





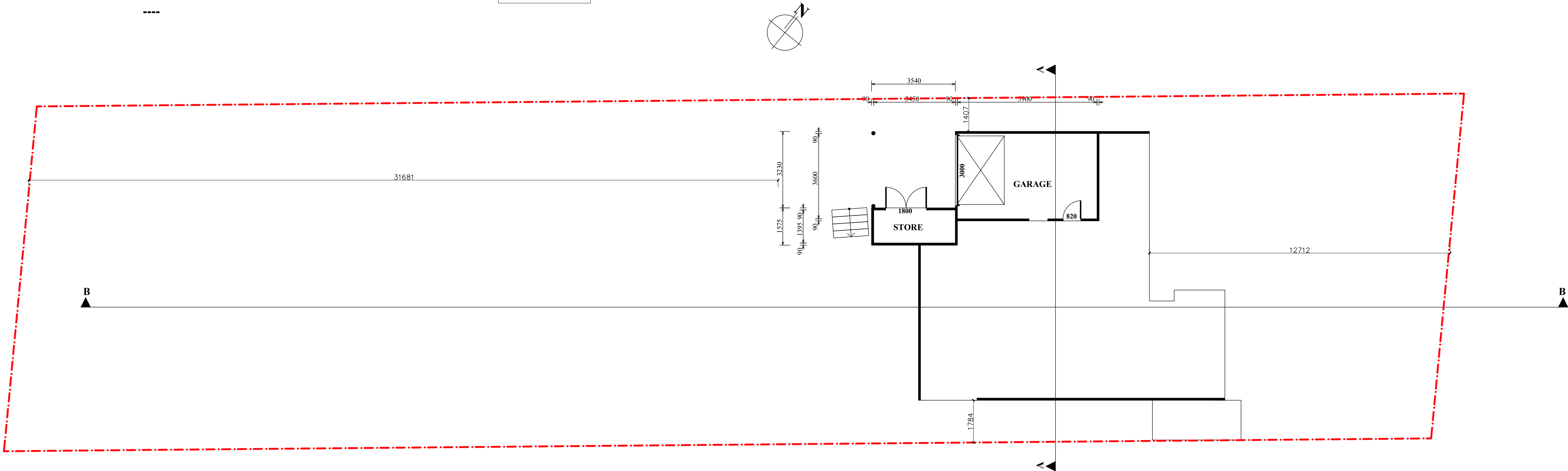
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

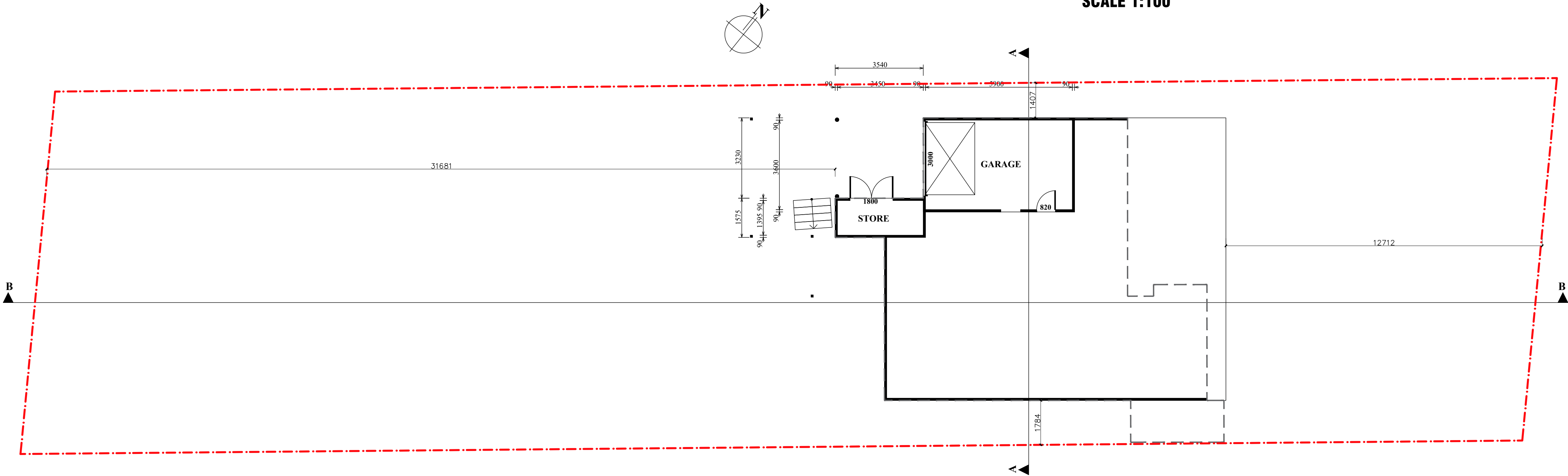
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
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LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO  
COMPLY WITH AS 3786  
☆

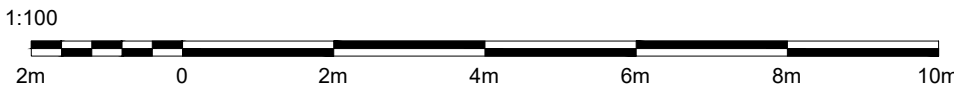


LOWER FLOOR PLAN - EXISTING  
SCALE 1:100



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS
- CONNECT OPS TO EXISTING STORMWATER SYSTEM
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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728 BARRENJOEY RD  
AVALON BEACH  
2107

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

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Project ADDITIONS AND ALTERATIONS	Sheet <b>2</b>
Date 27-Sep-22	
Scale AS SHOWN	

DP No.	11909
LOT No.	53

A	ISSUED FOR DA	10.01.25			
No.	Revision/Issue	Date			

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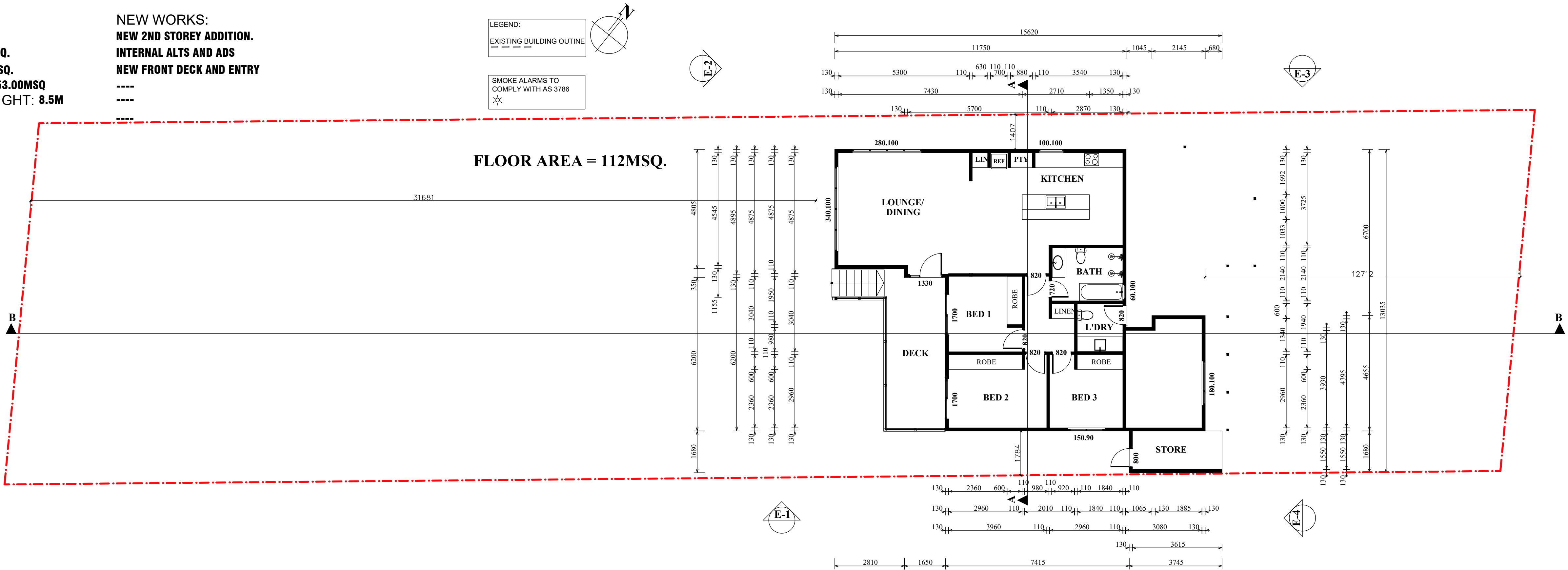
Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107

DEVELOPMENT PROPOSAL

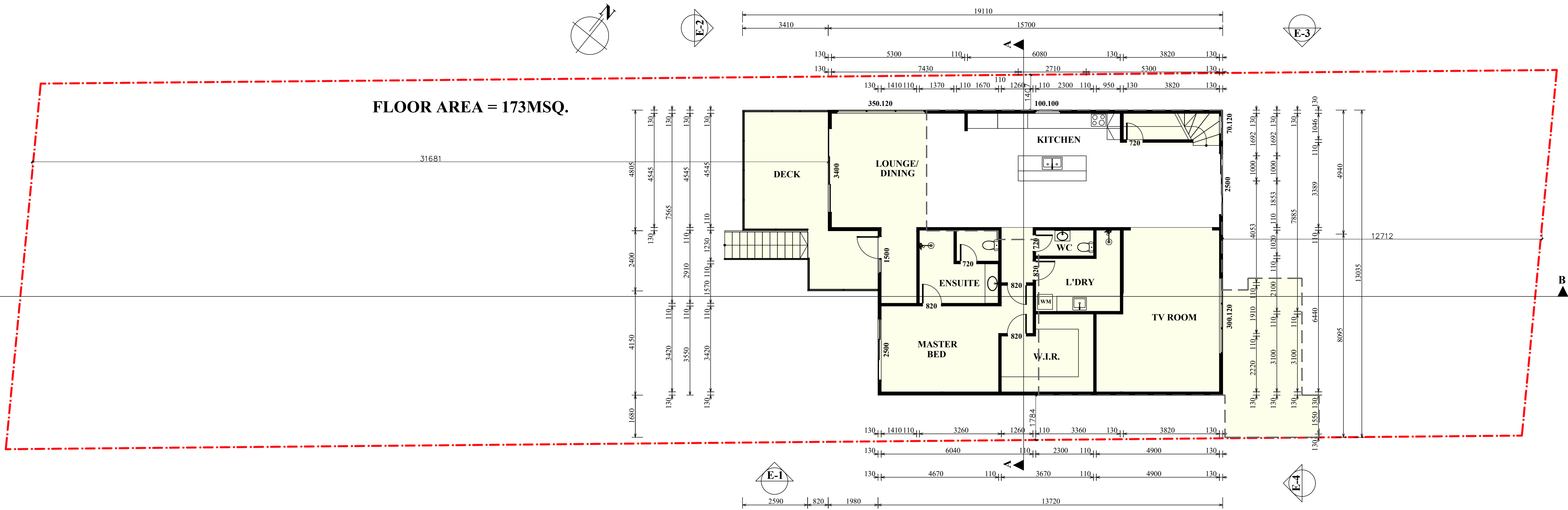
DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY

LEGEND:  
EXISTING BUILDING OUTLINE  
  
SMOKE ALARMS TO COMPLY WITH AS 3786

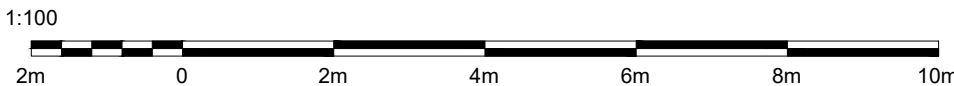


GROUND FLOOR PLAN - EXISTING  
SCALE 1:100



GRPUND FLOOR PLAN - PROPOSED  
SCALE 1:100

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DEVELOPMENT APPLICATION  
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COUNCIL COMPLIANT PLANS

LEGEND:  
--- EXISTING BUILDING OUTLINE  
--- PROPOSED WORK  
General Notes

Project Annotations and Alterations  
Date: 27-Sep-22  
Scale: AS SHOWN

DP No. 11909  
LOT No. 53

Sheet 3

DP No. 11909  
LOT No. 53

A ISSUED FOR DA 10.01.25

No. Revision Issue Date

DRAFTING HELP PTY LTD  
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02 8778 3474

Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107

DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

1000 1000 1000 1000  
 1000 1000 1000 1000  
 1000 1000 1000

SMOKE ALARMS TO  
COMPLY WITH AS 3786



1:100

2m 0 2m 4m 6m 8m 10m

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3D VISUALISATION  
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ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

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Project ADDITONS AND ALTERATIONS	Sheet  <b>4</b>
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 11909

LOT No. **53**


<b>A</b>	<b>ISSUED FOR DA</b>	<b>10.01.25</b>
<b>No.</b>	<b>Revision/Issue</b>	<b>Date</b>

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02 8776 3474

Project Name and Address

**JESSICA L` GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107**

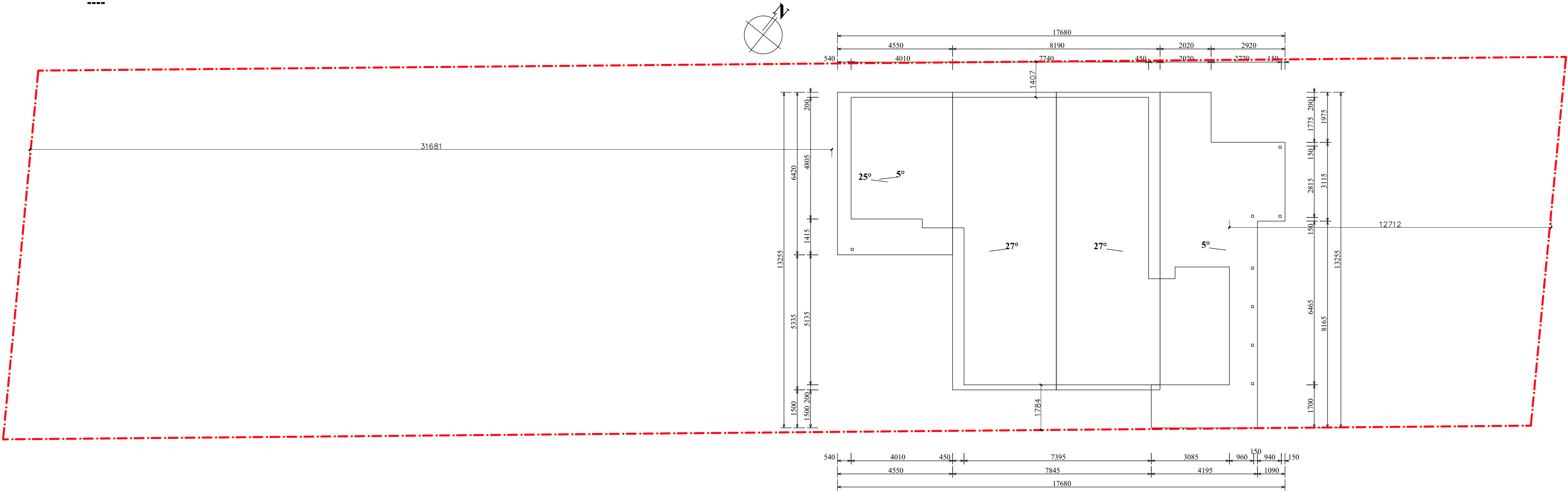
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

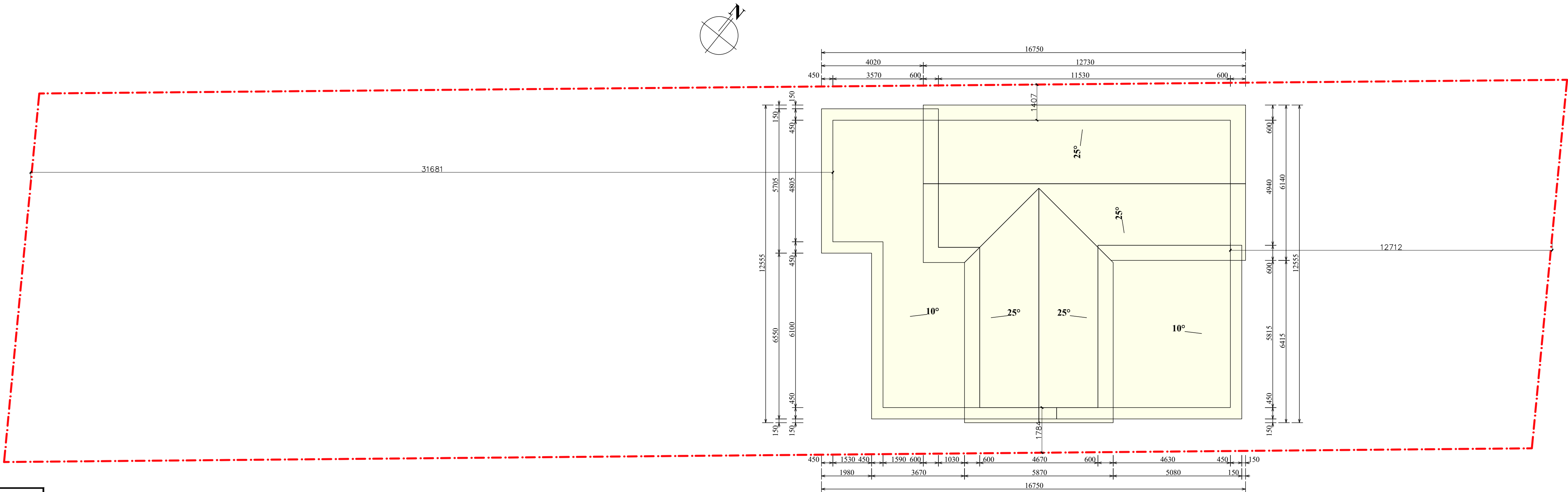
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
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LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
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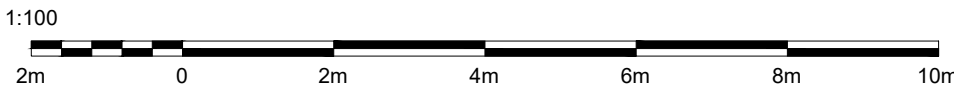


ROOF PLAN - EXISTING  
SCALE 1:100



ROOF PLAN - PROPOSED  
SCALE 1:100

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
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LEGEND:  
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--- PROPOSED WORK

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Project ADDITIONS AND ALTERATIONS  
Date 27-Sep-22  
Scale AS SHOWN

Sheet 5

DP No. 11909  
LOT No. 53

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No. Revision/Issue Date

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Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107



DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY

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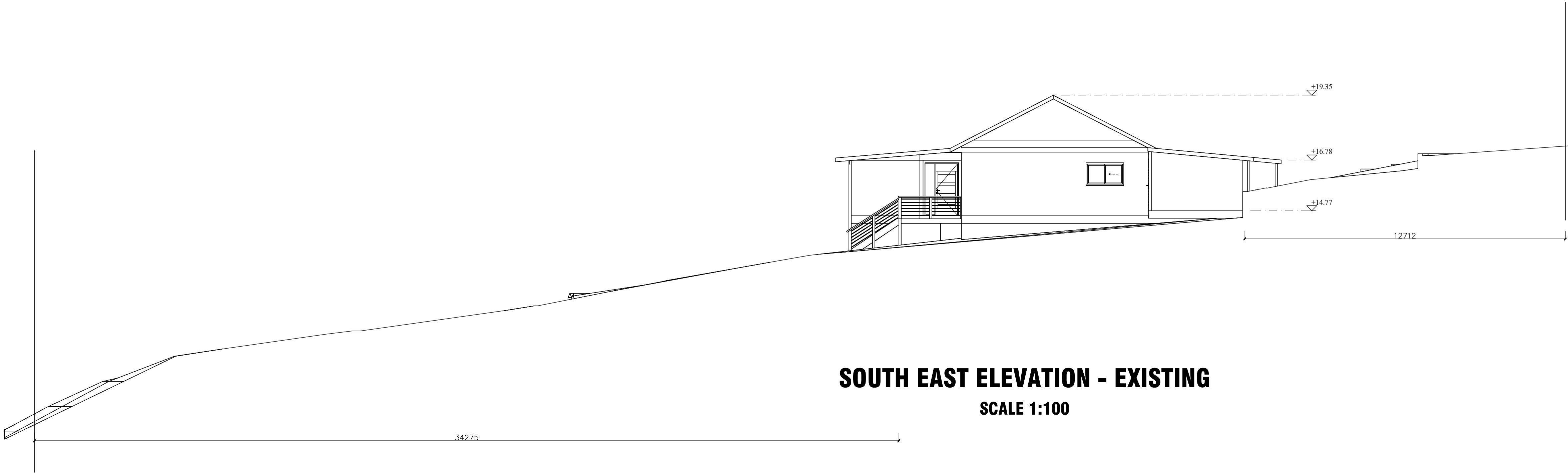
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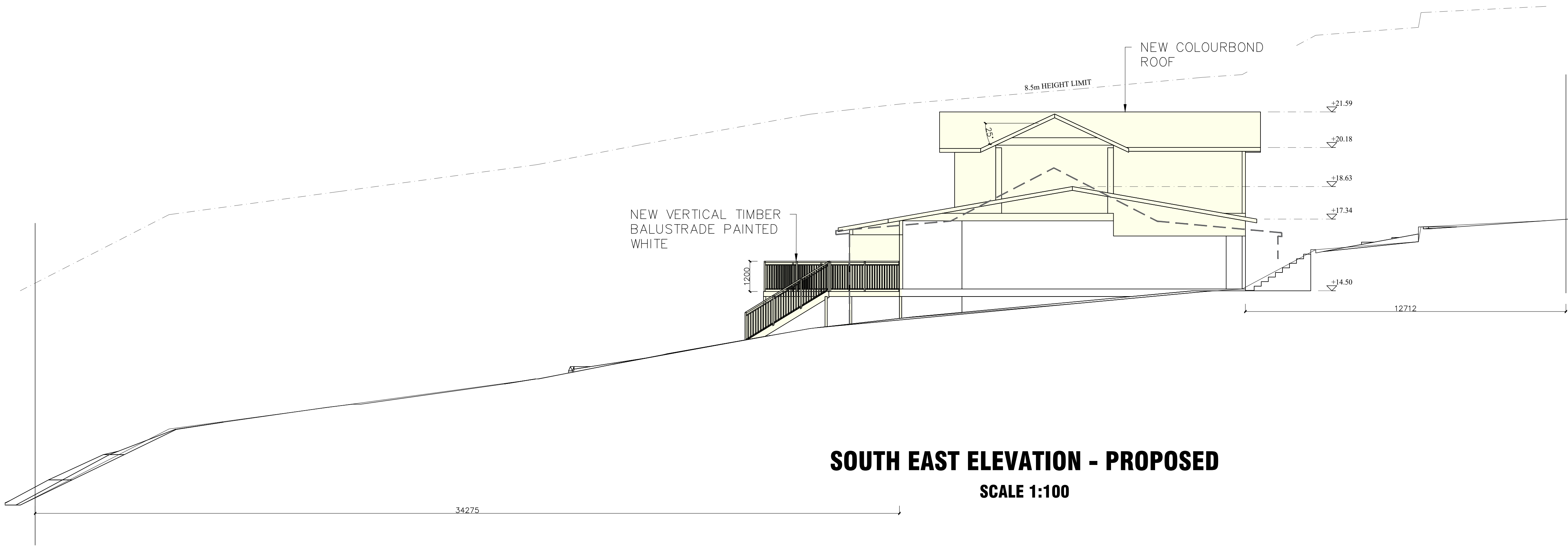
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

☆



SOUTH EAST ELEVATION - EXISTING  
SCALE 1:100

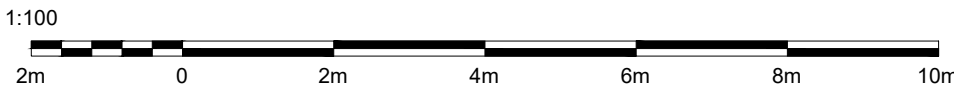


SOUTH EAST ELEVATION - PROPOSED  
SCALE 1:100

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ARCHITECTURAL DRAFTING  
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COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

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Project ADDITIONS AND ALTERATIONS	Sheet 6
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 11909  
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Project Name and Address  
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728 BARRENJOEY RD  
AVALON BEACH  
2107

DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

1000 1000 1000 1000  
 1000 1000 1000 1000  
 1000 1000 1000

SMOKE ALARMS TO  
COMPLY WITH AS 3786



1:100

2m 0 2m 4m 6m 8m 10m

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 **EXISTING BUILDING OUTLINE**  
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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	<b>7</b>
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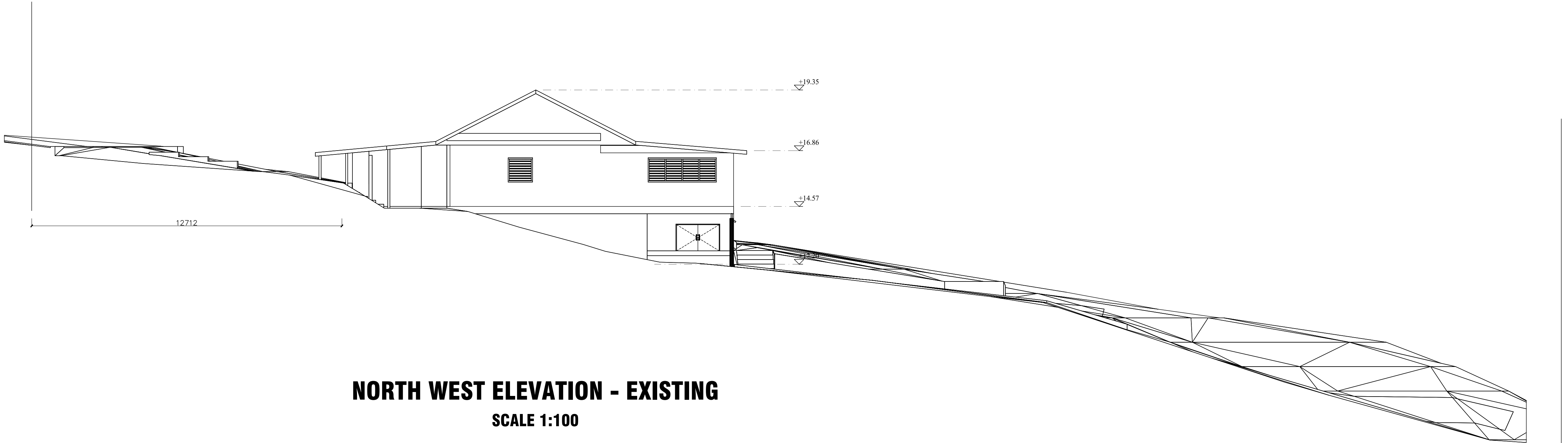
DEVELOPMENT PROPOSAL

DP: 11909  
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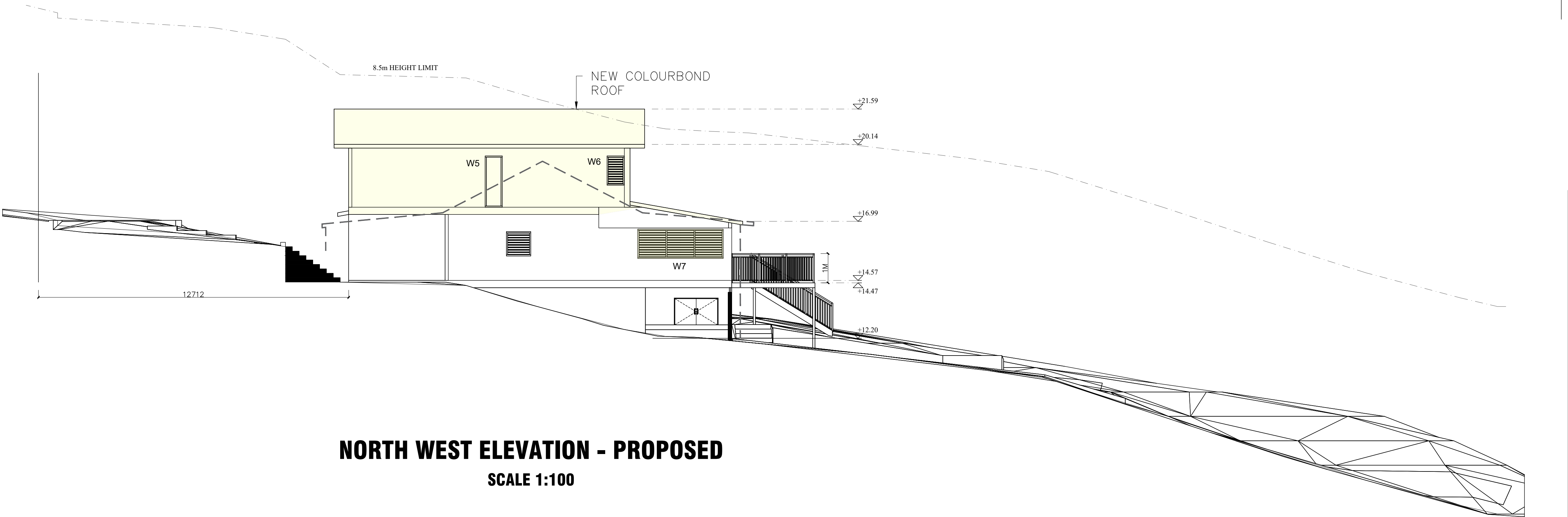
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
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LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
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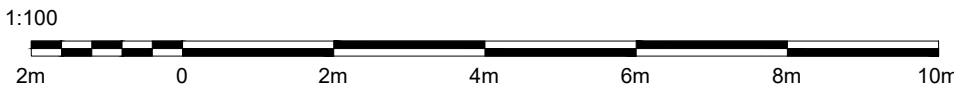
NORTH WEST ELEVATION - EXISTING  
SCALE 1:100



NORTH WEST ELEVATION - PROPOSED  
SCALE 1:100

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Project Additions and Alterations	Sheet 8
Date 27-Sep-22	
Scale AS SHOWN	

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Project Name and Address  
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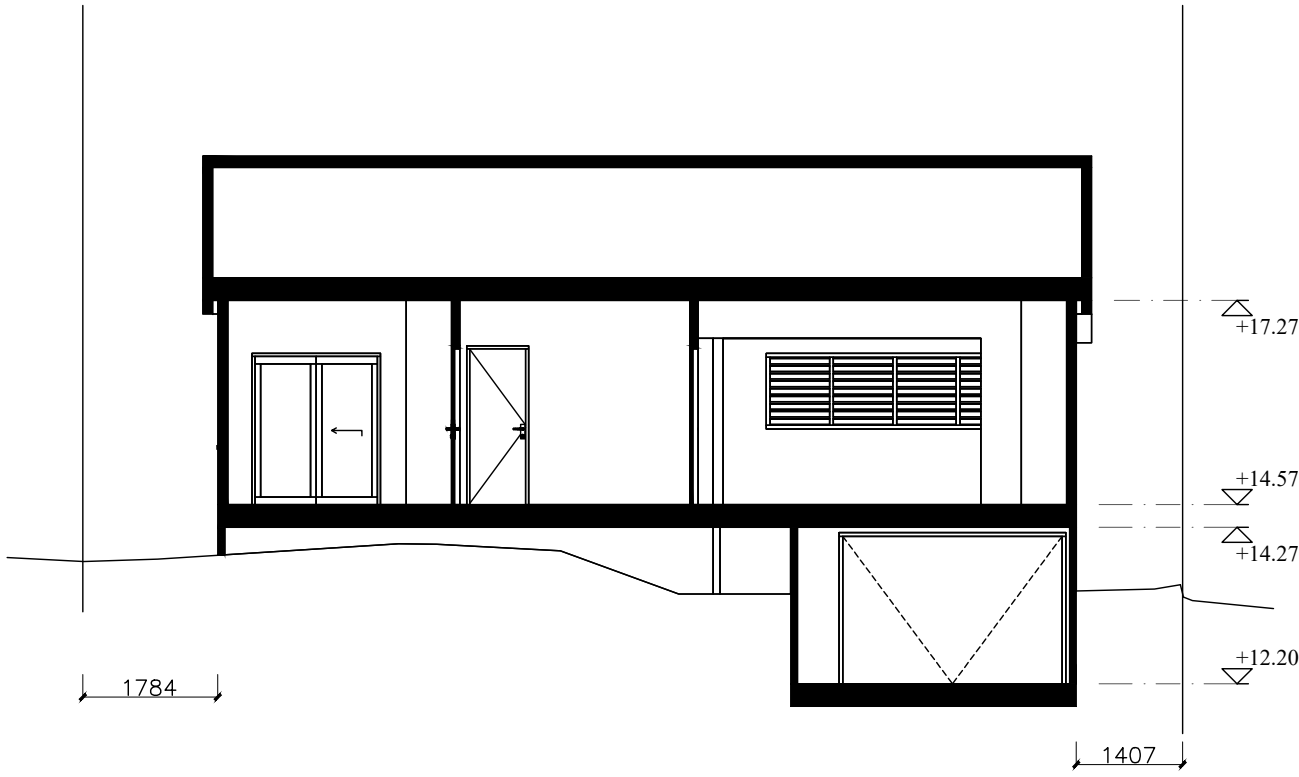
DEVELOPMENT PROPOSAL

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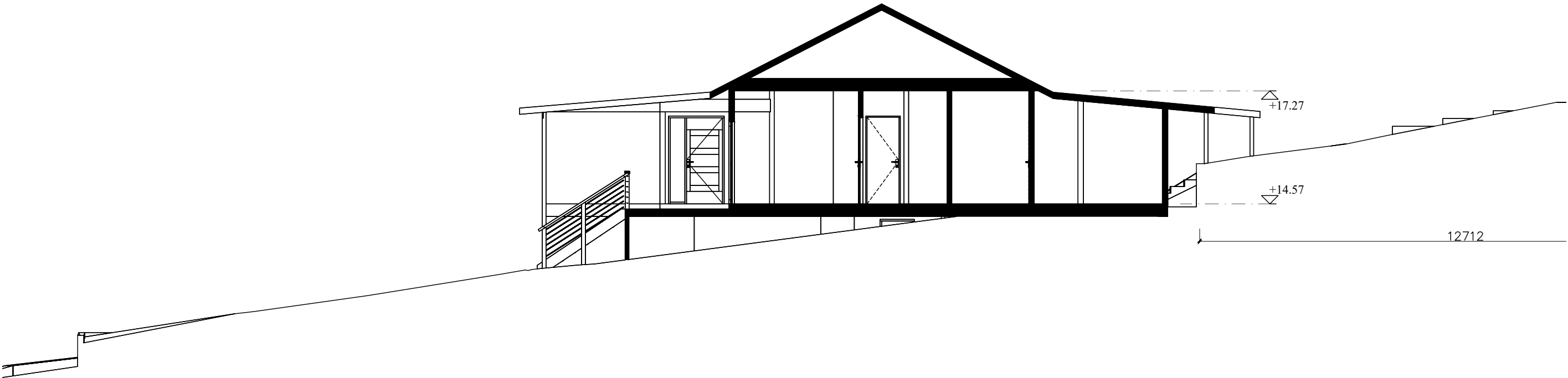
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LEGEND:  
EXISTING BUILDING OUTLINE

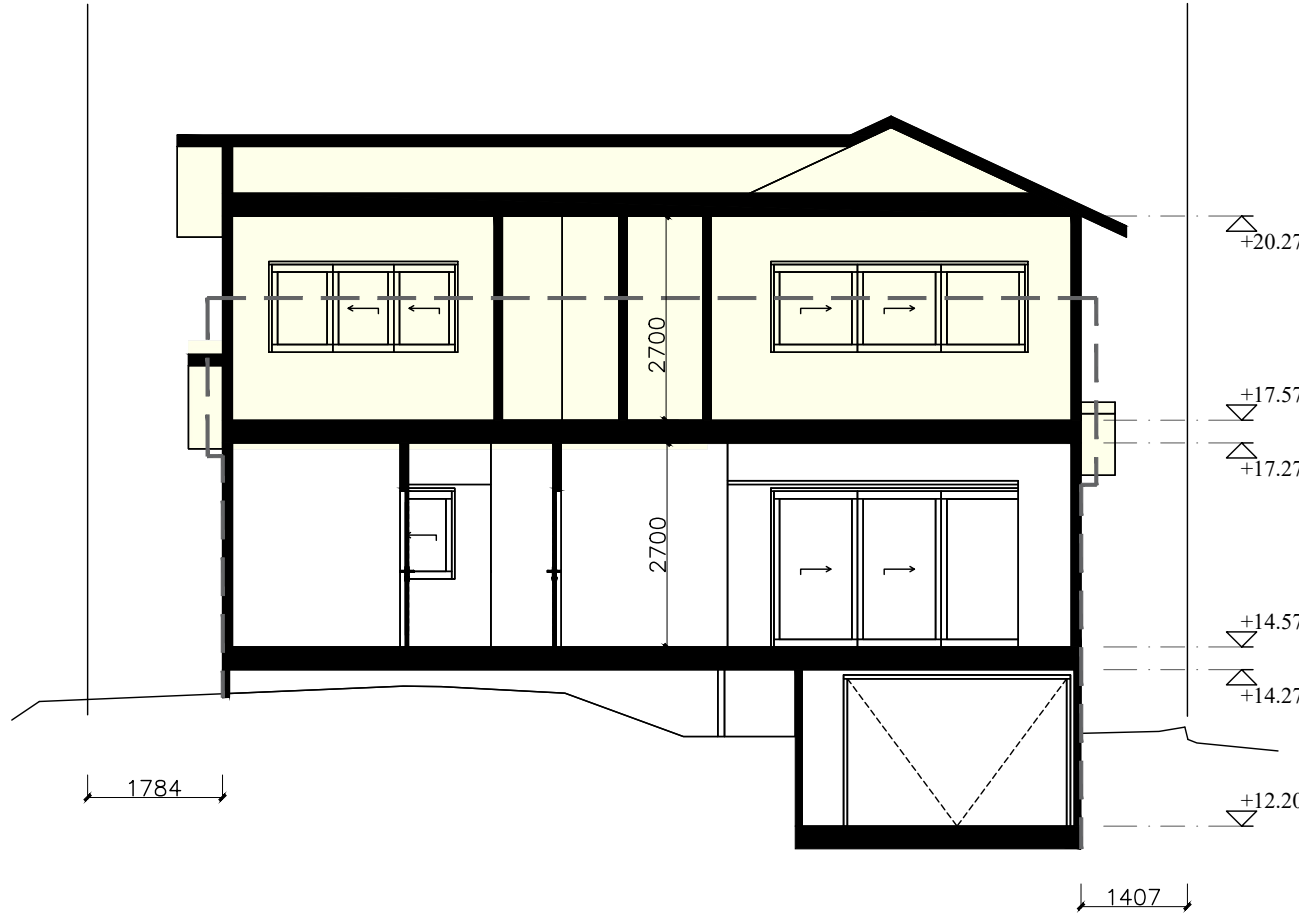
SMOKE ALARMS TO  
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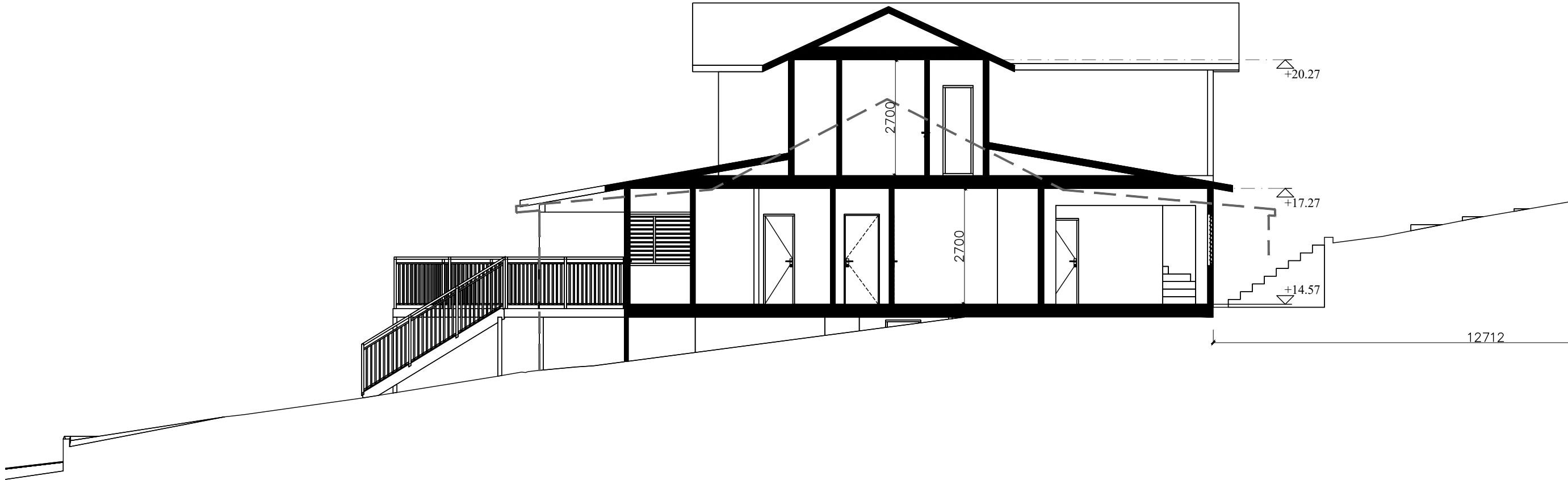
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SCALE 1:100



SECTION - EXISTING  
SCALE 1:100



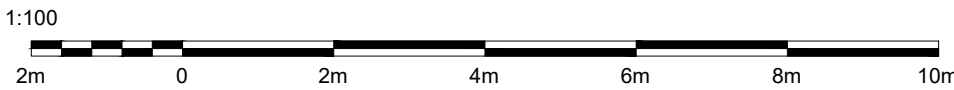
SECTION - PROPOSED  
SCALE 1:100



SECTION - PROPOSED  
SCALE 1:100

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- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS
- CONNECT DIPS TO EXISTING STORMWATER SYSTEM
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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AVALON BEACH  
2107

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:

---

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

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Project Additions and Alterations	Sheet <b>9</b>
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 11909  
LOT No. 53

A	ISSUED FOR DA	10.01.25			
No.	Revision/Issue	Date			

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MONA VALE 2103  
www.draftinghelp.com.au  
02 8776 3474

Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107

DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

1000 1000 1000 1000  
 1000 1000 1000 1000  
 1000 1000 1000 1000

SMOKE ALARMS TO  
COMPLY WITH AS 3786



**LEGEND:**

 EXISTING WORKS TO BE REMOVED

1:100

2m 0 2m 4m 6m 8m 10m

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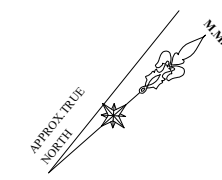
**JESSICA L` GREEN**  
**728 BARRENJOEY RD**  
**AVALON BEACH**  
**2107**



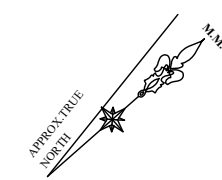
DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

1000 1000 1000 1000  
 1000 1000 1000 1000  
 1000 1000 1000 1000

SMOKE ALARMS TO  
COMPLY WITH AS 3786

 SOFT SURFACE - 649.30 m<sup>2</sup> / 75%

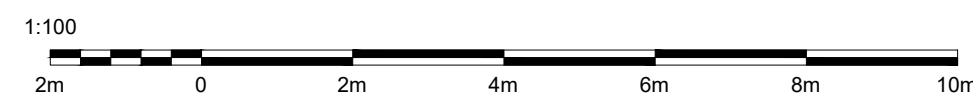
**SCALE 1:200**

 SOFT SURFACE - 637.30 m<sup>2</sup> / 74%

**SCALE 1:200**

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**LEGEND:**  
 **EXISTING BUILDING OUTLINE**  
 **PROPOSED WORK**

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Project Name and Address

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**728 BARRENJOEY RD**  
**AVALON BEACH**  
**2107**







DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

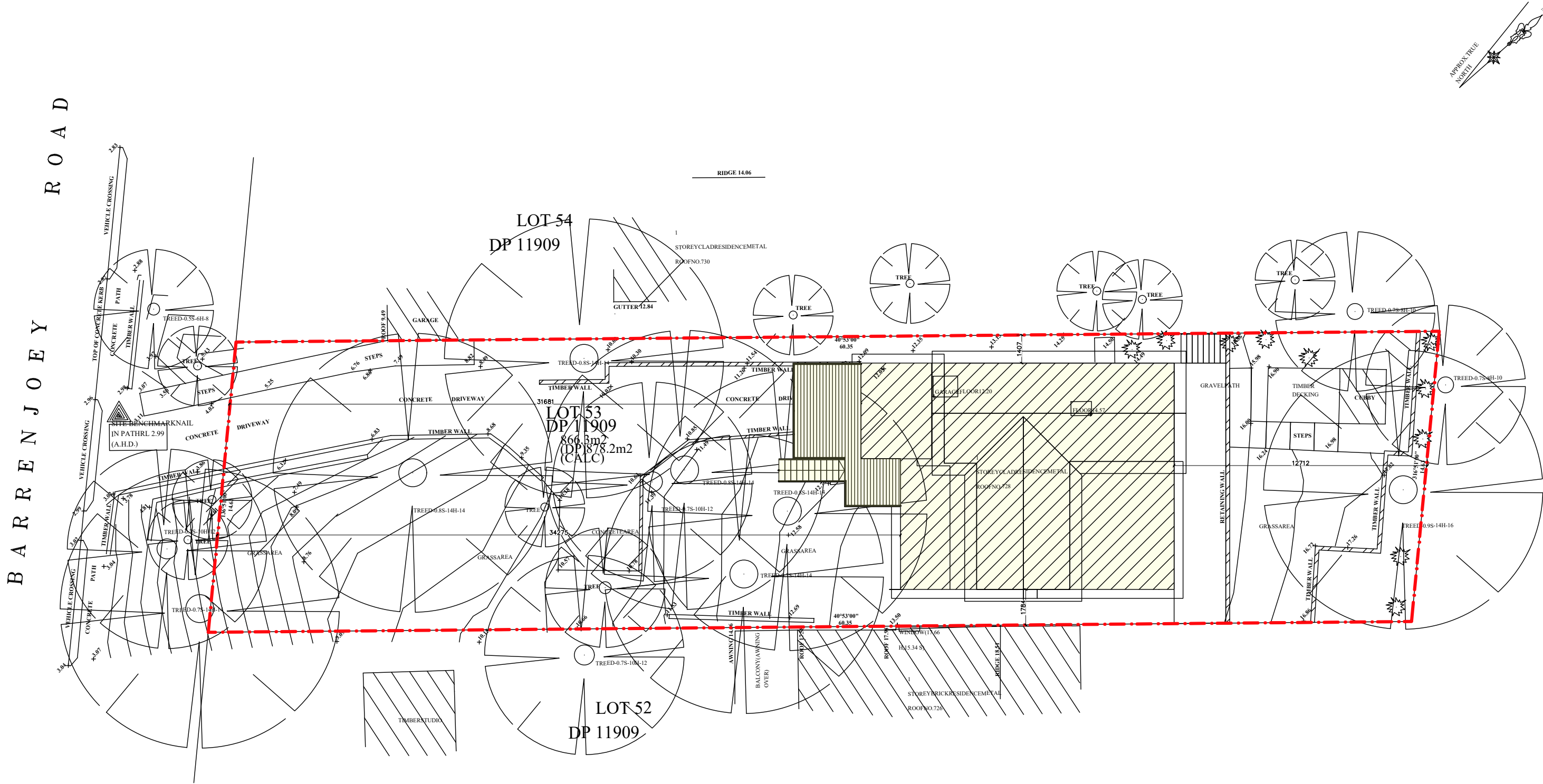
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY

LEGEND:

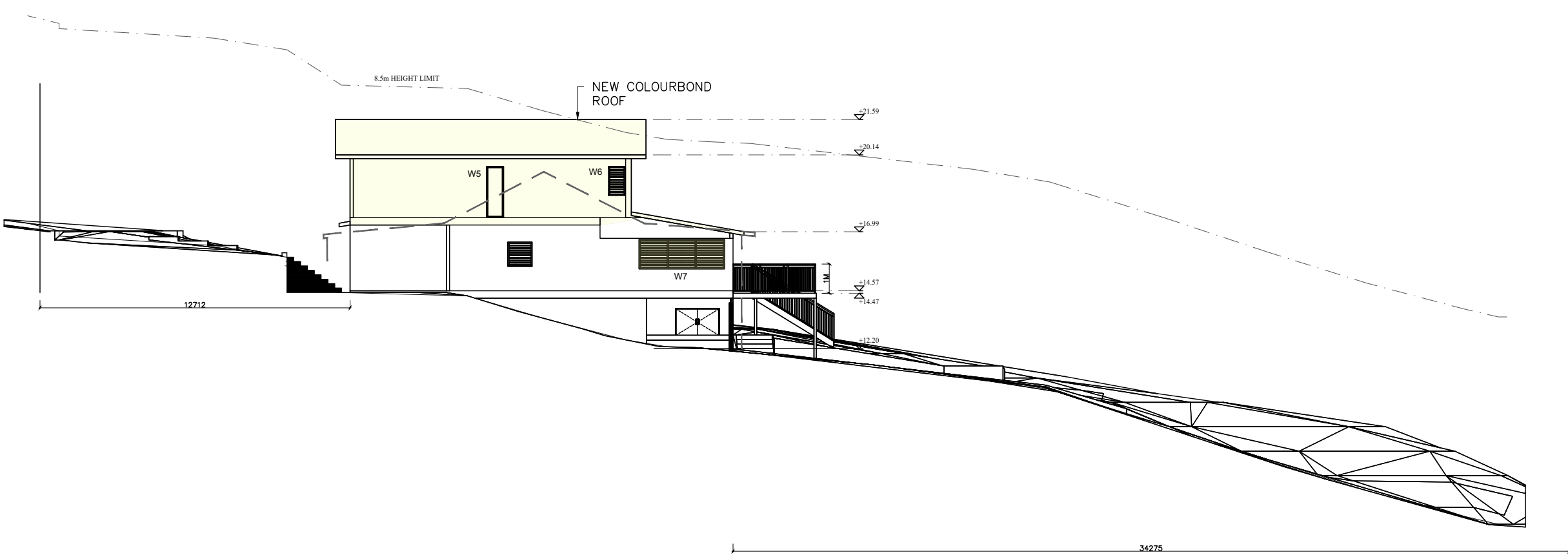
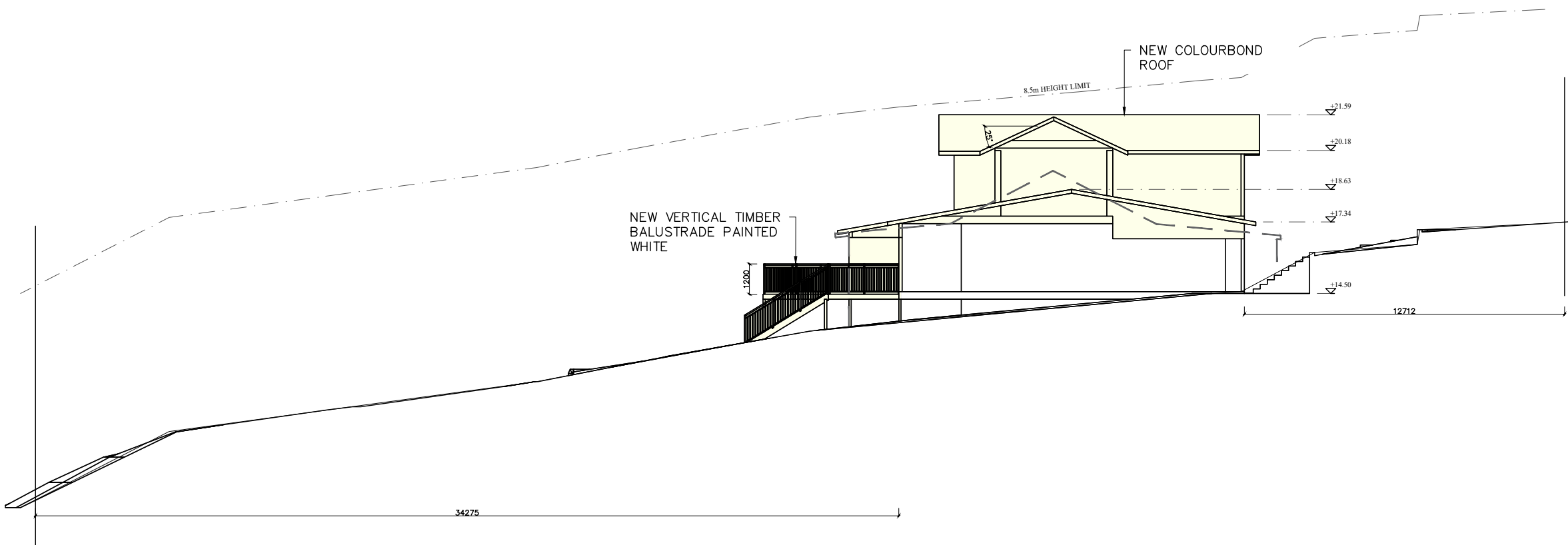
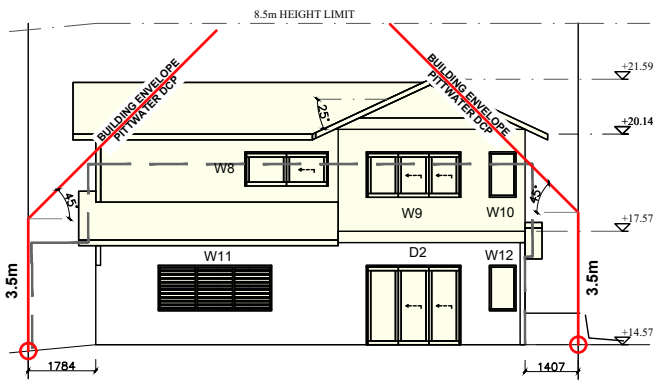
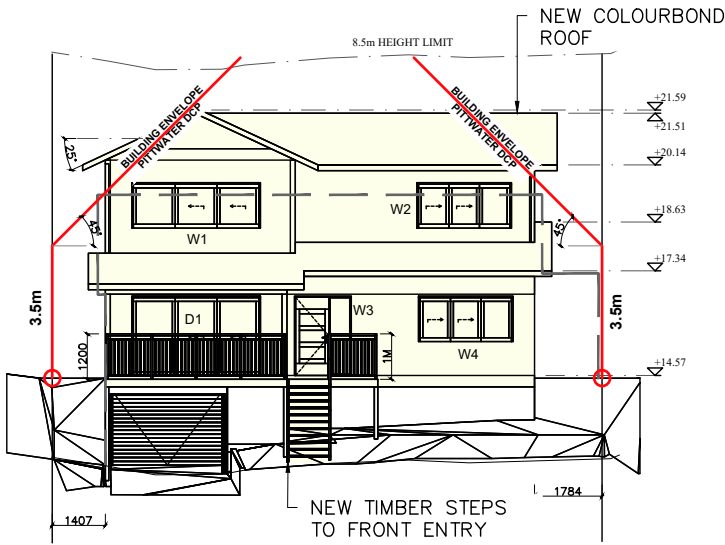
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

☆

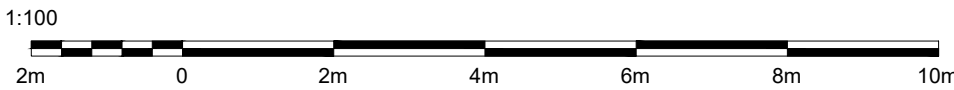


NOTIFICATION PLAN



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LEGEND:  
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Project: ADDITIONS AND ALTERATIONS  
Date: 27-Sep-22  
Scale: AS SHOWN  
Sheet: 12

DP No. 11909  
LOT No. 53

A ISSUED FOR DA 10.01.25  
No. Revision/Issue Date

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