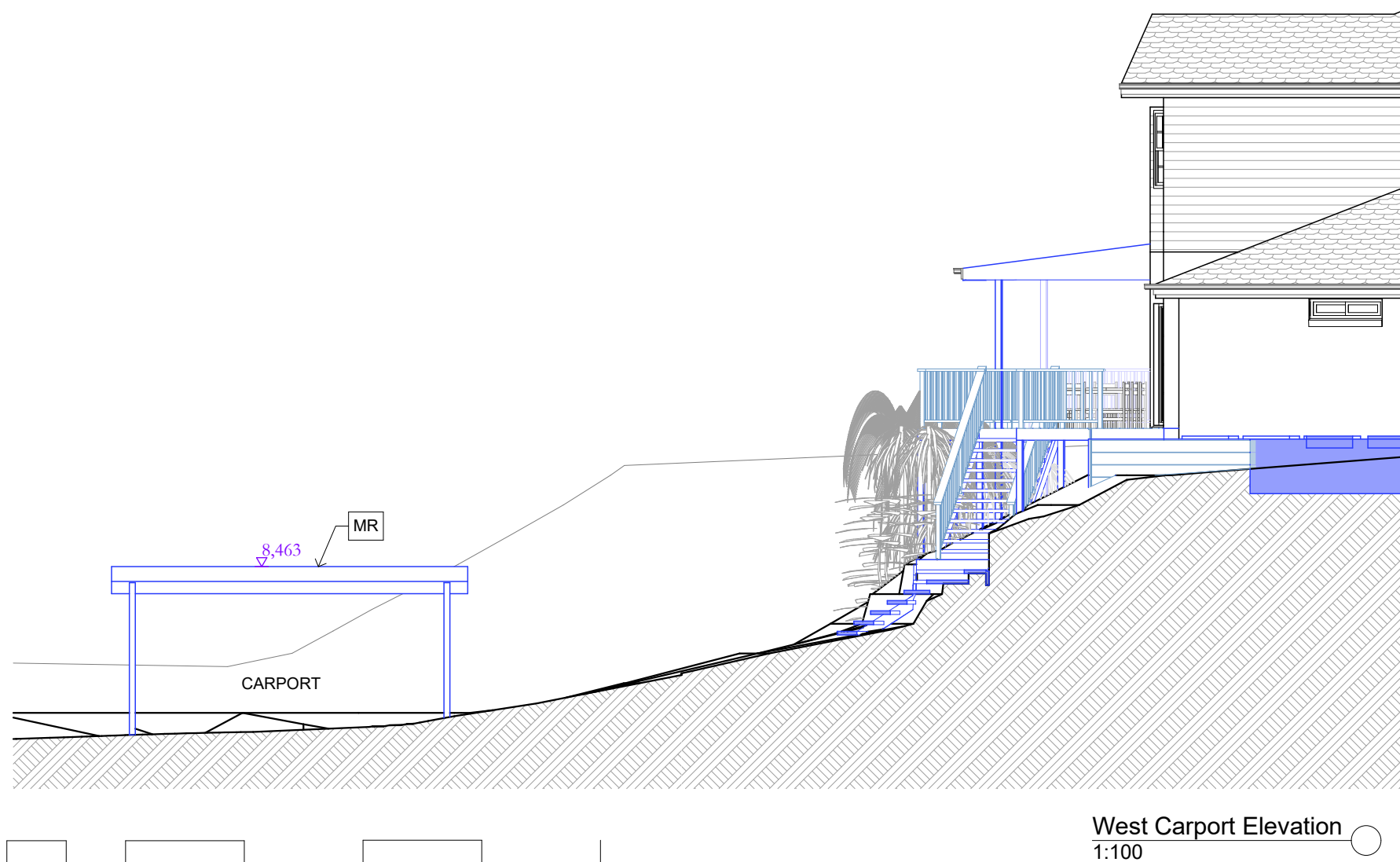
Date : 081119

Scale : 1:100 @ A3

Issue :



MR roof with metal cladding  
RA rail to BCA/NCC  
PS privacy screen  
AW awning over Entry





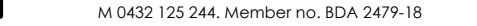


1:200



1:200

Date :	Issue :	Description :
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**Drawing : - Landscaping Plan**

\_\_\_\_\_

### a) WORKING AT HEIGHTS

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

For buildings where scaffolds, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

## LOOSE MATERIALS OR SMALL OBJECTS

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

For all buildings:  
 Busy construction and demolition sites present a risk of collision when deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other equipment and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

fibreglass, rockwool, ceramic and other material used for thermal sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used while installing, removing or working near bulk insulation material.

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

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**Project :** Additions & Alterations  
DA  
3 Bakers Road, Church Point  
Lot 52 in DP 1043879 - 912m2

Client : Private Residence

Drawing : - **Safety Notes**

Drawn/Designed : PB/MW

Date : 081119

**Project Number : 1928**

**Scale :** 1:200 @ A3

Drawing No. : **DA15**

**Issue :**



# SEDIMENT CONTROL PLAN

## EROSION & SEDIMENT NOTES.

Minimise area to be cleared and leave as much vegetation as possible. Install temporary fences to define 'no go' areas that are not to be disturbed.

Install sediment fence(s) along the low side of the site before work begins.

Divert water around the work site and stabilise channels, but ensure that you do not flood the neighbouring property. Establish a single stabilised entry/exit point. Clearly mark the access point and give an access map that has a delivery point indicated for all supplies.

Leave or lay a kerb-side turf strip (for example, the nature strip) to slow the speed of water flows and to trap sediment.

Check the erosion and sediment controls every day and keep them in good working condition.

Stockpile topsoil within the sediment controlled zone.

Always be aware of the weather forecast.

Stabilise exposed earth banks (e.g. vegetation, erosion control mats).

Fill in and compact all trenches immediately after services have been laid.

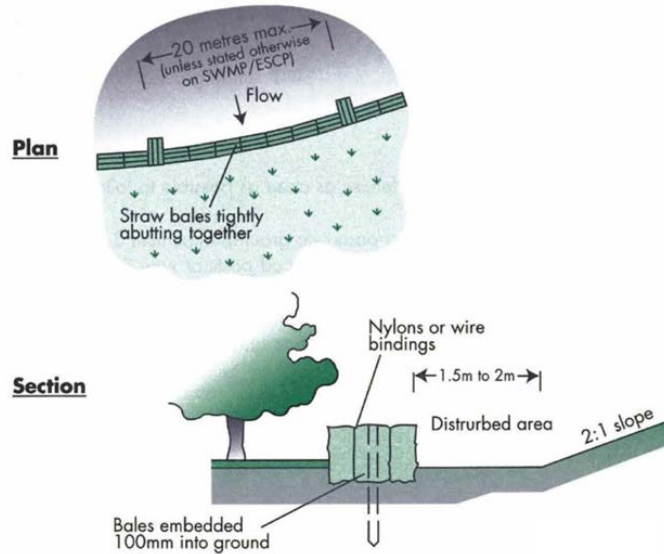
Install site waste receptacles (mini-skip, bins, wind-proof litter receptors).

Sweep the road and footpath every day and put soil behind the sediment controls. Hosing down roads and footpaths is unacceptable.

Connect downpipes from the guttering to the stormwater drain as soon as the roof is installed.

Revegetate the site as soon as possible. The erosion and sediment control devices must be kept in place until 70% of the site has been revegetated.

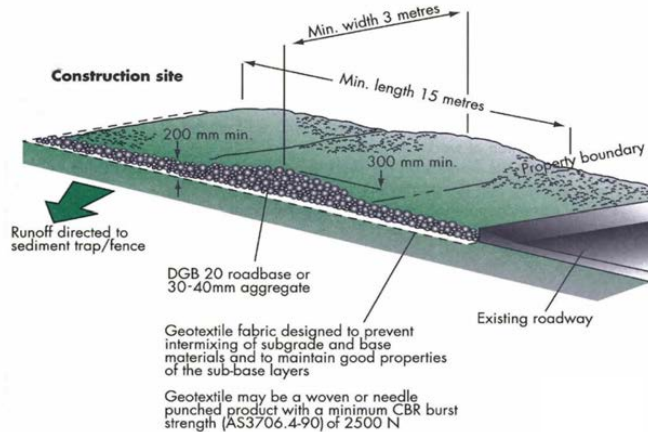
## STRAW BALES



## Construction Notes

- Construct the straw bale filter as close as possible to being parallel to the contours of the site.
- Place bales lengthwise in a row with ends tightly abutting. Use straw to fill any gaps between bales. Straws are to be placed parallel to ground.
- Ensure that the maximum height of the filter is one bale.
- Embed each bale in the ground 75 mm to 100 mm and anchor with two 1.2 metre star pickets or stakes. Angle the first star picket or stake in each bale towards the previously laid bale. Drive them 600 mm into the ground and, if possible, flush with the top of the bales. Where star pickets are used and they protrude above the bales, ensure they are fitted with safety caps.
- Where a straw bale filter is constructed downslope from a disturbed batter, ensure the bales are placed 1 to 2 metres downslope from the toe.
- Establish a maintenance program that ensures the integrity of the bales is retained - they could require replacement each two to four months.

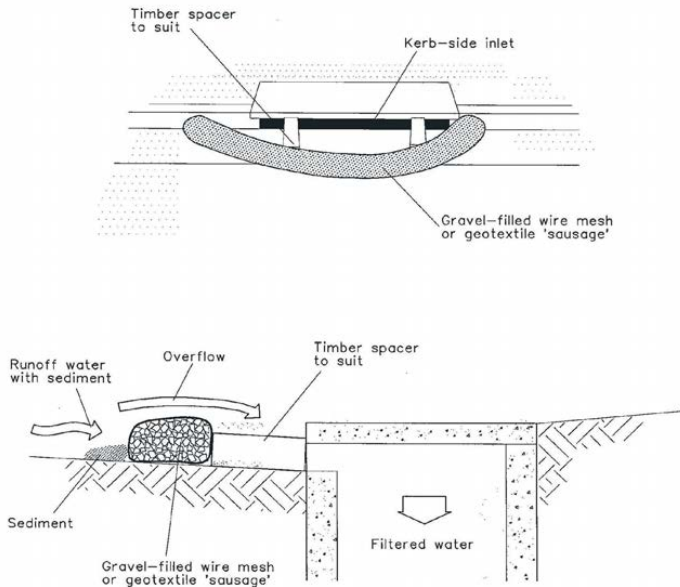
## STABILISED ENTRY / EXIT



## Construction Notes

- Strip at least 150 mm of topsoil, level area and stockpile on site if space available.
- Compact sub-grade.
- Cover area with needle-punched geotextile.
- Construct a 200 mm thick pad over geotextile using aggregate at least 40 mm in size. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
- Construct diversion hump immediately within boundary to divert water to a sediment fence or other sediment trap.

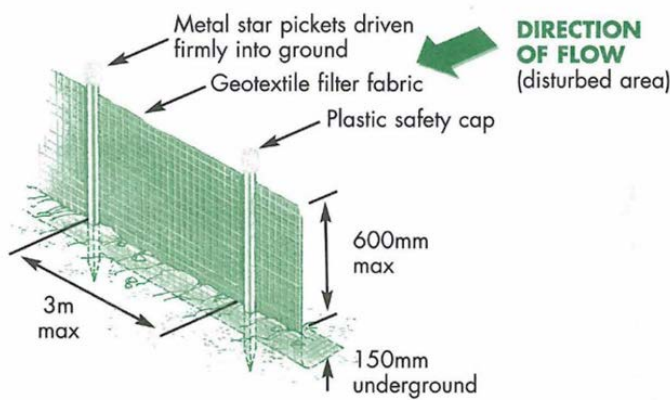
## INLET SEDIMENT TRAP



## Construction Notes

- Install filters to kerb inlets only at sag points.
- Fabricate a sleeve made from geotextile or wire mesh longer than the length of the inlet pit and fill it with 25 mm to 50 mm gravel.
- Form an elliptical cross-section about 150 mm high x 400 mm wide.
- Place the filter at the opening leaving at least a 100-mm space between it and the kerb inlet. Maintain the opening with spacer blocks.
- Form a seal with the kerb to prevent sediment bypassing the filter.
- Sandbags filled with gravel can substitute for the mesh or geotextile providing they are placed so that they firmly abut each other and sediment-laden waters cannot pass between.

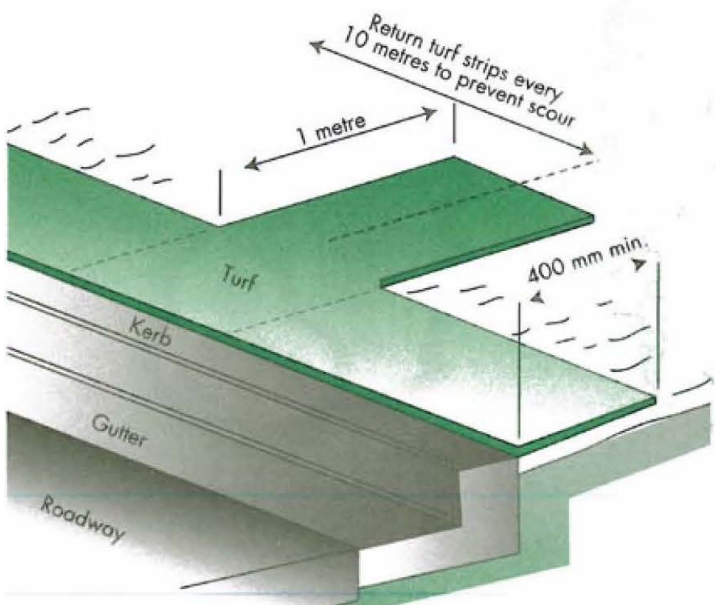
## SEDIMENT FENCING



## Construction Notes

- Construct sediment fences as close as possible to follow the contours of the site.
- Drive 1.5 metre long posts into ground, maximum 3 metres apart.
- Staple to 40 mm square hardwood posts or wire tied to steel posts.
- Dig a 150 mm deep trench along the up-slope line of the fence for the bottom of the fabric to be entrenched.
- Backfill trench over base of fabric and compact on both sides.

## GRASS FILTER STRIPS



## Construction Notes

- Install a 400-mm minimum wide roll of turf on the footpath next to the kerb and at the same level as the top of the kerb.
- Lay 1.4 metre long turf strips normal to the kerb every 10 metres.
- Rehabilitate disturbed soil behind the

Date :	Issue :	Description :

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Project :	Additions & Alterations DA 3 Bakers Road, Church Point Lot 52 in DP 1043879 - 912m2
Client :	Private Residence
Drawing : -	Sediment Control Plan

Drawn/Designed :	PB/MW	Date :	081119
Project Number :	1928	Scale :	1:200 @ A3
Drawing No. :	DA16	Issue :	









Date :	Issue :	Description :

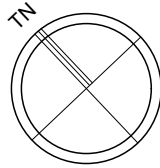
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Project : Additions & Alterations  
DA  
3 Bakers Road, Cherry not to scale  
Lot 52 in DP 1043879 - 912m<sup>2</sup>  
Client : Private Residence  
Drawing : - **Solar June 21-12pm**



Drawn/Designed : PB/MW	Date : 081119
Project Number : 1928	Scale : no scale
Drawing No. : <b>DA18</b>	Issue :



Existing shadow June 21

Proposed shadow June 21

Blue = Proposed Work

Red = Demolition

Black = Existing



Solar June 21 3pm

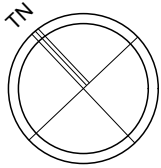
1:200

Date :	Issue :	Description :

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Project : Additions & Alterations  
DA  
3 Bakers Road, Cherry not to scale  
Lot 52 in DP 1043879 - 912m2  
Client : Private Residence  
Drawing : - Solar June 21-3pm



Drawn/Designed : PB/MW  
Project Number : 1928  
Drawing No. : DA19  
Date : 081119  
Scale : no scale  
Issue :