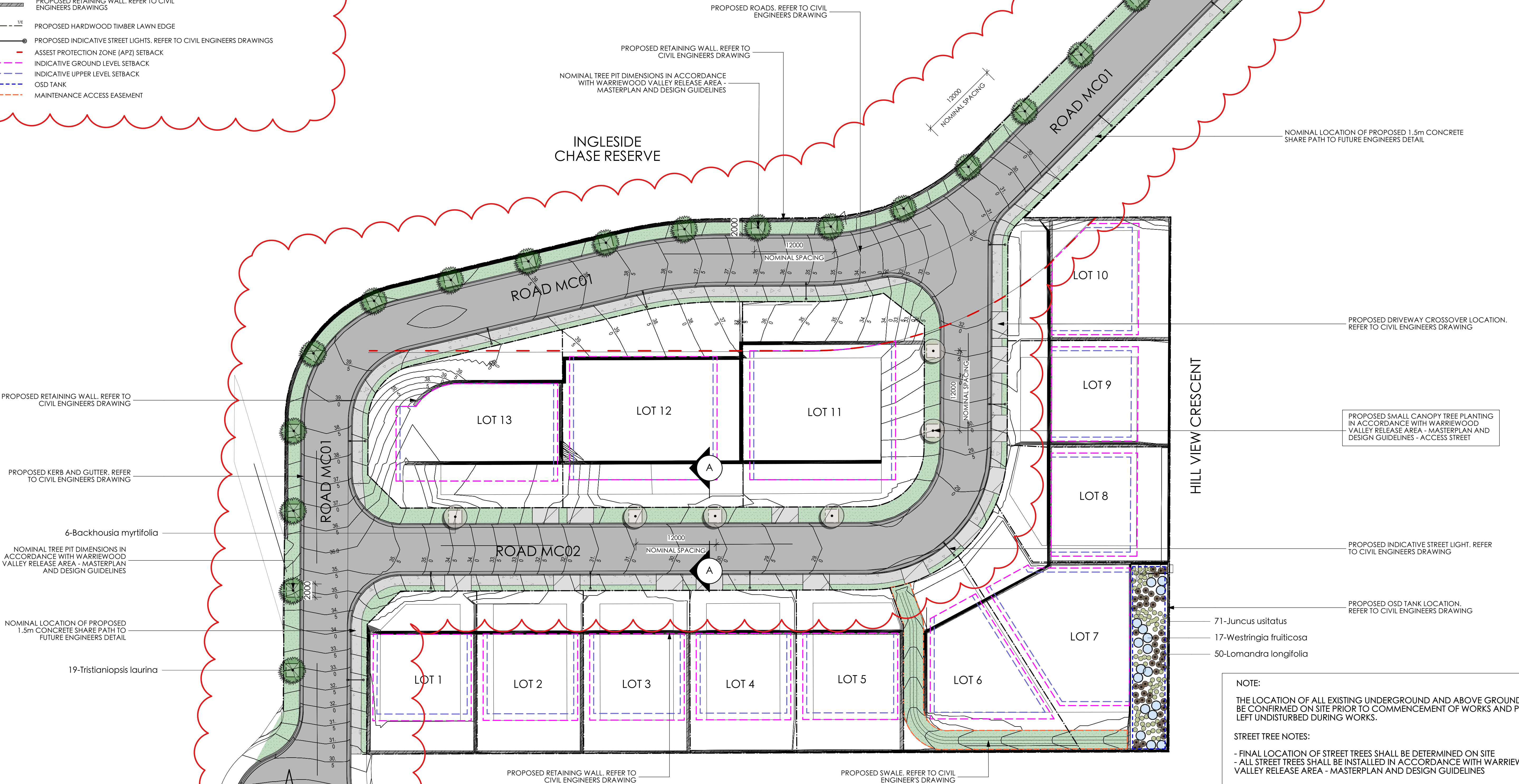


LEGEND:

- +RL10.23 FINISHED GROUND LEVEL
+TOW RL10.99 PROPOSED TOP OF WALL LEVEL
+TOW RL10.99 EXSITING LEVELS - SURVEY
--- CADASTRAL BOUNDARY
PROPOSED ROAD, REFER TO CIVIL ENGINEERS DRAWINGS
PROPOSED NOMINAL SHARE PATH LOCATION, REFER TO CIVIL ENGINEERS DRAWINGS
PROPOSED DRIVEWAY CROSSOVER LOCATION, REFER TO CIVIL ENGINEERS DRAWINGS
PROPOSED LAWN AREA
PROPOSED RETAINING WALL, REFER TO CIVIL ENGINEERS DRAWINGS
--- PROPOSED HARDWOOD TIMBER LAWN EDGE
--- PROPOSED INDICATIVE STREET LIGHTS, REFER TO CIVIL ENGINEERS DRAWINGS
--- ASSEST PROTECTION ZONE (APZ) SETBACK
--- INDICATIVE GROUND LEVEL SETBACK
--- INDICATIVE UPPER LEVEL SETBACK
--- OSD TANK
--- MAINTENANCE ACCESS EASEMENT

INGLESIDE
CHASE RESERVE



NOTE:
REFER CIVIL DOCUMENTATION PREPARED BY ACOR CONSULTANTS

NOTE:
REFER DWG L/03 - PLANTING SCHEDULE & LANDSCAPE SPECIFICATION FOR PLANTING SCHEDULE FOR PROJECT

No.	Date	REVISION	By
C	17/10/23	UPDATED TO COUNCIL RESPONSE	OC
B	7/12/23	UPDATED FOR COUNCIL RESUBMISSION	OC
A	7/12/22	AMENDED IN RESPONSE TO COUNCIL PRE-LODGEEMENT MEETING	OC

Notes:

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Legend:

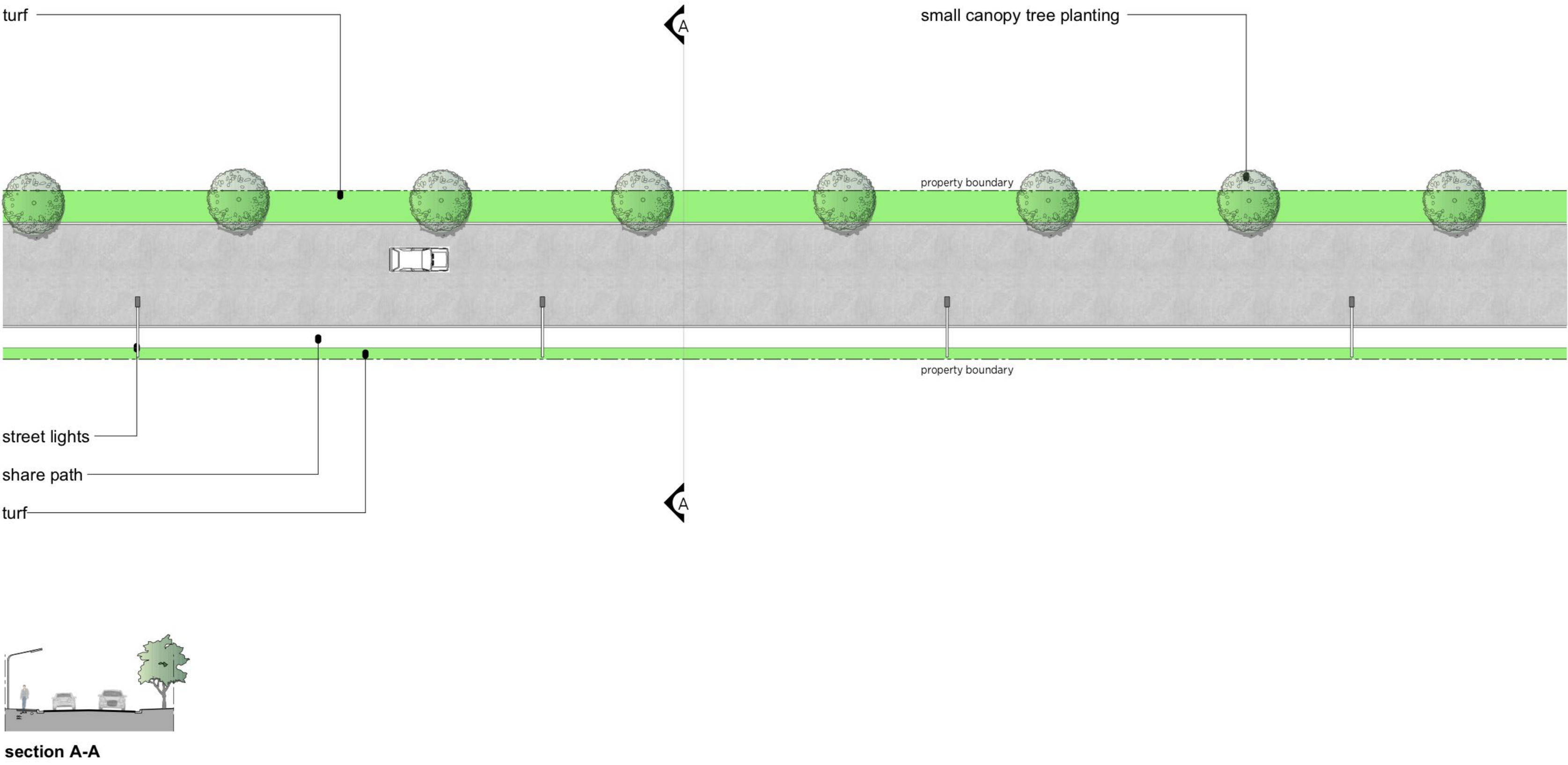
BMN
PROPERTY

Drawing:
Proposed Public Domain Plan
Address:
4 Forest Road, Warriewood NSW 2102
Project:
Residential Subdivision
Client:
BMN Properties Pty Ltd

A Total Concept Landscape Architects
& Swimming Pool Designers
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landscape architects & swimming pool designers

Status	Project No.
SCALE - 1:300 @ A1	BMN
Drawn By OC Checked By KR CAD File Name Warriewood Subdivision - Rev 5.dwg	Drawing No. L/01 C Rev # OF 5



Landscape Materials Schedule			
S-4			
SHARE PATH	1.5m wide min. concrete construction with broom surface finish to Australian Standards	SOIL PREPARATION: TREE PLANTING	Existing subgrade shall be excavated to loosen the ground conditions to at least 700mm for tree planting
TURF AREAS	existing subgrade shall be excavated to loosen the ground conditions to 200mm depth retain all quality existing topsoil in place, subject to approval from Council poor existing soils shall be replaced with minimum 100mm depth imported soilmix as nominated, subject to approval from Council		Retain all quality existing topsoil in place, subject to approval from Council Poor existing soils shall be replaced with minimum 700mm depth for tree planting with imported soilmix as nominated, subject to approval from Council
REFER TO CURRENT WARRIEWOOD VALLEY ROADS MASTER PLAN FOR ROAD RESERVE AND CARRIAGEWAY WIDTHS			
		PLANTING	All trees installed shall be certified as compliant to Natspec's Specifying Trees
		tree pits 200 litre stock	Tree pits shall be a minimum of 700mm depth x 2.0m wide
		soilmix and mulch	Backfilling soilmix shall consist of approved existing site topsoil or replacement soilmix subject to Council approval All tree pit backfilling shall consist of 100% sandy loam, followed by a 100mm depth toplayer of organic humus mix Mulch shall consist of 75mm coarse hardwood chip mulch
		tree guards	All street trees shall include hardwood tree guards as follows, and subject to final approval by Council: Hardwood timber construction consisting of 4 x 75x75 posts into a concrete slurry base set at 1 metre apart, to sit 1.5m above the ground and 1m into the ground, with top and mid rails 25x75, fastened to the posts. Details are to be submitted on all plans. Shall be selected as listed under section 2.0 Plant Species, for Small Canopy Trees, or as advised by Council Specification: 200 litre container, 3m overall height above ground, 1.8m clear trunk, 40mm caliper, and to be approved by Council.
		tree selection 200 litre stock	

Access Street

S-4

2018

Guidelines

Principles

Street tree planting to be installed as per masterplan generally at 6-12m intervals dependant of the species characteristics, mature size and location.

All street trees for S-3 are to be a minimum 200 litre stock for medium canopy trees, and subject to final approval by Council. All street trees shall be subject to pre-order of plant material. All trees to be grown by recognised nursery under natspec growing guidelines. Alternative street tree container sizes may be considered only when existing services or road infrastructure limit the available soil volume where a large rootball will not be possible, subject to Council approval.

Existing trees over 3 metres in height are to be retained where possible, with consideration to health and condition, within the road reserve. Such trees are to be protected through perimeter 1.8 metre high temporary fencing during the construction of works.

Water points to be provided to verge planting areas at 50-100m centres dependent on ultimate street layout.

All pram or disabled access ramps to be in accordance with Austroroad, DDA and Australian Standards.

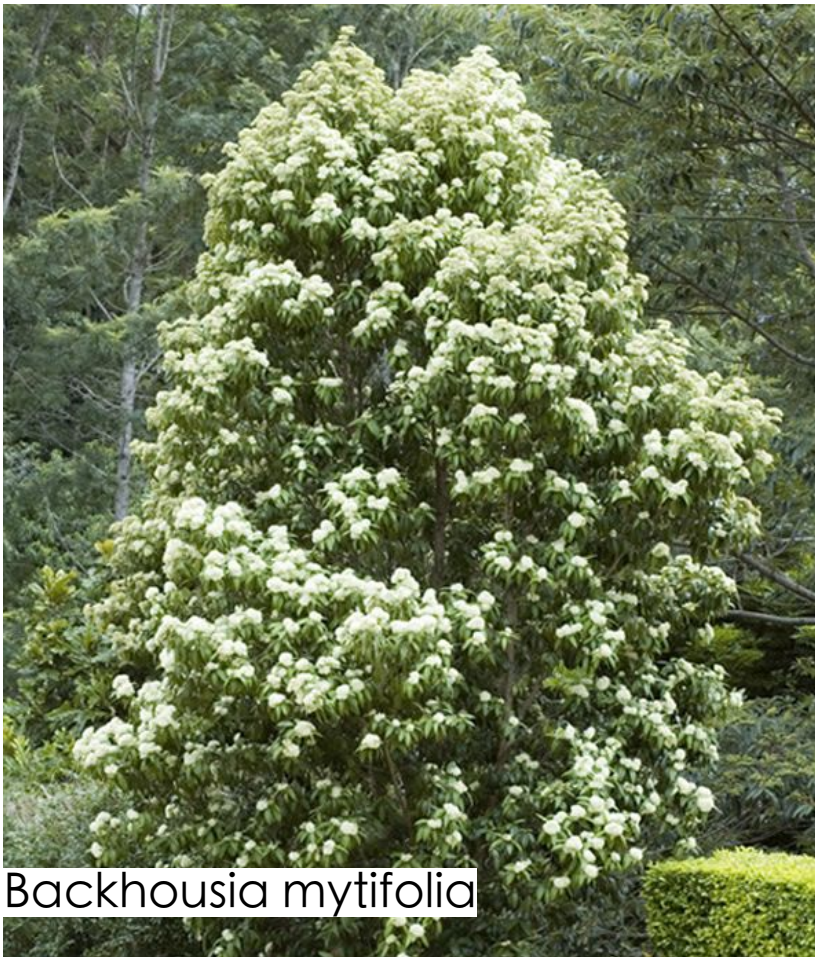
All proposed works must be liaised with utility authorities (via Dial Before You Dig) with utility location drawings kept on site at all times.

All trees planted in turf shall include timber edges with min. 2m x 2m hardwood edging and mulched pit

Generally all plant material is to be endemic to the area. Plant material not endemic to the area may be used to accent planting for nominated entries or features but kept to a design minimum.

Street lighting poles must be conventional Energy Australia, i.e. either Decorative Style No.1 or Style No.2.

ACCESS STREET - STREET TREES



NORTHERN BEACHES
COUNCIL

Warriewood Valley Release Area
MASTERPLAN AND DESIGN GUIDELINES

NOTE:
REFER WARRIEWOOD VALLEY RELEASE AREA - MASTERPLAN AND DESIGN GUIDELINES

NOTE:
REFER CIVIL DOCUMENTATION PREPARED BY ACOR CONSULTANTS

Notes:				Legend:				Drawing:				Status				Project No.			
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.								Proposed Public Domain Landscape Details				A Total Concept Landscape Architects & Swimming Pool Designers				BMN			
2. Do not scale from drawings.								Address:				65 Wall Street, North Sydney NSW 1586				Drawing No.			
3. If in doubt contact Landscape Architect.								4 Forest Road, Warriewood NSW 2102				1: 02 9957 5122 E: design@atotalconcept.com.au				Rev #			
4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.								Project:				www.atotalconcept.com.au				L/02 C			
5. This plan has been prepared for DA purposes only.								Residential Subdivision				atc				OF 5			
6. All Building Works shall be installed to Structural Engineers detail								Client:				a total concept landscape architects & swimming pool designers							
								BMN Properties Pty Ltd				Warriewood Subdivision - Rev 2.0							
No.	Date	REVISION	By																

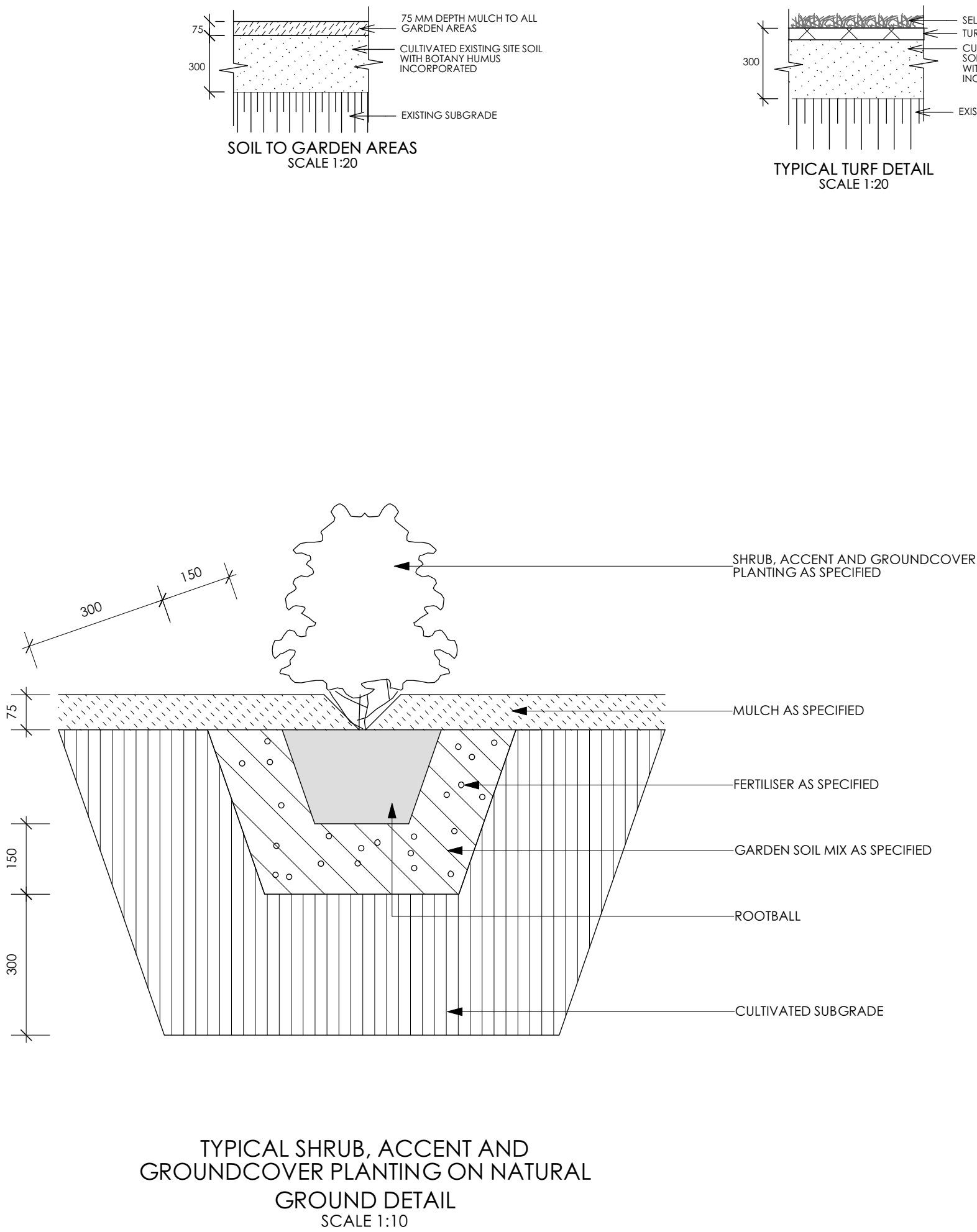
PLANTING SCHEDULE (ENTIRE PROJECT)

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Backhousia myrtifolia	Grey Myrtle, Lancewood	6	200lt	3500	4500
Juncus usitatus	Common Rush	71	2.5lt	700	700
Lomandra longifolia	Native Grass	50	2.5lt	900	900
Tristaniopsis laurina	Water Gum	19	200lt	4000	8000
Westringia fruticosa	Coastal Rosemary	17	10lt	1500	1500

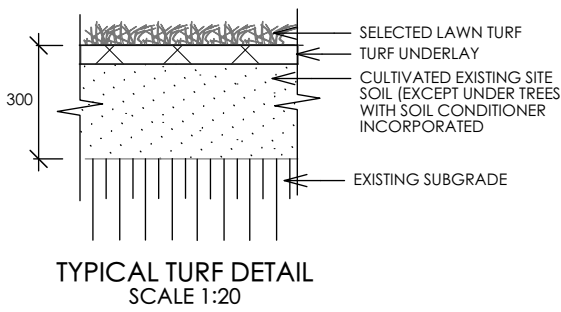
INDICATES PROPOSED STREET TREES

NOTES:

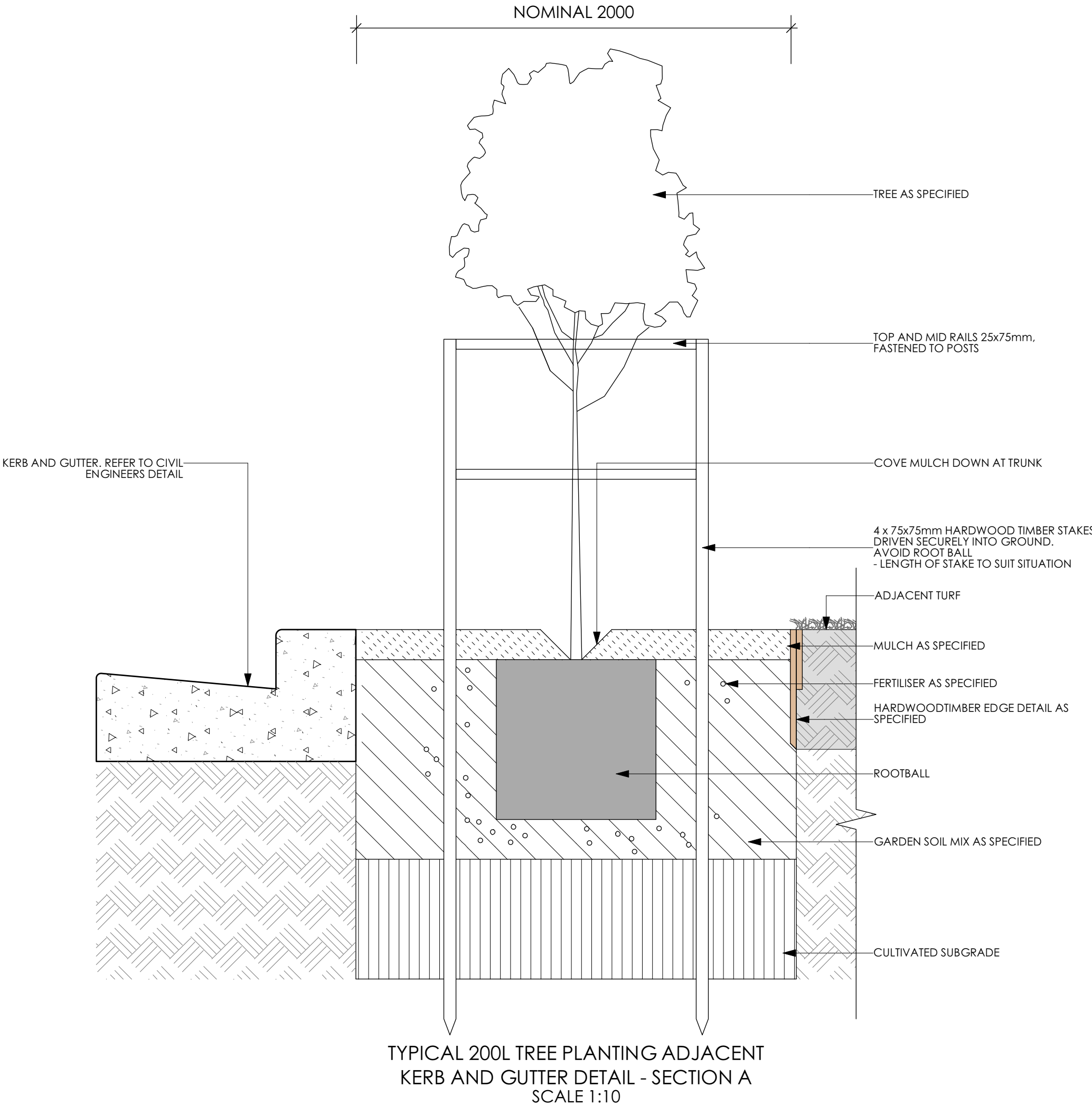
- ALL PROPOSED PLANTING HAS BEEN SELECTED FROM THE NORTHERN BEACHES COUNCIL, WARRIEWOOD VALLEY RELEASE AREA - MASTERPLAN AND DESIGN GUIDELINES PLANT SPECIES FOR LANDSCAPE DEVELOPMENT



TYPICAL SHRUB, ACCENT AND GROUNDCOVER PLANTING ON NATURAL GROUND DETAIL
SCALE 1:10



TYPICAL TURF DETAIL
SCALE 1:20



TYPICAL 200L TREE PLANTING ADJACENT KERB AND GUTTER DETAIL - SECTION A
SCALE 1:10

NOTE:
REFER CIVIL DOCUMENTATION PREPARED BY ACOR CONSULTANTS

No.	Date	REVISION	By
C	17/10/23	UPDATED TO COUNCIL RESPONSE	OC
B	7/2/23	UPDATED FOR COUNCIL RESUBMISSION	OC
A	7/12/22	AMENDED IN RESPONSE TO COUNCIL PRE-LODGEEMENT MEETING	OC

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6. All Building Works shall be installed to Structural Engineers detail

Legend:

BMN PROPERTY

PRELIMINARY

Drawing:	Planting Schedule & Landscape Details
Address:	4 Forest Street, Warriewood NSW 2106
Project:	Public Domain
Client:	BMN Properties Pty Ltd

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68 West Street North Sydney NSW 2060
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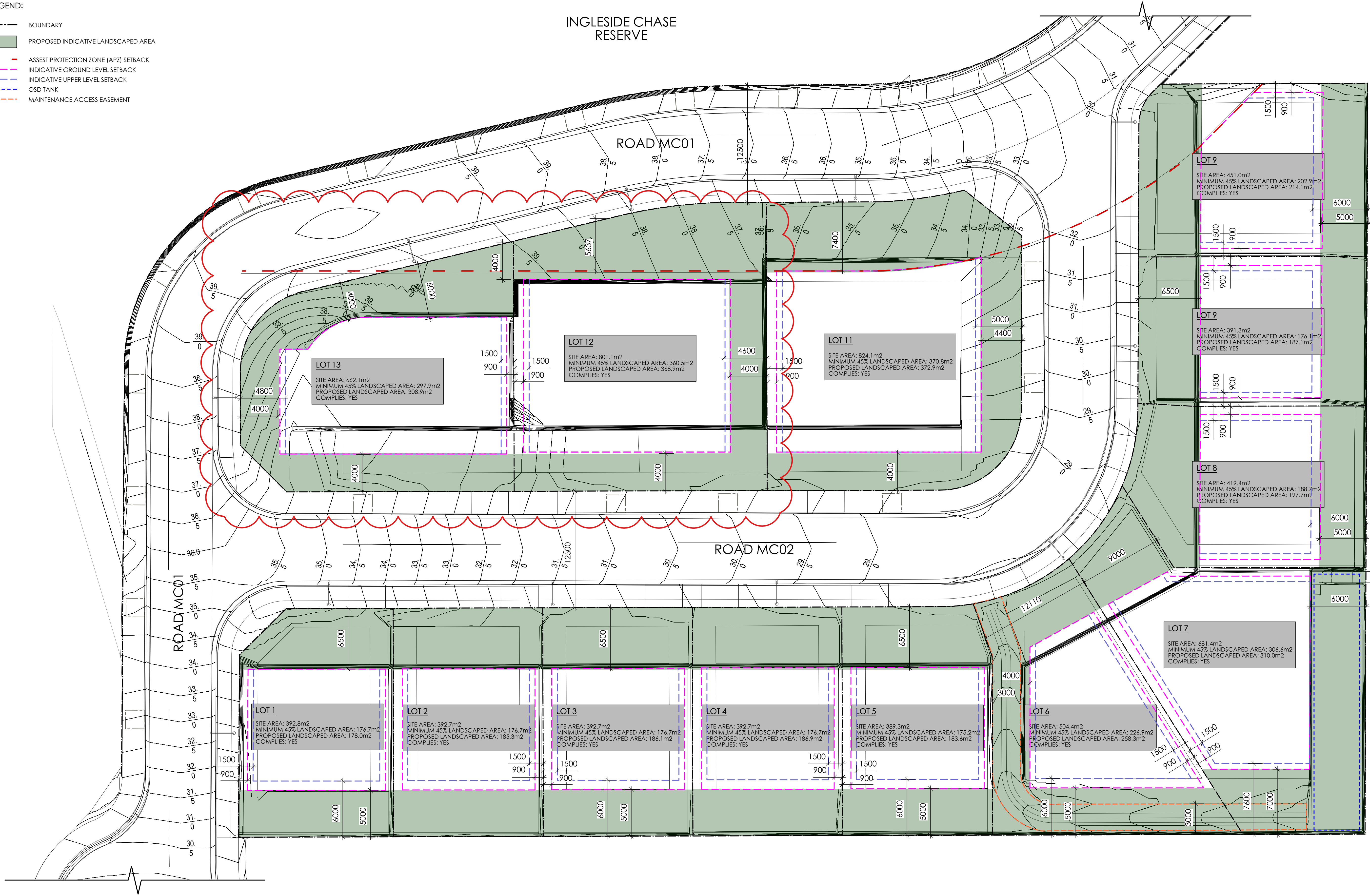
Status	SCALE - AS NOTED
Drawn By	OC
Checked By	KR
CAD File Name	Warriewood Subdivision - Rev 2.dwg
Dwg Date	17.11.21
Plot Date	17.11.21

Project No.	BMN
Drawing No.	L/03 C
Rev #	OF 5

LEGEND:

- BOUNDARY
- PROPOSED INDICATIVE LANDSCAPED AREA
- ASSEST PROTECTION ZONE (APZ) SETBACK
- INDICATIVE GROUND LEVEL SETBACK
- INDICATIVE UPPER LEVEL SETBACK
- OSD TANK
- MAINTENANCE ACCESS EASEMENT

INGLESIDE CHASE
RESERVE



HILL VIEW CRESCENT

NOTE:
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Legend:

BMN PRELIMINARY **PROPERTY**

Drawing: Proposed Indicative Area Calculation Plan
Address: 4 Forest Road, Warriewood NSW 2102
Project: Residential Subdivision
Client: BMN Properties Pty Ltd

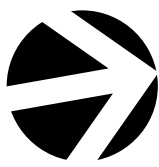
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Status

SCALE - 1:200 @ A1

Drawn By	OC	Dwg Date	17.11.21
Checked By	KR	Plot Date	17.11.21
CAD File Name	Warriewood Subdivision - Rev 5.dwg		



Project No.

BMN

Drawing No. Rev #

L/04 C
OF 5