



Proposed New Residence

10 Gardere Avenue Curl Curl NSW

APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN

UrbanHarmony

Luxury Residential Design

Urban · Rural · Coastal · Alpine

M 0402 200 700 T 02 9973 4697

PO Box 858 Avalon Beach NSW 2107

Jeremy@urbanharmony.com.au

www.urbanharmony.com.au

DA5	JM	Balcony post behind front setback, front roof amended	19.03.21
DA4	JM	Steps removed, minor adjustments	09.03.21
DA3	JM	3d Views & levels added	02.03.21
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DA-1	JM	Levels updated	19.11.20
DA-1 prelim	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Site and Location Drawings
Cover

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

DRAWN

JMC

PRINT DATE

19/3/21

PROJECT NUMBER

580

DRAWING NUMBER

580.A00

PROJECT STATUS

DA5

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A805	Perspective Views 6		<input type="checkbox"/>	<input checked="" type="checkbox"/>	

General List of Abbreviations:

AL	Aluminium	GL	Ground Level
AC	Air Conditioning	GFP	Gas Fireplace
ALC	Aluminium Cladding	G	Glazing
B	Brick	GR	Glazed Roofing
BAL	Balustrade	HWU	Hot Water Unit
BALC	Balcony	LOH	Lift Off Hinge
BDY	Boundary	LIN	Linen
BLWK	Blockwork	LV	Louvre Window
BBQ	Barbecue	LWF	Lightweight Foam
BFD	Bifold Doors	LWC	Lightweight Cladding
BV	Brick Veneer	MDR	Metal Deck Roofing
BW	Brickwork	MH	Manhole
BFW	Brick Face Work	MW	Microwave
BWRP	Rendered & Painted Brickwork	NGL	Natural Ground Level
CONC	Concrete	OG	Opaque Glazing
CSD	Cavity Sliding Door	OBS	Opaque Glazing
CST	Concrete Steel Trowel Finish	PB	Plasterboard
CPT	Carpet	PBB	Plasterboard on Brick
CT	Ceramic Tile	PF	Paint Finished
CBD	Cupboard	PLD	Panel Lift Door
CPS	Concrete, Polished & Sealed	RWH	Rainwater Head
CFC	Compressed Fibre Cement	REF	Refrigerator
CJ	Control Joint	RP	Rendered & Painted
C/L	Centre Line	SC	Stone Cladding
CTS	Centres	SD	Smoke Detector
C/C	Centre to Centre	SHR	Shower
CL	Ceiling Level	SLD	Sliding Glazed Door
D	Door	SP	Solar Panel
DRY	Clothes Dryer	ST	Stonework
DG	Double Glazing	SS	Stainless Steel
DP	Downpipe	T	Timber
DW	Dishwasher	TF	Timber Flooring
DPC	Damp Proof Course	TL	Timber Louvres
DBW	Dumb Waiter	TR	Tiled Roof
DAR	Dressed All Round	TS	Timber Screen
EJ	Expansion Joint	TOW	Top of Wall
EXG	Existing	UHD	UrbanHarmonyDesign
EDB	Electrical Distribution Board	U/S	Underside
F	Fixed	WB	Weatherboard
FG	Fixed Glazing	WC	Water Closet
FML	Fixed Metal Louvre	WR	Wardrobe
FB	Face Brickwork	W	Window
FC	Fibrous Cement	WS	Waste Stack
FW	Floor Waste	WM	Washing Machine
FSS	Frameless Shower Screen		
FCL	Finished Ceiling Level		
FFL	Finished Floor Level		
FL	Floor Level		
FGL	Finished Ground Level		

General Notes

If the status of this drawing is not signed off For Construction, it may be subject to change, alteration or amendment at the discretion of Urban Harmony. No liability will be accepted for any loss, damage harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of the use of this drawing.

This plan is to be read in conjunction with Engineering plans, Landscape plans and any other plans or written instructions issued relating to the development at the subject site.

All dimensions are NOMINAL. Figured dimensions take preference to scale readings.

Contractors are to verify all dimensions and levels on site before commencement of ANY work. Figured dimensions take preference to scale.

Report any discrepancies to the designer for confirmation before proceeding with the work.

All construction practices are to be in accordance with the current issue of the National Construction Code (NCC) and all other relevant Australian Standards and codes.

All carpentry work to comply with AS 1684 Residential Timber Framed Construction. All prefabricated timber trusses & frames to be installed to the manufacturers detail & specification.

Termite protection to be installed in accordance with AS 3660.1 and the NCC.

Smoke alarms to be installed as required to meet AS3786.

Safe Movement and Access in accordance with part 3.9 of the NCC, including Landings where required

Stair Construction to be as per Part 3.9.1, Balustrades and Handrails per Part 3.9.2. Treads to have Slip-resistance classification be as per Part 3.9.1.3 of the NCC and AS 4586.

Protection of Openable windows to be as per Part 3.9.2.5 of the NCC

Light & Ventilation to be as per Parts 3.8.4/5 of the NCC



Location Plan/Satellite Imagery

LEP Requirements.

Lot 5 DP DP6000

Site Area: 455.3m2

Warringah (Map Map 10)

Land Zoning Map - R2 Low Density Residential
Height of Buildings - 8.5m (LEP) - COMPLIES
Floor Space Ratio: N/A

Minimum Lot size: 450m2
Heritage: N/A
Acid Sulphate Soils: N/A

Warringah LEP 2011 - Land slip risk map - Area B

DCP Requirements.

Site Area: 455.3m2

Warringah LEP 2011

Side boundary envelope: 5m high / 45 degrees
Wall Height: 7.2 maximum wall height - COMPLIES
Setbacks:

Front: 6.5m - Dwelling Complies, front balcony to predominant street setback
Side: 900mm - COMPLIES
Rear: 6m - COMPLIES

Landscaped open space: 40% of site 173.4m2 required (NOTE NARROW LOT)



Proposed Floor Areas

Area	Floor Level	Measured Area (m2)
First Floor	First Floor	178.39
Front Balcony	First Floor	34.16
Garage	Ground Floor	47.69
Ground Floor	Ground Floor	129.44
Porch	Ground Floor	5.35
		395.03 m ²

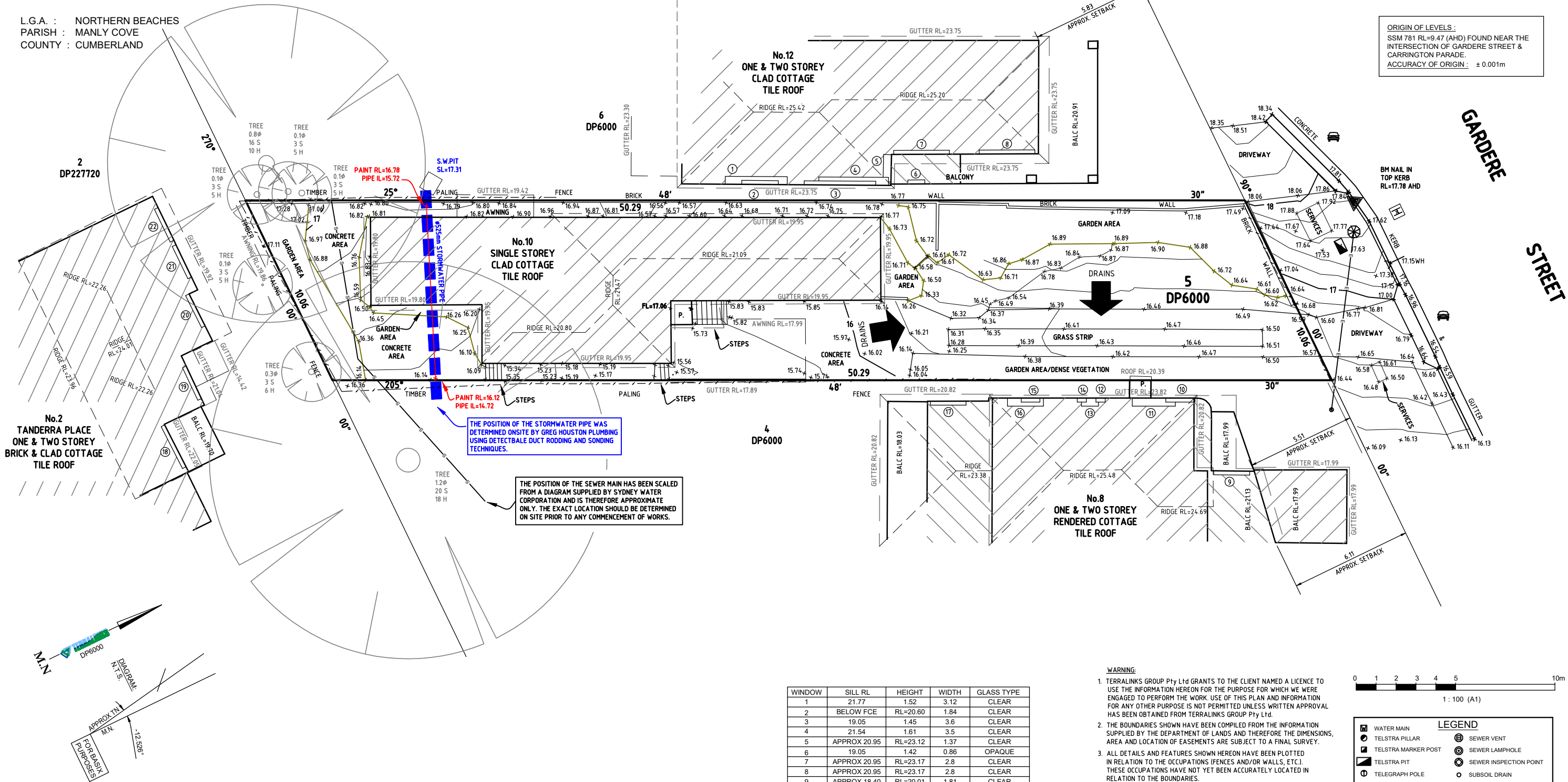
FSR Calculation

Location	Measured Area
First Floor GFA	157.10
Ground Floor GFA	111.57
	268.67 m ²

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L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND

ORIGIN OF LEVELS :
SSM 781 RL=9.47 (AHD) FOUND NEAR THE
INTERSECTION OF GARDERE STREET &
CARRINGTON PARADE.
ACCURACY OF ORIGIN : ± 0.001m



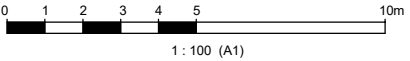
Site Survey - Existing Conditions

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
1	21.77	1.52	3.12	CLEAR
2	BELOW FCE	RL=20.60	1.84	CLEAR
3	19.05	1.45	3.6	CLEAR
4	21.54	1.61	3.5	CLEAR
5	APPROX 20.95	RL=23.12	1.37	CLEAR
6	19.05	1.42	0.86	OPAQUE
7	APPROX 20.95	RL=23.17	2.8	CLEAR
8	APPROX 20.95	RL=23.17	2.8	CLEAR
9	APPROX 18.40	RL=20.01	1.81	CLEAR
10	18.68	1.51	1.48	CLEAR
11	22.11	1.21	2.17	OPAQUE
12	19.04	1.09	0.47	CLEAR
13	22.38	0.94	0.85	OPAQUE
14	19.04	1.09	0.46	CLEAR
15	19.12	1.19	0.94	CLEAR
16	22.11	1.21	1.81	CLEAR
17	BELOW FCE	RL=20.19	1.79	CLEAR
18	APPROX 19.75	RL=21.73	2.37	CLEAR
19	BELOW FCE	RL=19.12	1.81	CLEAR
20	BELOW FCE	BELOW FCE	1.8	CLEAR
21	BELOW FCE	BELOW FCE	1.8	CLEAR
22	BELOW FCE	BELOW FCE	1.83	CLEAR

AREA LOT 5
VIDE DP 6000: 455.3 m²
BY CALC: 455.3 m²

WARNING:

- TERRALINKS GROUP Pty Ltd GRANTS TO THE CLIENT NAMED A LICENCE TO USE THE INFORMATION HEREON FOR THE PURPOSE FOR WHICH WE WERE ENGAGED TO PERFORM THE WORK. USE OF THIS PLAN AND INFORMATION FOR ANY OTHER PURPOSE IS NOT PERMITTED UNLESS WRITTEN APPROVAL HAS BEEN OBTAINED FROM TERRALINKS GROUP Pty Ltd.
- THE BOUNDARIES SHOWN HAVE BEEN COMPILED FROM THE INFORMATION SUPPLIED BY THE DEPARTMENT OF LANDS AND THEREFORE THE DIMENSIONS, AREA AND LOCATION OF EASEMENTS ARE SUBJECT TO A FINAL SURVEY.
- ALL DETAILS AND FEATURES SHOWN HEREON HAVE BEEN PLOTTED IN RELATION TO THE OCCUPATIONS (FENCES AND/OR WALLS, ETC.). THESE OCCUPATIONS HAVE NOT YET BEEN ACCURATELY LOCATED IN RELATION TO THE BOUNDARIES.
- THE DETAIL AND FEATURES AND CONTOURS ARE SHOWN TO SCALE PLOT ACCURACY ONLY. COPYING MAY DISTORT THE SCALE.
- SERVICE STRUCTURES SHOWN HEREON ARE THOSE THAT WERE VISIBLE AT THE TIME OF SURVEY AND HAVE BEEN LOCATED BY FIELD SURVEY. FURTHER SERVICES MAY BE PRESENT. PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON SITE THE RELEVANT AUTHORITIES SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
- THE CONTOUR INTERVAL IS 0.2 m.
- THE ACCURACY OF THIS DATA MAY NOT BE SUITABLE FOR BUILDING PURPOSES AND THEREFORE SURVEY MARKS SHOULD BE PLACED PRIOR TO ANY CONSTRUCTION COMMENCING.
- THE CONTOURS HAVE BEEN DERIVED FROM INTERPOLATION METHODS USING COMPUTER SOFTWARE PROGRAM AND WHEREVER POSSIBLE SPOT LEVELS SHOULD BE USED IN PREFERENCE TO CONTOURS.
- THE RIDGE HEIGHTS, ROOF LINE, GUTTER AND WINDOW SILL LEVELS FOR BOTH THE SUBJECT AND ADJOINING BUILDINGS HAVE BEEN DETERMINED USING INDIRECT SURVEY METHODS AND ARE THEREFORE APPROXIMATE ONLY.
- THE MEASUREMENT OF ALL TREE TRUNK DIAMETERS WAS IN ACCORDANCE WITH AS 4970-2009-"PROTECTION OF TREES ON DEVELOPMENT SITES".
- THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN.



LEGEND	
	WATER MAIN
	TELSTRA PILLAR
	TELSTRA MARKER POST
	TELSTRA PIT
	TELEGRAPH POLE
	POWER POLE
	ELECTRICAL PILLAR
	POWER LIGHT POLE
	LIGHT POLE
	HYDRANT
	RECYCLED WATER
	WATER METER
	STOP VALVE
	WATER TAP
	GAS METER
	GAS DIRECTION MARKER
	GAS INSPECTION POINT
	SEWER MANHOLE
	STREET SIGN
	PRISM CROSSING
	VEHICLE CROSSING
	SEWER VENT
	SEWER LAMP HOLE
	SEWER INSPECTION POINT
	SUBSOIL DRAIN
	STORMWATER PIT
	STORMWATER GRATE
	SURFACE INLET PIT
	LINTEL-KERB INLET PIT
	LINTEL-KERB INLET PIT WITH GRATE
	STORMWATER PIPE INCLUDING PIPE SIZE
	HEADWALL
	CLOTHES LINE
	TREE: Ø DIAMETER S SPREAD H HEIGHT
	OVERHEAD ELECTRICITY LINE
	OVERHEAD TELECOM LINE
	SEWER LINE

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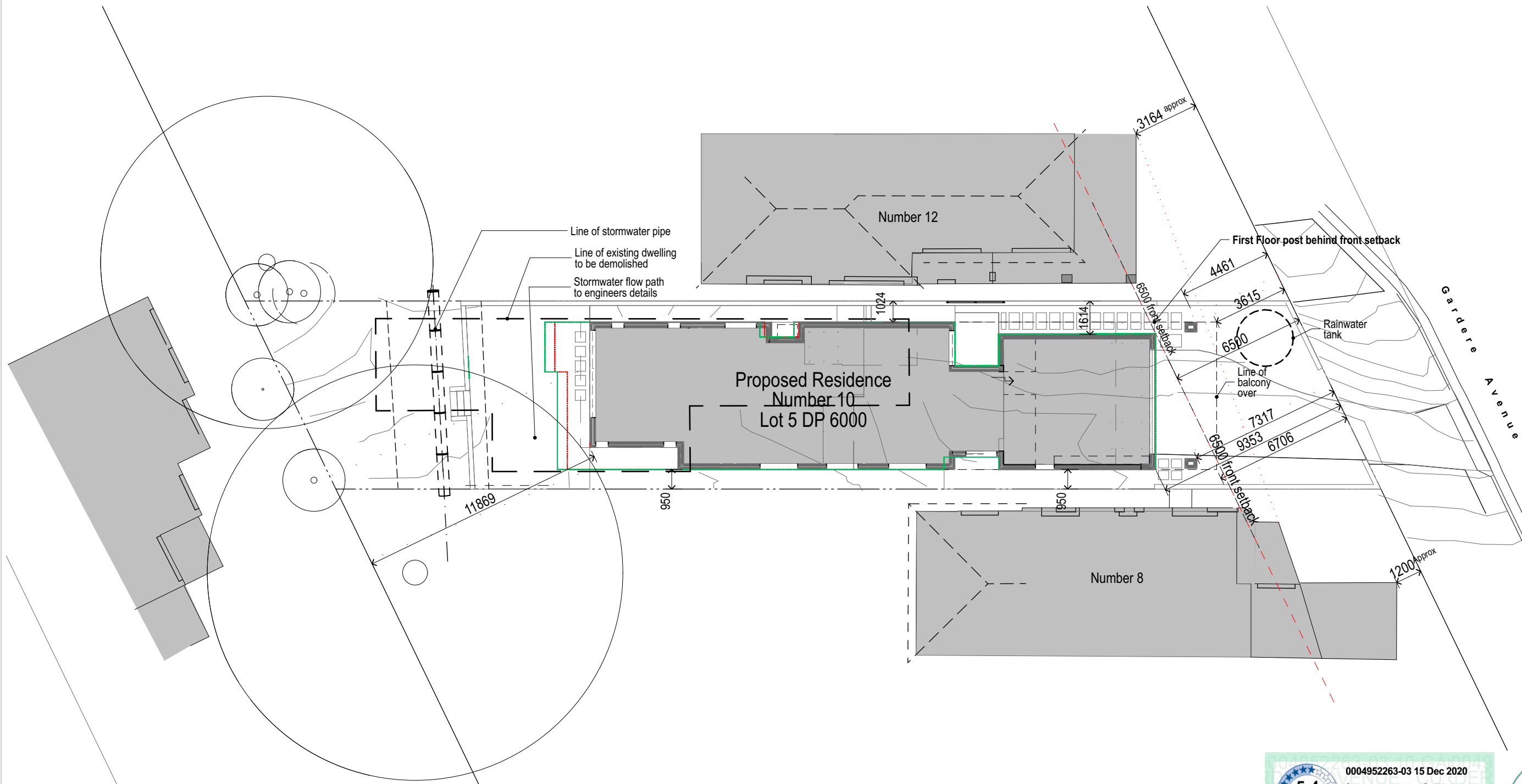
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PROJECT STATUS

DA5

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Site Plan
Scale 1:200



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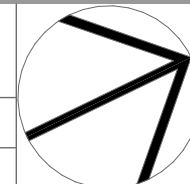
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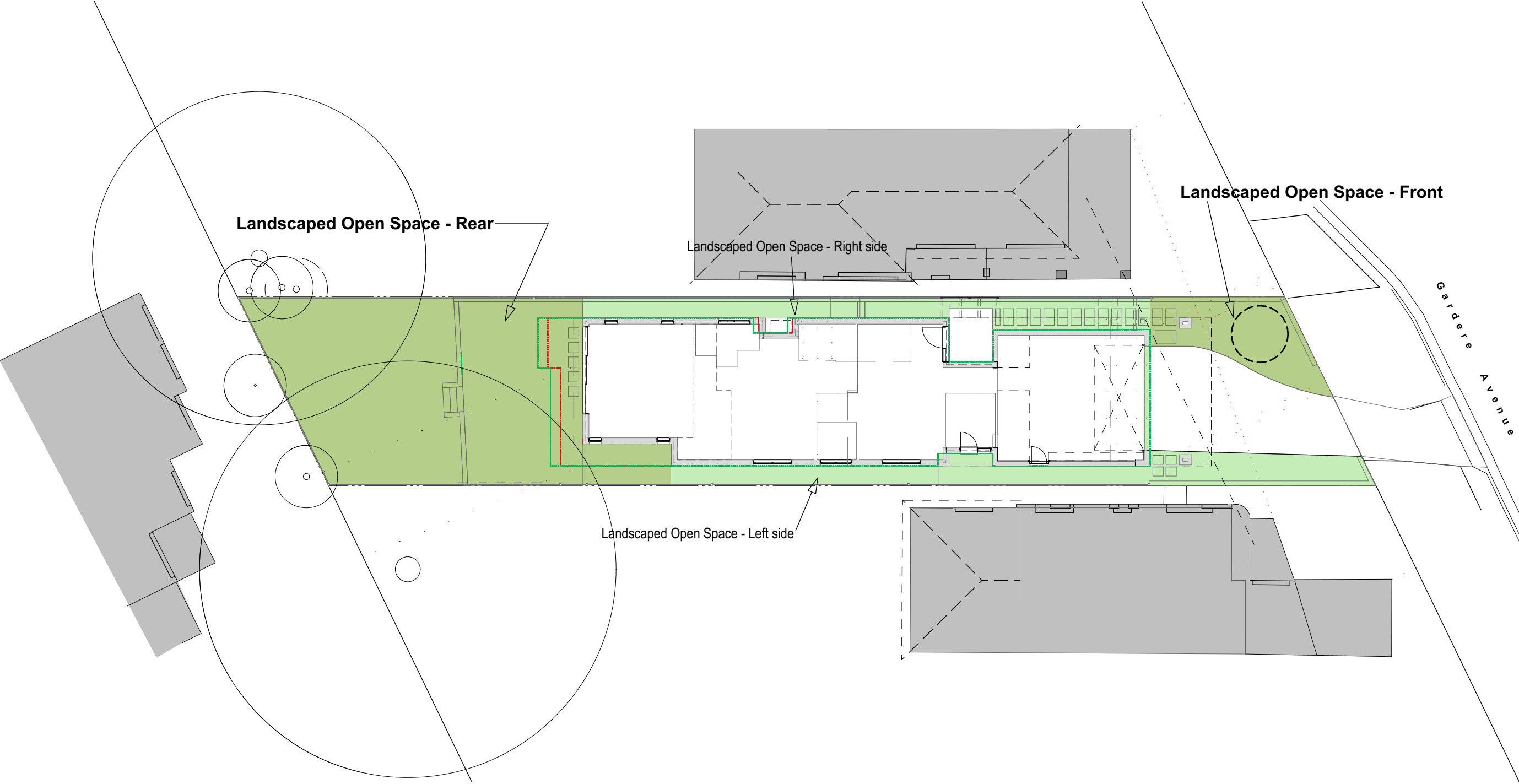
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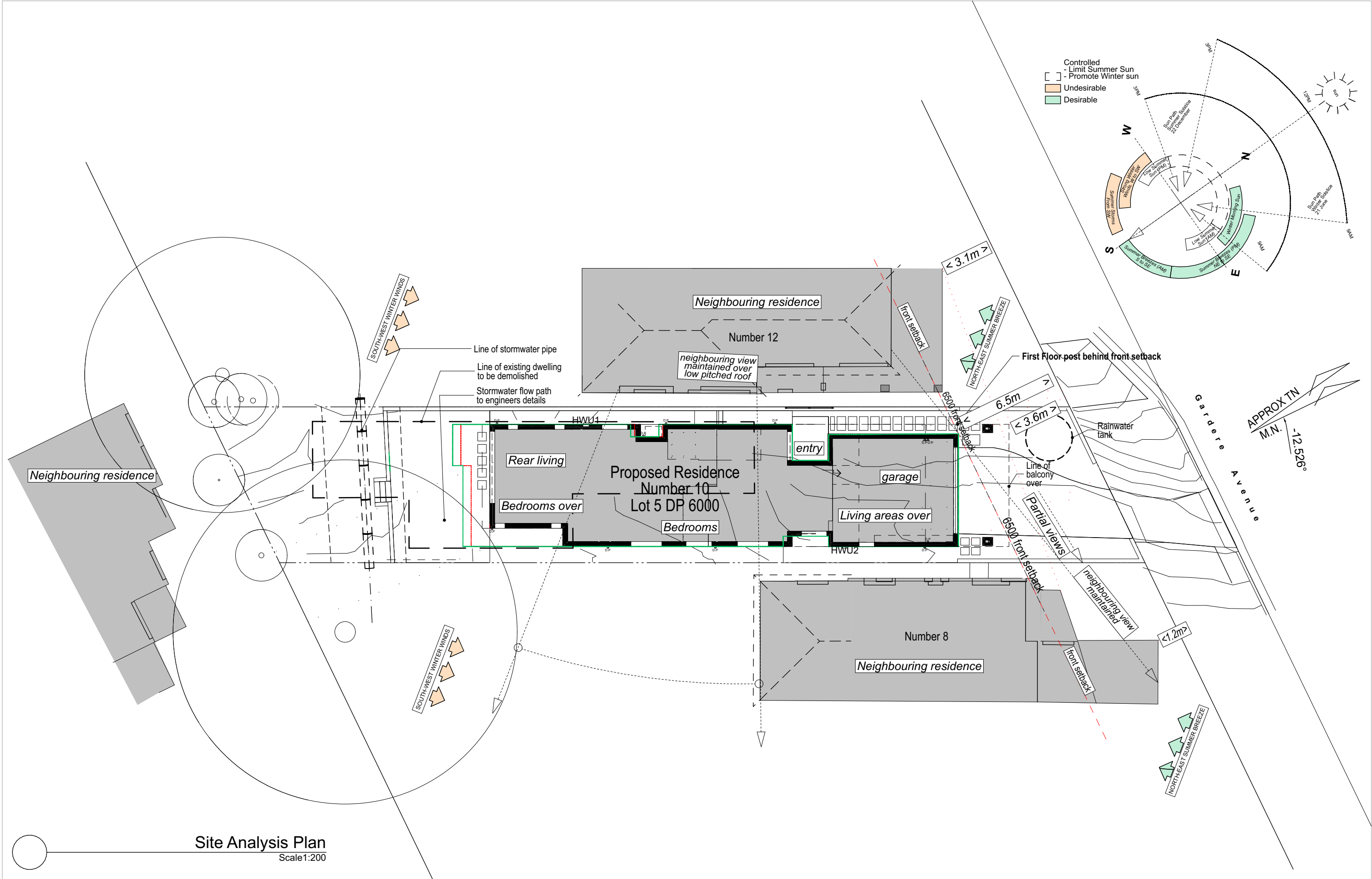
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10F. Landscaped Area (as per 2m DCP definition)	
Location	Measured Area (m2)
Landscaped Open Space - Front	23.80
Landscaped Open Space - Rear	138.95
	162.75 m²

10G. Landscaped Open Space Area TOTAL, inclusive of areas less than 2m in dimension	
Location	Measured Area (m2)
Landscaped Open Space - Front	23.80
Landscaped Open Space - Left side	39.37
Landscaped Open Space - Rear	138.95
Landscaped Open Space - Right side	30.82
	232.94 m²



Landscaped Area Plan
Scale 1:200



Site Analysis Plan
Scale 1:200

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DA5

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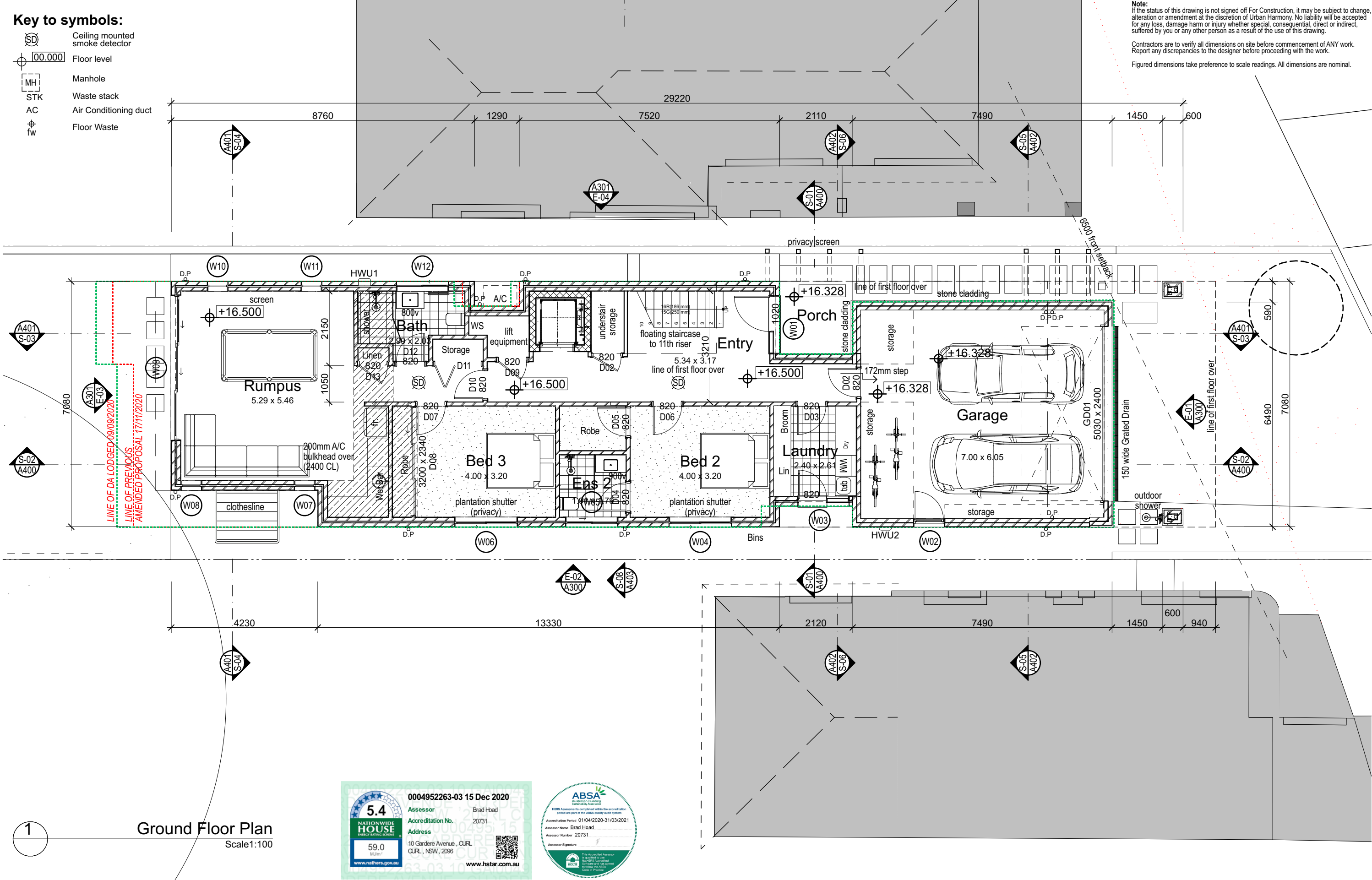
Key to symbols:

- Ceiling mounted smoke detector
- Floor level
- Manhole
- Waste stack
- Air Conditioning duct
- Floor Waste

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Ground Floor Plan
Scale 1:100



APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN



Urban Harmony

Luxury Residential Design
Urban - Rural - Coastal - Alpine
M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

DA5	JM	Balcony post behind front setback, front roof amended	19.03.21
DA4	JM	Steps removed, minor adjustments	09.03.21
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Plans
Ground Floor

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A100







PROJECT STATUS

DA5

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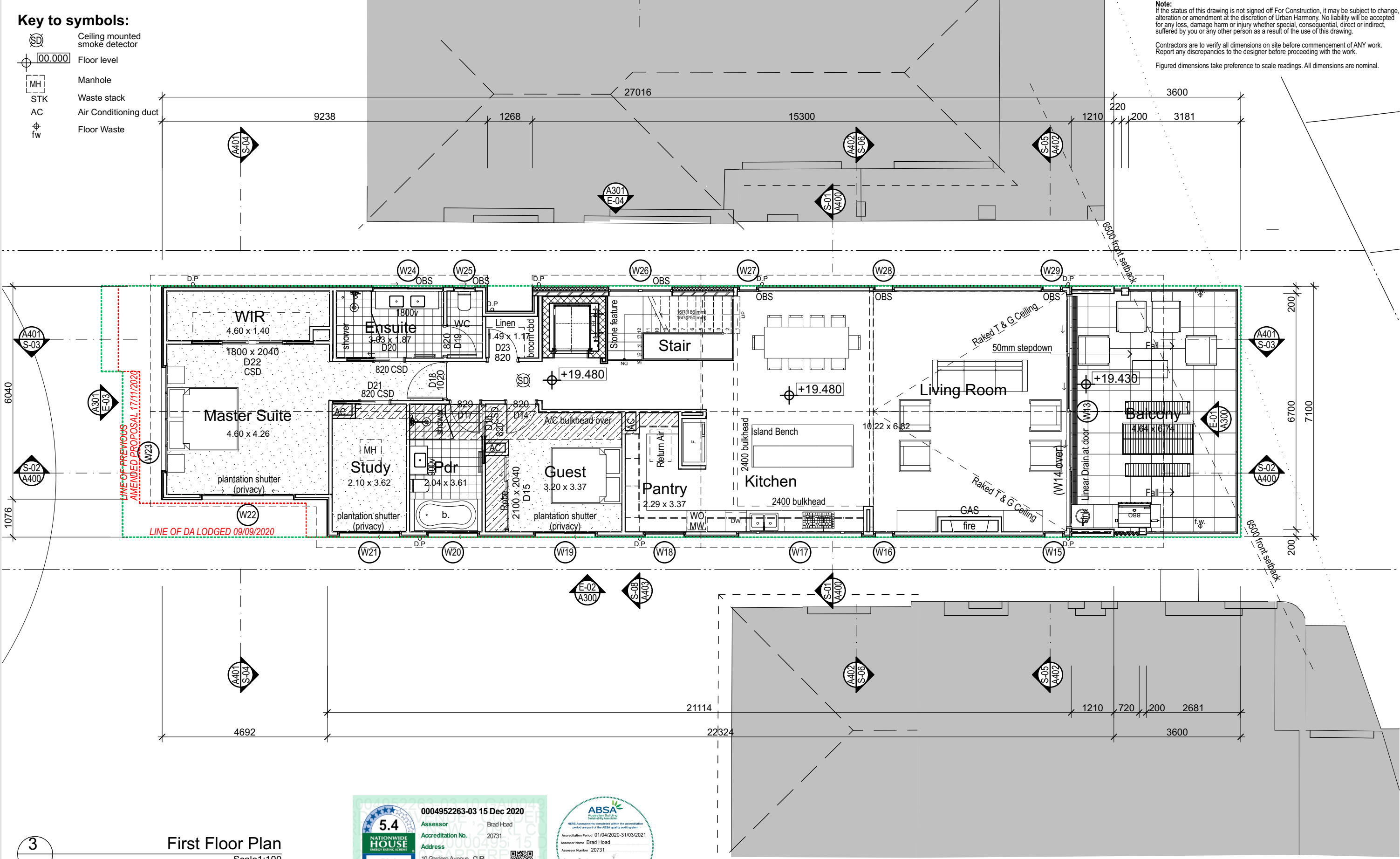
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-  Floor level
-  Manhole
-  Waste stack
-  Air Conditioning duct
-  Floor Waste

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Plans
First Floor

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A101

PROJECT STATUS

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5.4

NATIONWIDE HOUSE OF LEARNING

5004952263-03 15 Dec 2020

Assessor Brad Hoard

Accreditation No. 20731

Address

10 Gardere Avenue, CURL
CURL, NSW, 2096

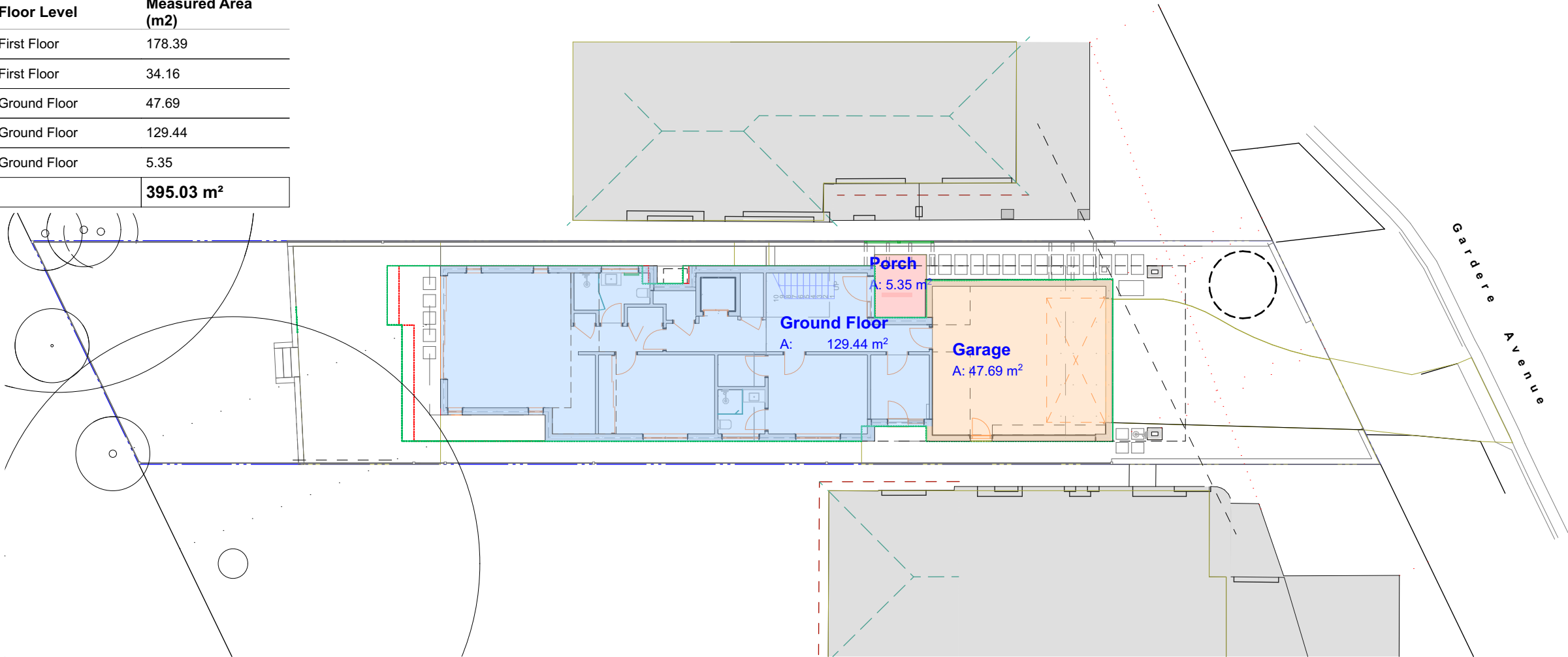
www.nathans.gov.au

www.hstar.com.au

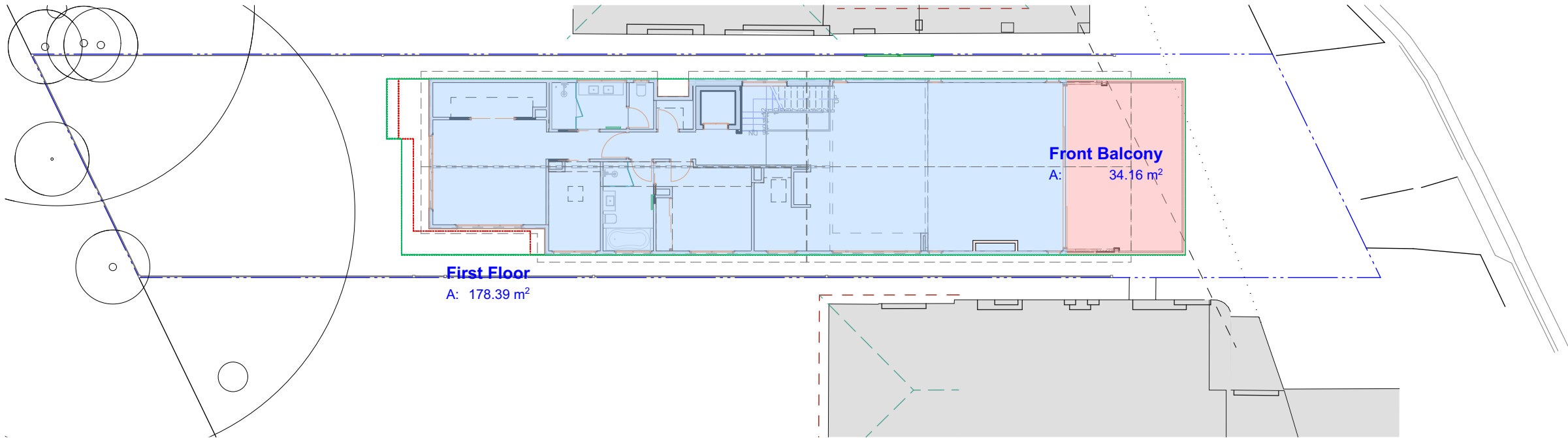


<div>APPROVED BY</div> <div>CLIENT NAME(s):</div> <div>DATE:</div>		<div>DESIGN / DRAWN</div> <div><div><div></div><div></div><div></div></div><div>UrbanHarmony</div><div>Luxury Residential Design Urban, Rural, Coastal, Alpine M 0402 200 700 . T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div>		<div><div>DA5 JIM</div><div>DA4 JIM</div><div>DA3 JIM</div><div>DA2 JIM</div><div>DA-2 JIM</div><div>DA-1 JIM</div><div>DA-1 prelim JIM</div><div>ISSUE CHANGE</div></div> <div><div>Balcony post behind front setback, front roof amended</div><div>Steps removed, minor adjustments</div><div>3d Views & levels added</div><div>DA Submission #2</div><div>Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing</div><div>Levels updated</div><div>Roof redesigned, levels updated, further info added for comment only</div><div>CHANGE NAME</div></div> <div><div>19.03.21</div><div>09.03.21</div><div>02.03.21</div><div>24.12.20</div><div>13.12.20</div><div>19.11.20</div><div>14.11.20</div><div>DATE</div></div>		<div><div>PROJECT:</div><div>Torrington Residence</div><div>SITE:</div><div>10 Gardere Avenue Curl Curl NSW</div><div>CLIENT:</div><div>P & A Torrington</div></div>		<div><div>DRAWING TITLE:</div><div>Plans</div><div>Roof Plan</div><div>DRAWN / DESIGNED:</div><div>Jeremy McCulla</div><div>SCALE:</div><div>As Ind @ A3</div></div>		<div><div><div></div></div></div> <div><div>DATE</div><div>19/3/21</div><div>PROJECT NUMBER</div><div>580</div></div> <div><div>DRAWN</div><div>JMC</div><div>DRAWING NUMBER</div><div>580.A102</div></div> <div><div>PRINT DATE</div><div>19/3/21</div><div>PROJECT STATUS</div><div>DA5</div></div> <div><div>© Copyright UrbanHarmony</div><div>Copyright in this design and document is owned by UrbanHarmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of UrbanHarmony. Any unauthorised use is strictly prohibited.</div></div>	
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Proposed Floor Areas		
Area	Floor Level	Measured Area (m2)
First Floor	First Floor	178.39
Front Balcony	First Floor	34.16
Garage	Ground Floor	47.69
Ground Floor	Ground Floor	129.44
Porch	Ground Floor	5.35
		395.03 m²



Ground Floor General Areas
Scale 1:200



First Floor General Areas
Scale 1:200

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PO Box 858 Avalon Beach NSW 2107

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www.urbanharmony.com.au

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence

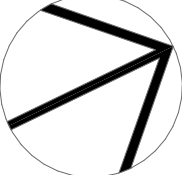
SITE:
10 Gardere Avenue
Curl Curl NSW

CLIENT:
P & A Torrington

DRAWING TITLE:
Plans
Floor Areas

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



DATE
19/3/21

PROJECT NUMBER
580

DRAWN
JMC

DRAWING NUMBER
580.A103

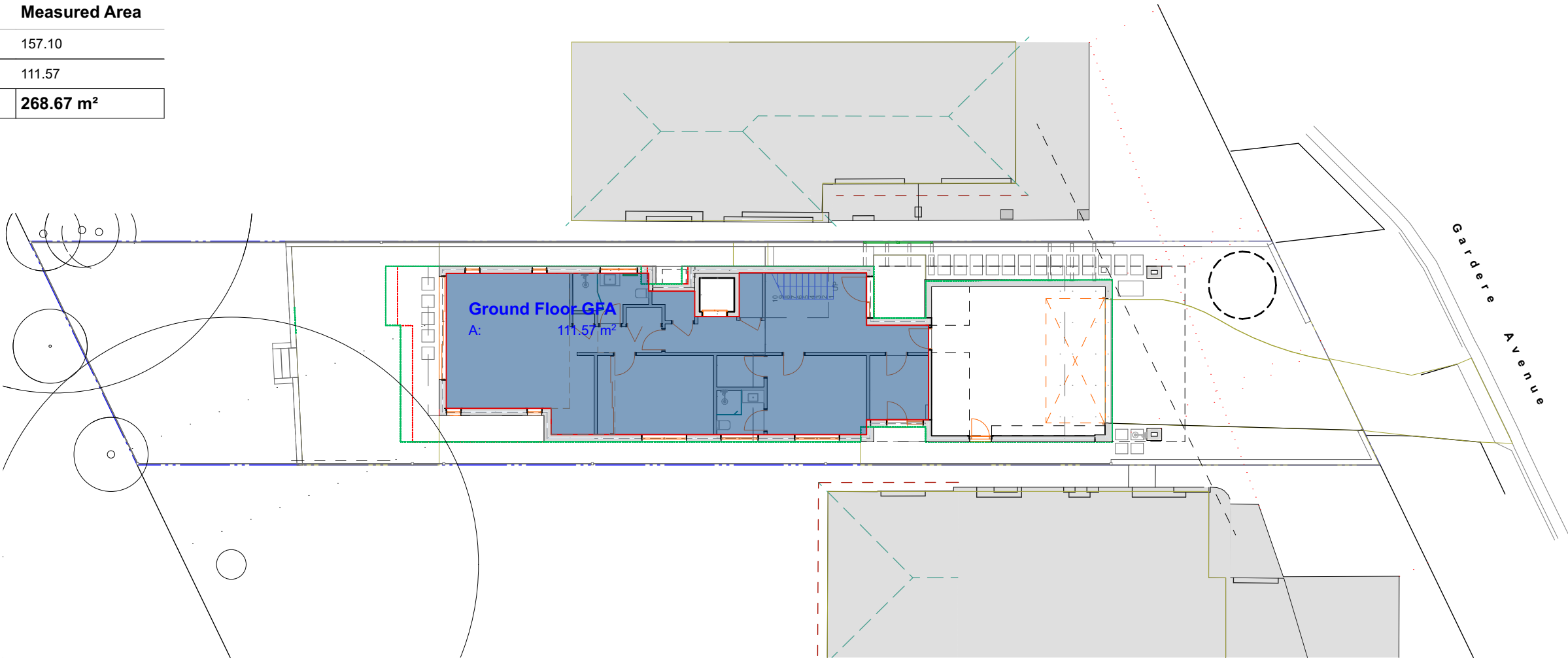
PRINT DATE
19/3/21

PROJECT STATUS
DA5

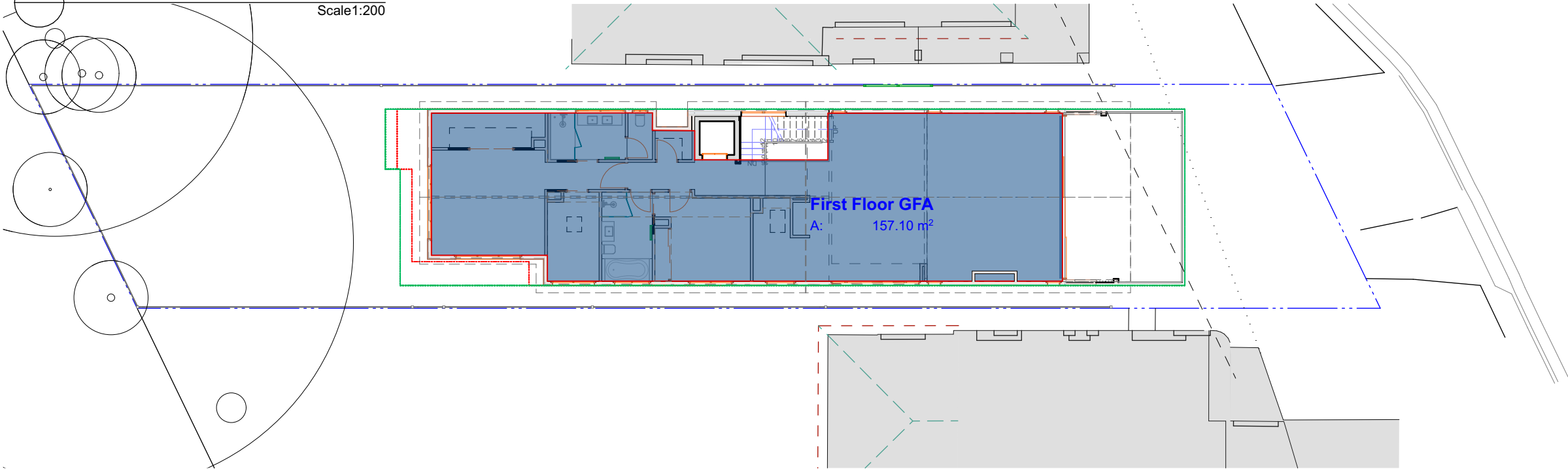
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FSR Calculation

Location	Measured Area
First Floor GFA	157.10
Ground Floor GFA	111.57
	268.67 m ²



Ground Floor Gross Floor Area
Scale 1:200



First Floor Gross Floor Area
Scale 1:200

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Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

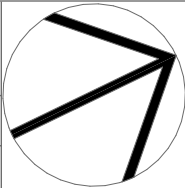
Plans
Gross Floor Areas

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3



DATE
19/3/21

PROJECT NUMBER
580

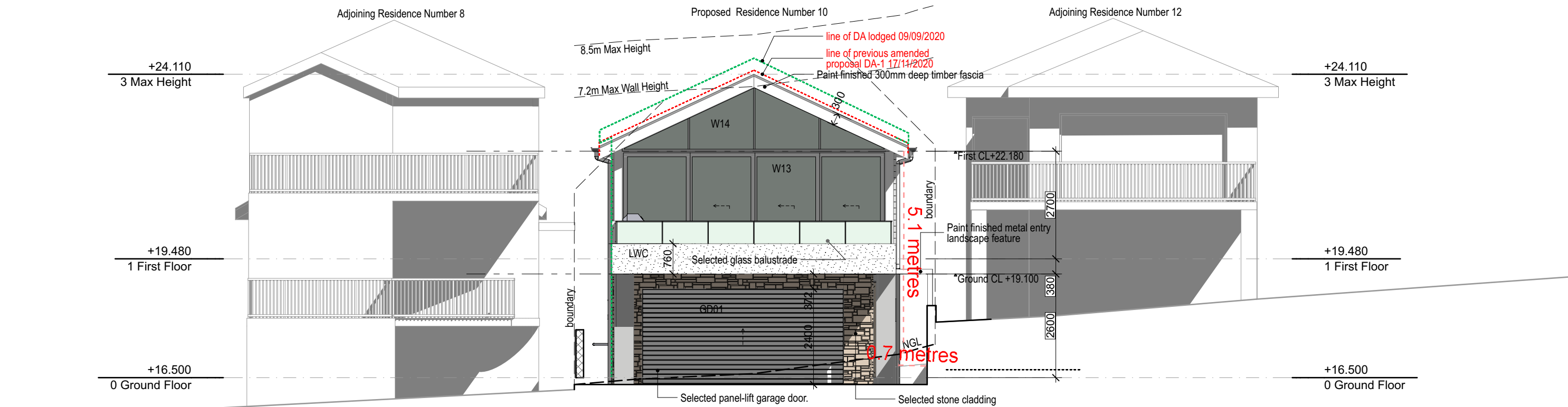
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DRAWING NUMBER
580.A104

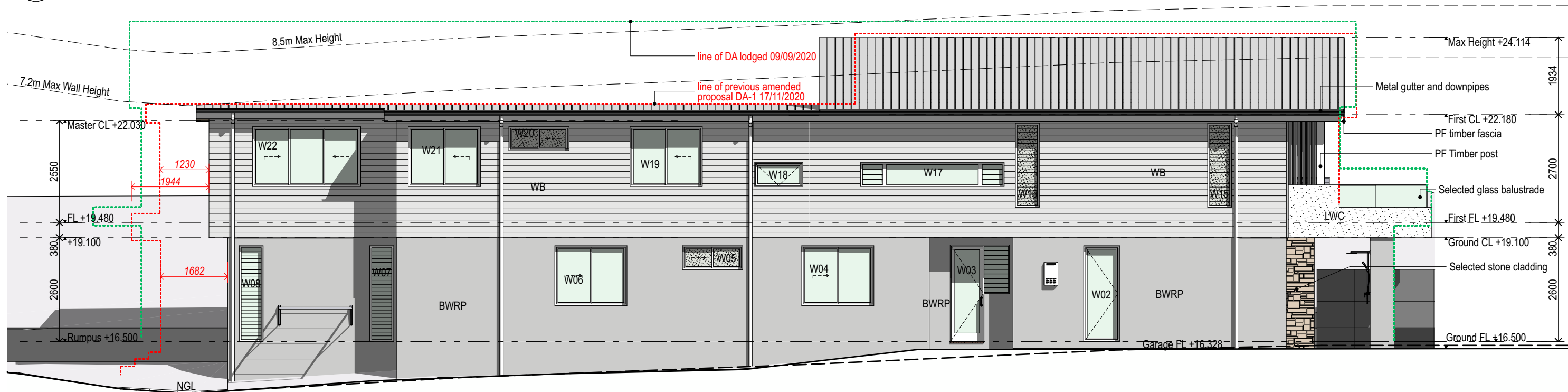
PRINT DATE
19/3/21

PROJECT STATUS
DA5

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E-01 North East (Front) Elevation
Scale 1:100



E-02 South East (Left) Elevation
Scale 1:100



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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Elevations
Elevations 1

DRAWN / DESIGNED:

Jeremy McCulla

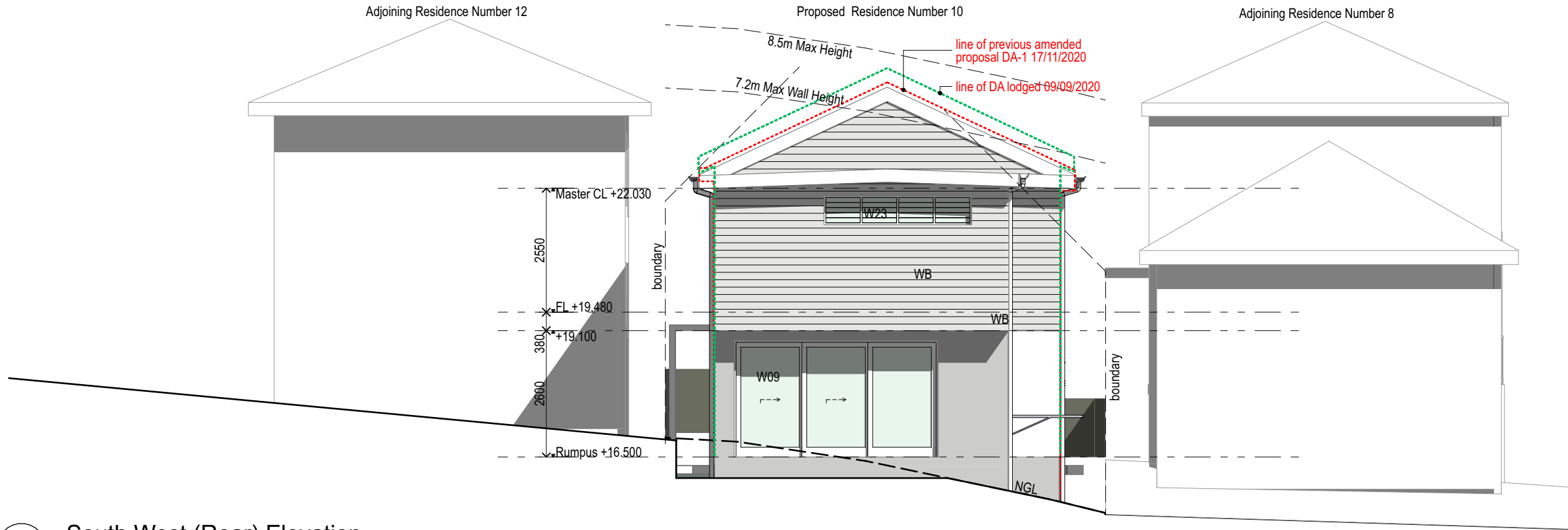
SCALE:

As Ind @ A3

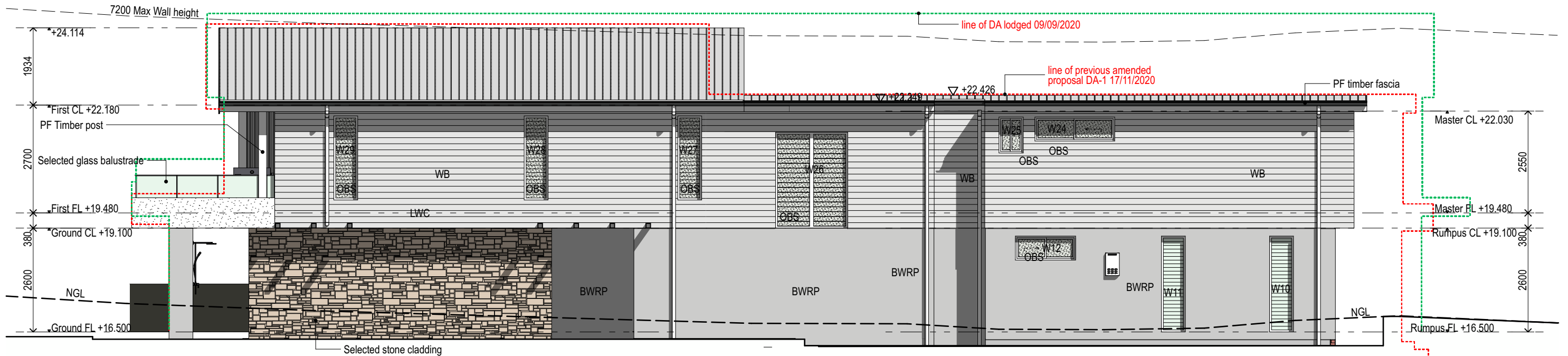
DATE	DRAWN	PRINT DATE
19/3/21	JMC	19/3/21
PROJECT NUMBER	DRAWING NUMBER	PROJECT STATUS
580	580.A300	DA5

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E-03 South West (Rear) Elevation
Scale 1:100



E-04 North West (Right) Elevation
Scale 1:100



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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

**Elevations
Elevations 2**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE
19/3/21

PROJECT NUMBER
580

DRAWN
JMC

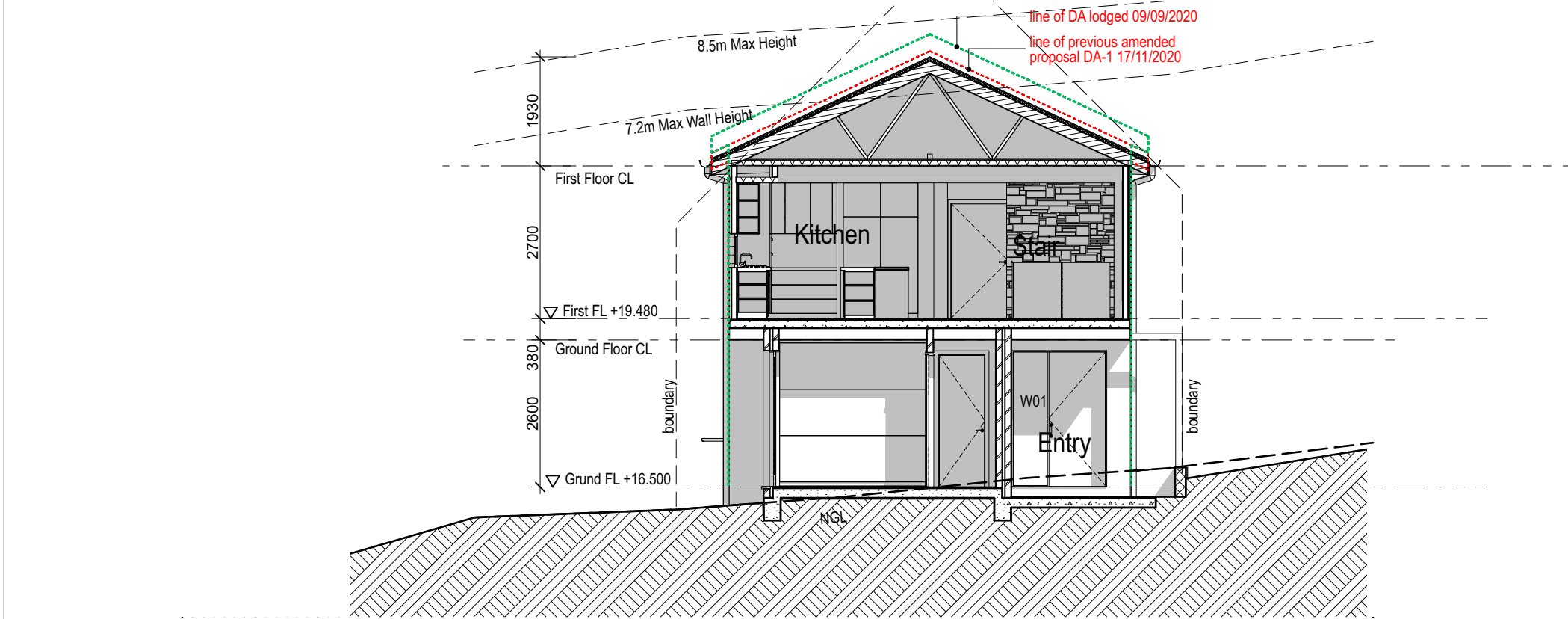
DRAWING NUMBER
580.A301

PRINT DATE
19/3/21

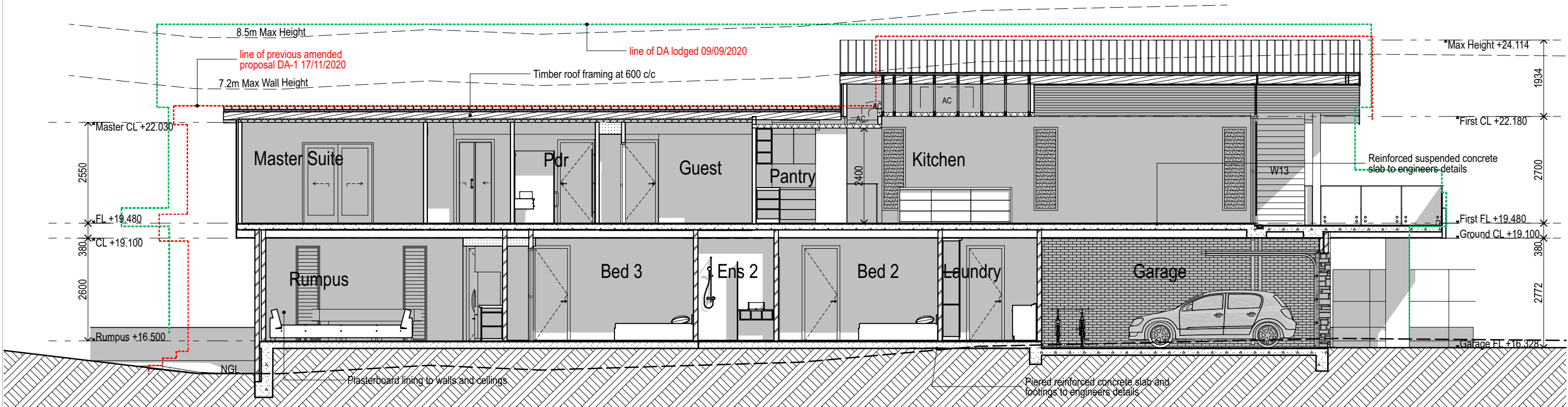
PROJECT STATUS
DA5

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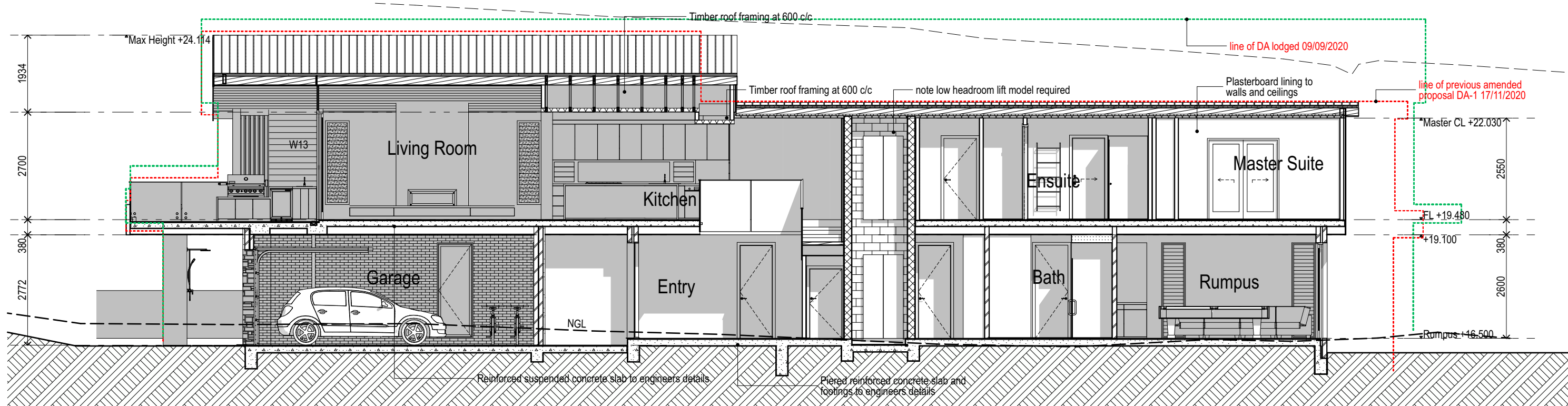
Section 01
Scale 1:100



Section 02
Scale 1:100

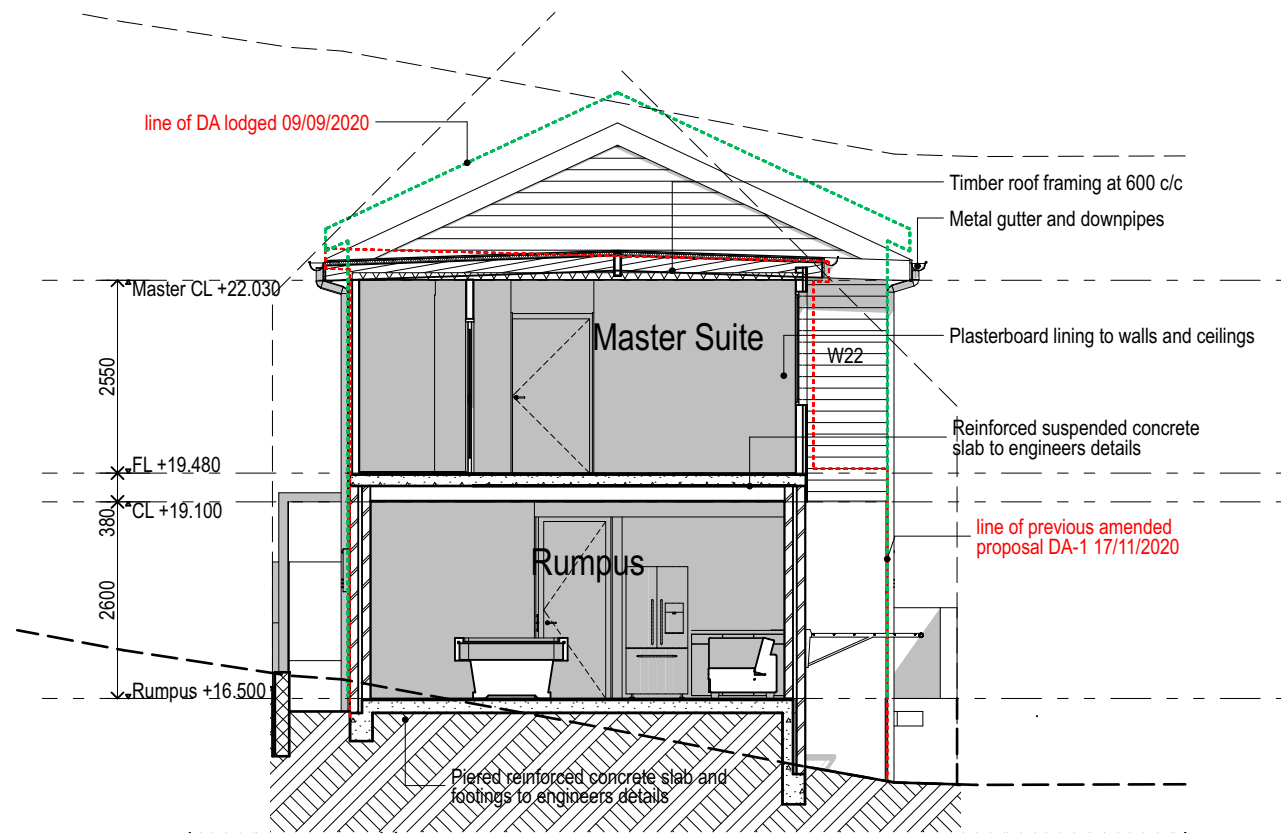


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S-03

Section 03
Scale 1:100



S-04

Section 04
Scale 1:100



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CLIENT NAME(s):

DATE:

DESIGN / DRAWN

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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

**Sections
Sections 2**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE
19/3/21

PROJECT NUMBER
580

DRAWN
JMC

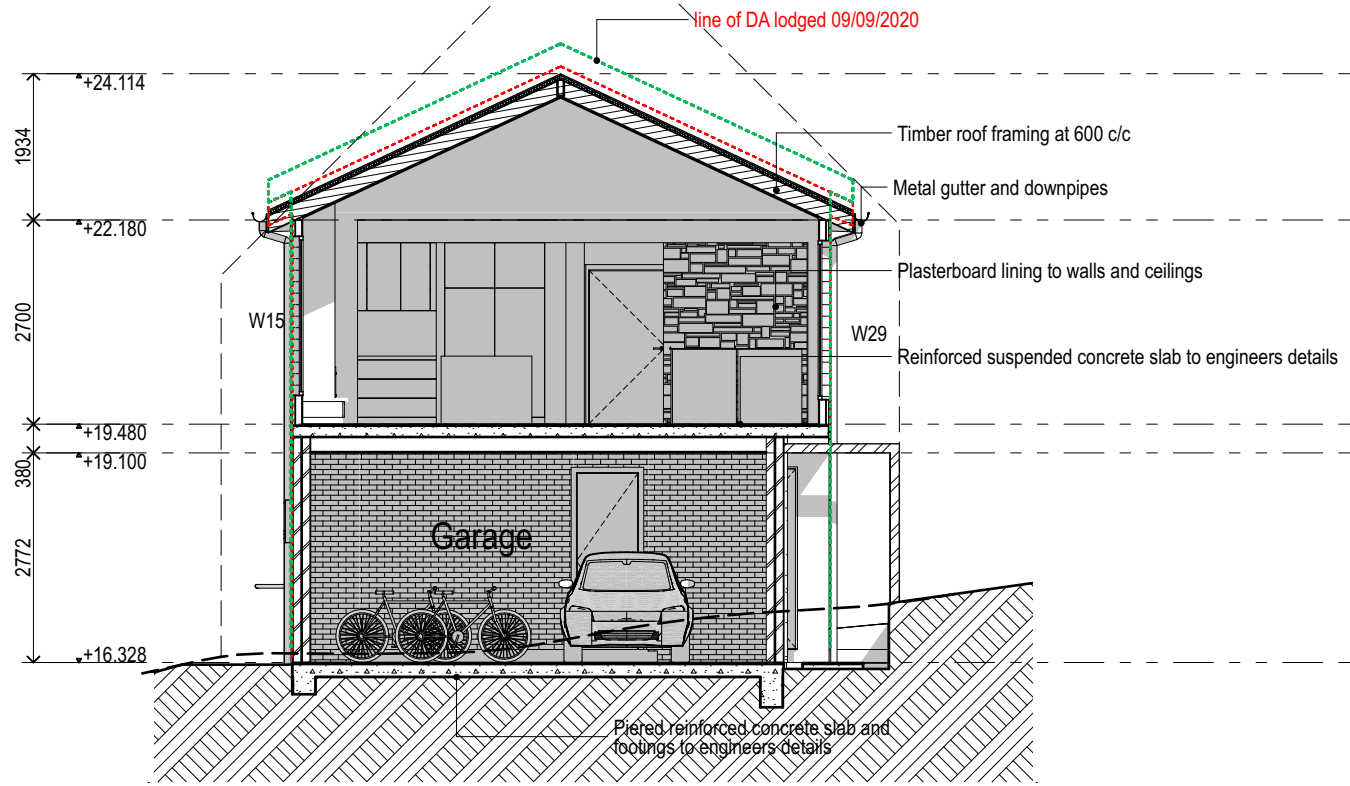
DRAWING NUMBER
580.A401

PRINT DATE
19/3/21

PROJECT STATUS
DA5

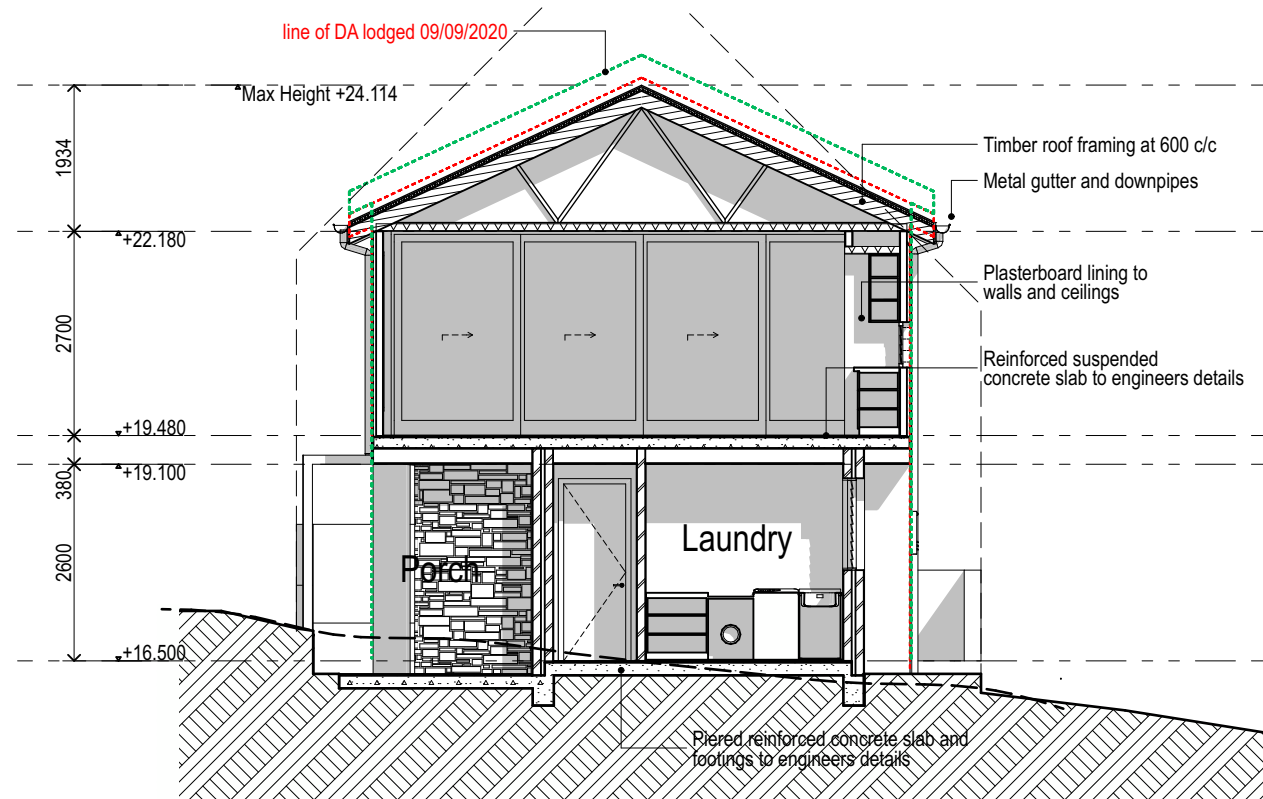
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S-05

Section 05
Scale 1:100



S-06

Section 06
Scale 1:100



APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN



Urban Harmony

Luxury Residential Design
Urban - Rural - Coastal - Alpine
M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

DA5	JM	Balcony post behind front setback, front roof amended	19.03.21
DA4	JM	Steps removed, minor adjustments	09.03.21
DA3	JM	3rd Views & levels added	02.03.21
DA2	JM	DA Submission #2	24.12.20
DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing	13.12.20
DA-1	JM	Levels updated	19.11.20
DA-1	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Sections
Sections 3

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE
19/3/21

DRAWN
JMC

PRINT DATE
19/3/21

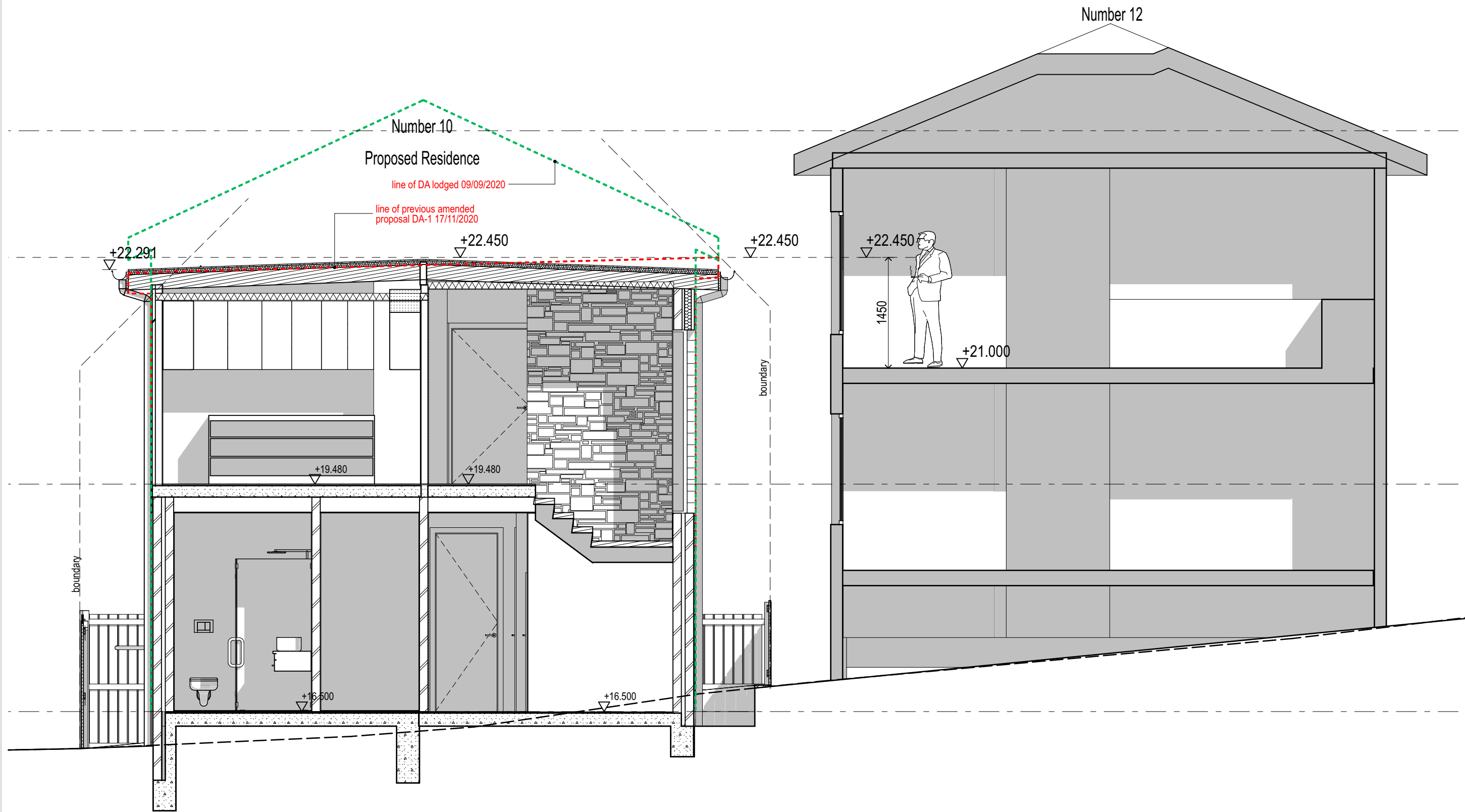
PROJECT NUMBER
580

DRAWING NUMBER
580.A402

PROJECT STATUS
DA5

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S-08

Section Through Number 12 Kitchen / Living

Scale 1:50



APPROVED BY
CLIENT NAME(s):
DATE:

DESIGN / DRAWN

UrbanHarmony

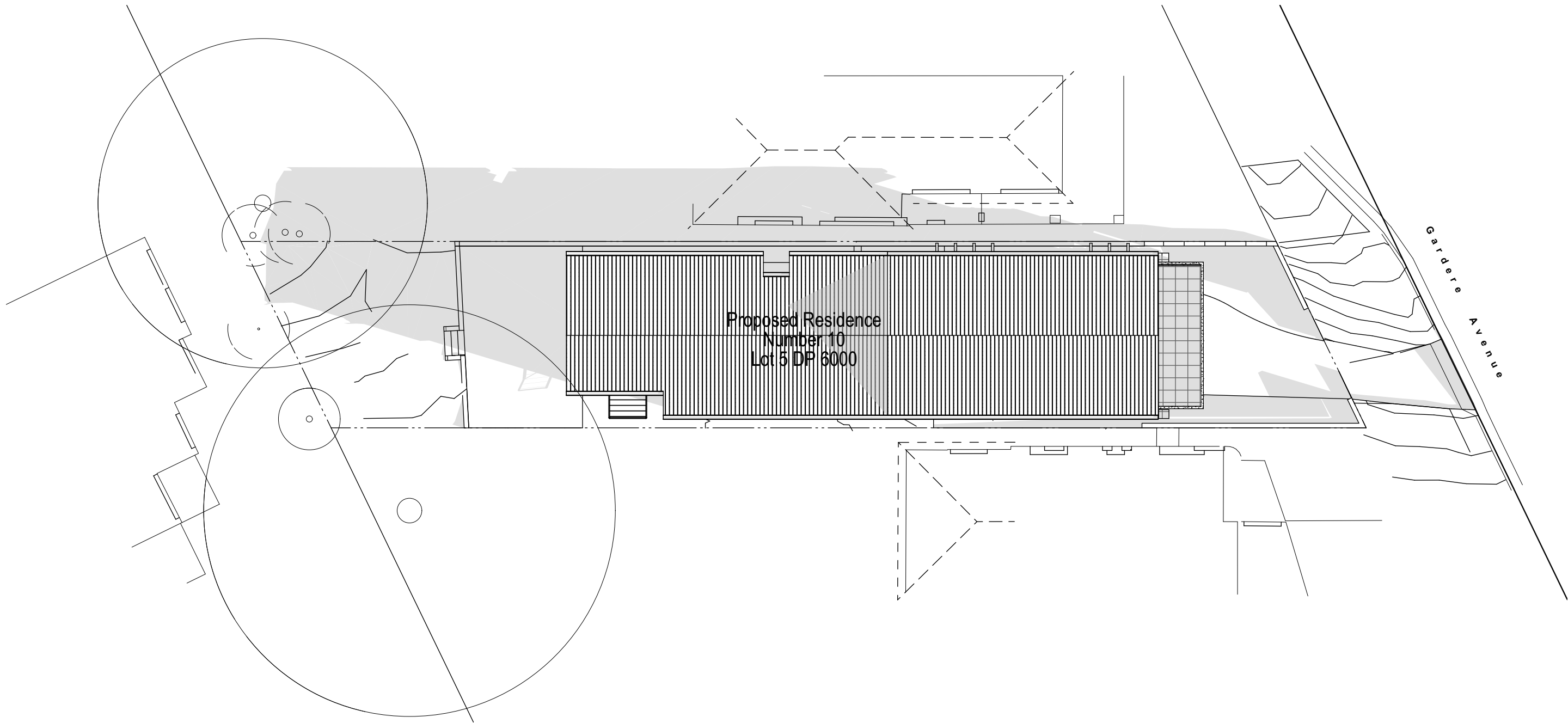
Luxury Residential Design
Urban - Rural - Coastal - Alpine
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence
SITE:
10 Gardere Avenue Curl Curl NSW
CLIENT:
P & A Torrington

DRAWING TITLE:
Sections
Sections 4
DRAWN / DESIGNED:
Jeremy McCulla
SCALE:
As Ind @ A3

DATE	DRAWN	PRINT DATE
19/3/21	JMC	19/3/21
PROJECT NUMBER	DRAWING NUMBER	PROJECT STATUS
580	580.A403	DA5
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01

Shadow Diagram 21 June at 0900h
Scale 1:200

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DATE:

DESIGN / DRAWN



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M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

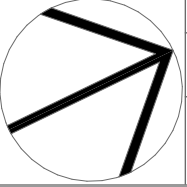
Shadow Diagrams
Shadow Diagram 9am

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

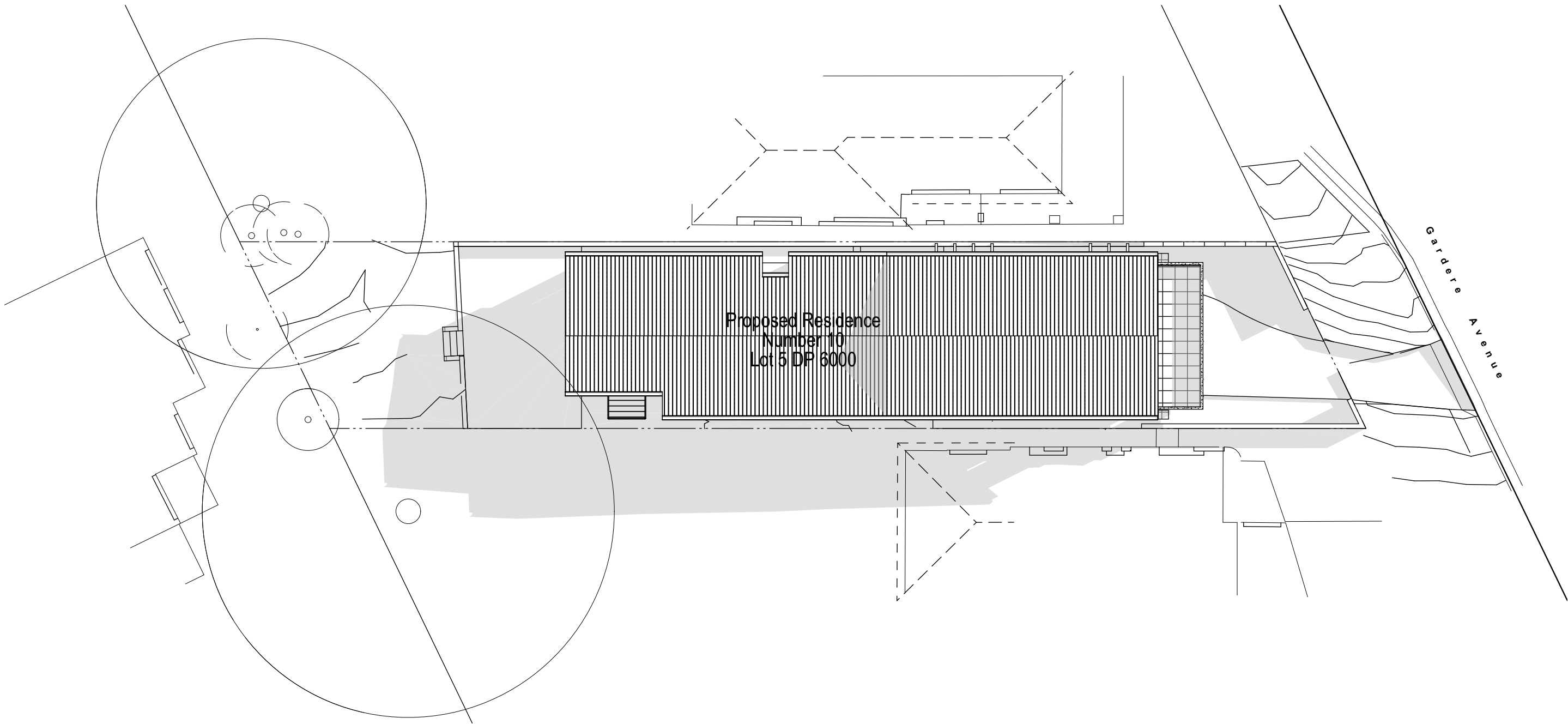
As Ind @ A3



DATE 19/3/21	DRAWN JMC	PRINT DATE 19/3/21
PROJECT NUMBER 580	DRAWING NUMBER 580.A500	PROJECT STATUS DA5

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02

Shadow Diagram 21 June at 1200h
Scale 1:200

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DESIGN / DRAWN

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M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

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DA-1	JM	Levels updated	19.11.20
DA-1 prelim	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence

SITE:
10 Gardere Avenue
Curl Curl NSW

CLIENT:
P & A Torrington

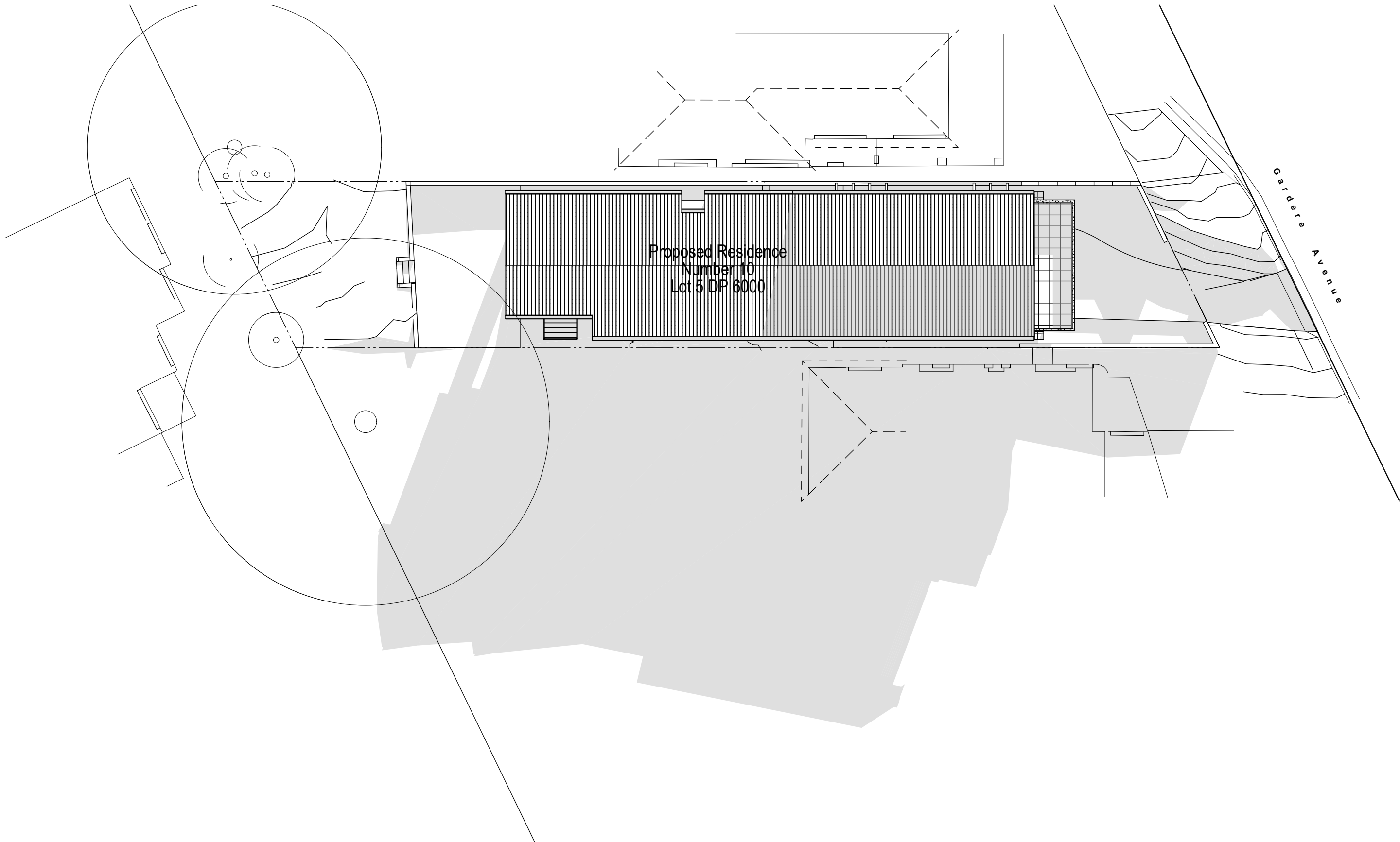
DRAWING TITLE:
Shadow Diagrams
Shadow Diagram 12pm

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



DATE 19/3/21	DRAWN JMC	PRINT DATE 19/3/21
PROJECT NUMBER 580	DRAWING NUMBER 580.A501	PROJECT STATUS DA5
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03

Shadow Diagram 21 June at 1500h
Scale 1:200

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DESIGN / DRAWN

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www.urbanharmony.com.au

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DA-1 prelim	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence

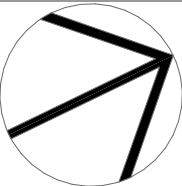
SITE:
10 Gardere Avenue
Curl Curl NSW

CLIENT:
P & A Torrington

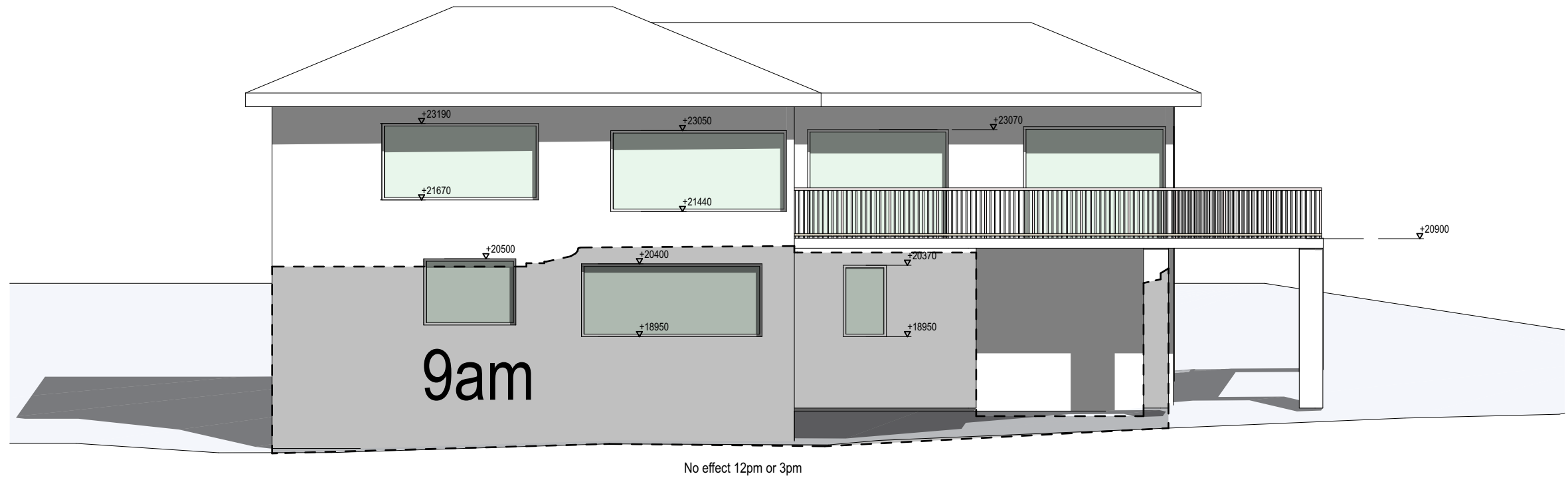
DRAWING TITLE:
Shadow Diagrams
Shadow Diagram 3pm

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



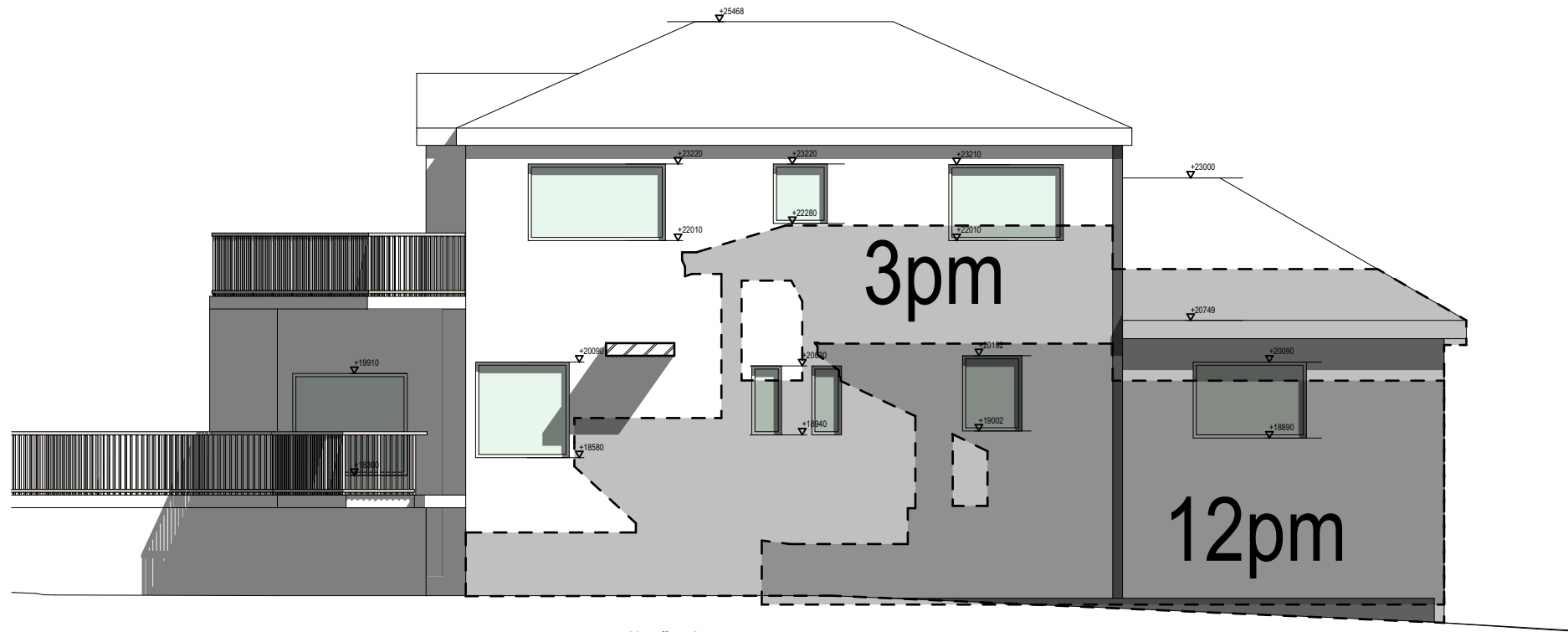
DATE 19/3/21	DRAWN JMC	PRINT DATE 19/3/21
PROJECT NUMBER 580	DRAWING NUMBER 580.A502	PROJECT STATUS DA5
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No effect 12pm or 3pm

05

Neighbouring Residence #12 - Winter Solstice 21 June
Scale1:100



No effect 9am

06

Neighbouring Residence #8 - Winter Solstice 21 June
Scale1:100

APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN



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Jeremy@urbanharmony.com.au
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Shadow Diagrams
Elevational Shadow Diagrams

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A503

PROJECT STATUS

DA5

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Window & External Door Schedule

Number	Height	Width	Sill Height	Head Height	Comments	Story	Location	Elevation	Glazing	Frame
W01	2400	1020	0	2400	Entry Combination	Ground Floor	Entry	S-01	TBA	Aluminium
W02	2400	900	0	2400	Single Glazed Door	Ground Floor	Garage	Left / East	TBA	Aluminium
W03	2400	820	0	2400	Glazed Laundry door & Louvres	Ground Floor	Laundry	Left / East	TBA	Aluminium
W04	1500	1810	900	2400	Sliding	Ground Floor	Bed 2	Left / East	TBA	Aluminium
W05	600	1510	1800	2400	Sliding	Ground Floor	Ens 2	Left / East	Obscure Glass	Aluminium
W06	1500	1810	900	2400	Sliding	Ground Floor	Bed 3	Left / East	TBA	Aluminium
W07	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Left / East	TBA	Aluminium
W08	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Left / East	TBA	Aluminium
W09	2400	4200	0	2400	Sliding Door	Ground Floor	Rumpus	Rear / South	TBA	Aluminium
W10	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Right / West	TBA	Aluminium
W11	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Right / West	TBA	Aluminium
W12	600	1510	1800	2400	Sliding	Ground Floor	Bath	Right / West	Obscure Glass	Aluminium
W13	2700	6620	0	2700	Sliding Door	First Floor	Living Room	Front / North	TBA	Aluminium
W14	1645	6620	2700	4345	Angled Highlight	First Floor Highlight	Living Room	Front / East	TBA	Aluminium
W15	2105	600	380	2485	Louvre	First Floor	Living Room.	Left / East	Obscure Glass	Aluminium
W16	2105	600	380	2485	Louvre	First Floor	Living Room.	Left / East	Obscure Glass	Aluminium
W17	600	3600	900	1500	Louvre combination	First Floor	Kitchen	Left / East	TBA	Aluminium
W18	600	1210	900	1500	Fixed	First Floor	Pantry	Left / East	TBA	Aluminium
W19	1500	1810	900	2400	Sliding	First Floor	Guest	Left / East	TBA	Aluminium
W20	600	1510	1800	2400	Sliding	First Floor	Pdr	Left / East	Obscure Glazing	Aluminium
W21	1500	1810	900	2400	Sliding	First Floor	Study	Left / East	TBA	Aluminium
W22	1500	2710	900	2400	Sliding	First Floor	Master Suite	Left / East	TBA	Aluminium
W23	600	3040	1800	2400	Awning	First Floor	Master Suite	Left / South	TBA	Aluminium
W24	600	2000	1800	2400	Sliding	First Floor	Ensuite	Right / West	Obscure Glass	Aluminium
W25	900	610	1500	2400	Sliding	First Floor	Ens WC	Right / West	Obscure Glass	Aluminium
W26	2400	1810	-380	2020	Louvre	First Floor	Stair	Right / West	Obscure Glass	Aluminium
W27	2105	600	323	2428	Louvre	First Floor	Meals	Right / West	Obscure Glass	Aluminium
W28	2105	600	323	2428	Louvre	First Floor	Living Room.	Right / West	Obscure Glass	Aluminium
W29	2105	600	323	2428	Louvre	First Floor	Living Room.	Right / West	Obscure Glass	Aluminium

APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN

UrbanHarmony

Luxury Residential Design
Urban · Rural · Coastal · Alpine
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Schedules
Window Schedule

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A600

PROJECT STATUS

DA5

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5.4

NATIONWIDE HOUSE

ENERGY RATING SCHEME

59.0

MJ/m²

www.nathers.gov.au

0004952263-03 15 Dec 2020

Assessor

Brad Hoad

Accreditation No.

20731

Address

10 Gardere Avenue, CURL

CURL, NSW, 2096

www.hstar.com.au

ABSA

Australian Building Sustainability Association

ABSA Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation Period 01/04/2020-31/03/2021

Assessor Name Brad Hoad

Assessor Number 20731

Assessor Signature

This Accredited Assessor is qualified to use NABERS Assessment Software and has agreed to follow the ABSA Code of Practice

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔ ✔ ✔	✔ ✔ ✔
Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔
Floor and wall construction	Area		
floor - concrete slab on ground	All or part of floor area square metres		
floor - suspended floor above garage	All or part of floor area		

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 5 of the bedrooms / study; dedicatedat least 3 of the living / dining rooms; dedicatedthe kitchen; dedicatedall bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✔ ✔ ✔ ✔ ✔ ✔	✔ ✔ ✔ ✔ ✔ ✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

BASIX NOTES

Water

- 1,800 Rain water tank, approx. 60% of roof draining to it, connect to WC, garden tap & washing machine
- 3 star showerhead 7.5-9 litres/min
- 4 star wc
- 4 star taps

Thermal

- Medium colour walls
- Medium colour roof
- Wafflepod slab
- 15mm foil faced foam cavity insulation (incl. Garage external wall)
- R2.5 wall insulation to first floor
- R4.0 ceiling insulation (excl. Garage)
- R2.5 to exposed 1st floors and between garage & rooms above
- Anticon to roof
- Self sealing exhaust fans to wet areas with shower
- Weather stripping

Downlights

Standard windows (AWS)

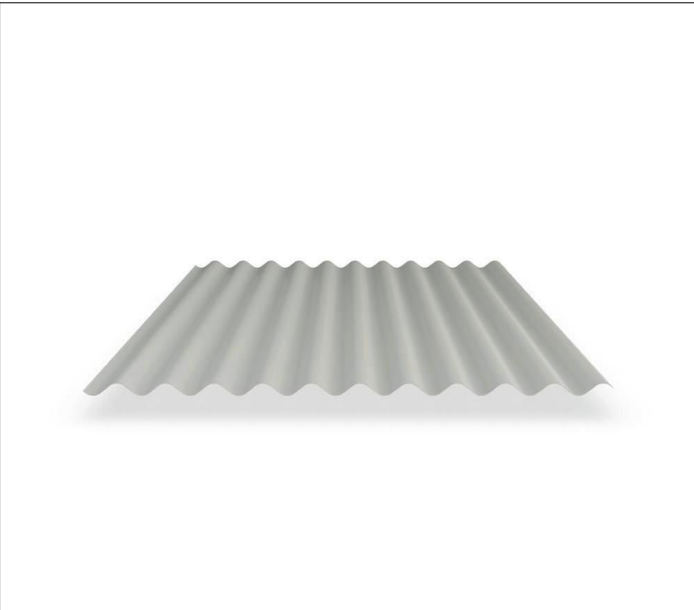
- Sliding/Fixed Uw 6.4 & shgc 0.73 clear glass
- Sliding door Uw 3.2 & shgc 0.57 double glazed low e (rumpus)
- Awning Uw 4.9 & shgc 0.41 comfort plus glass (kitchen & pantry, stairwell)
- Sliding/Fixed Uw 3.5 & shgc 0.55 double glazed low e (entry sidelight, highlight in living)
- Stacking door door Uw 3.3 & shgc 0.56 double glazed low e (living)
- Entry door Uw 5.9 & shgc 0.56 single glazed
- Louver Uw 4.5 & shgc 0.54 low e

Energy

- Gas instantaneous HWS 6 stars
- Three phase reverse cycle a/c
- Exhaust fan to wet areas, ducted to outside air
- Rangehood, ducted to outside air
- Gas cooktop, electric oven
- External clothesline



<div>APPROVED BY</div> <div>CLIENT NAME(s):</div> <div>DATE:</div>		<div>DESIGN / DRAWN</div> <div><div><div></div><div></div><div></div></div><div>UrbanHarmony</div><div>Luxury Residential Design Urban · Rural · Coastal · Alpine M 0402 200 700 T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div>		<table><tr><td>DA5</td><td>JM</td><td>Balcony post behind front setback, front roof amended</td><td>19.03.21</td></tr><tr><td>DA4</td><td>JM</td><td>Steps removed, minor adjustments</td><td>09.03.21</td></tr><tr><td>DA3</td><td>JM</td><td>3d Views & levels added</td><td>02.03.21</td></tr><tr><td>DA2</td><td>JM</td><td>DA Submission #2</td><td>24.12.20</td></tr><tr><td>DA-2</td><td>JM</td><td>Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing</td><td>13.12.20</td></tr><tr><td>DA-1</td><td>JM</td><td>Levels updated</td><td>19.11.20</td></tr><tr><td>DA-1 prelim</td><td>JM</td><td>Roof redesigned, levels updated, further info added for comment only</td><td>14.11.20</td></tr><tr><td>ISSUE</td><td>CHANGE</td><td>CHANGE NAME</td><td>DATE</td></tr></table>		DA5	JM	Balcony post behind front setback, front roof amended	19.03.21	DA4	JM	Steps removed, minor adjustments	09.03.21	DA3	JM	3d Views & levels added	02.03.21	DA2	JM	DA Submission #2	24.12.20	DA-2	JM	Levels updated, rear living spaces adjusted to provide additional landscaped area, overall size reduced, flow path revised to existing	13.12.20	DA-1	JM	Levels updated	19.11.20	DA-1 prelim	JM	Roof redesigned, levels updated, further info added for comment only	14.11.20	ISSUE	CHANGE	CHANGE NAME	DATE	<div>PROJECT:</div> <div>Torrington Residence</div> <div>SITE:</div> <div>10 Gardere Avenue Curl Curl NSW</div> <div>CLIENT:</div> <div>P & A Torrington</div>		<div>DRAWING TITLE:</div> <div>Schedules BASIX</div> <div>DRAWN / DESIGNED:</div> <div>Jeremy McCulla</div> <div>SCALE:</div> <div>As Ind @ A3</div>		<table><tr><td>DATE</td><td>DRAWN</td><td>PRINT DATE</td></tr><tr><td>19/3/21</td><td>JMC</td><td>19/3/21</td></tr><tr><td>PROJECT NUMBER</td><td>DRAWING NUMBER</td><td>PROJECT STATUS</td></tr><tr><td>580</td><td>580.A601</td><td>DA5</td></tr><tr><td colspan="3">© Copyright UrbanHarmony Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1988. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</td></tr></table>		DATE	DRAWN	PRINT DATE	19/3/21	JMC	19/3/21	PROJECT NUMBER	DRAWING NUMBER	PROJECT STATUS	580	580.A601	DA5	© Copyright UrbanHarmony Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1988. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.		
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Roof - Colorbond Custom Orb - Windspray (Note BASIX Medium solar absorptance required)
(Note, low pitched areas in Klip-Lok or similar)



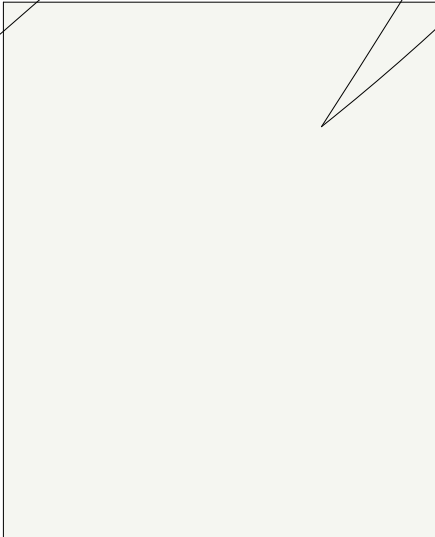
Stone Cladding



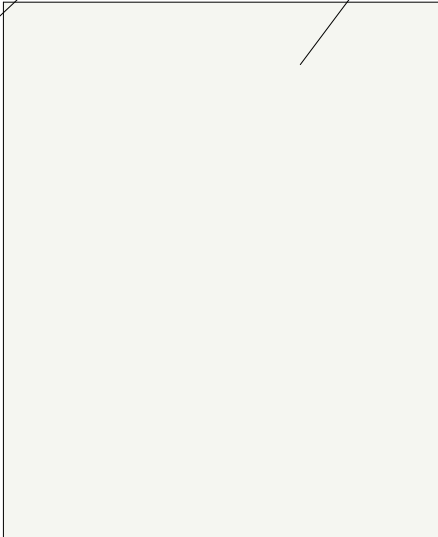
Rendered areas - Dulux Doe



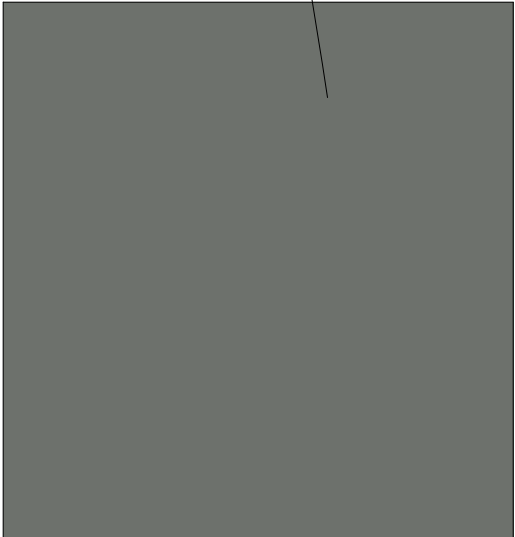
Feature areas and fascia - Dulux Lexicon quarter
or Dulux Vivid White



Window & External door frames - Natural white
Balcony hob - Natural white



Painted Weatherboards - Dulux - Natural White



Gutters - Windspray (downpipes painted to match walls)

NOTE
Colours Must be confirmed on site by client utilising
1.0m x 1.0m swatches as environment can alter final colour

**Preliminary selections only , Final colour and
material selection at owner's discretion.**

APPROVED BY

CLIENT NAME(s):

DATE:

DESIGN / DRAWN

UrbanHarmony

Luxury Residential Design

Urban - Rural - Coastal - Alpine

M 0402 200 700 T 02 9973 4697

PO Box 858 Avalon Beach NSW 2107

Jeremy@urbanharmony.com.au

www.urbanharmony.com.au

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Schedules
Colours and Materials

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

DRAWN

JMC

PRINT DATE

19/3/21

PROJECT NUMBER

580

DRAWING NUMBER

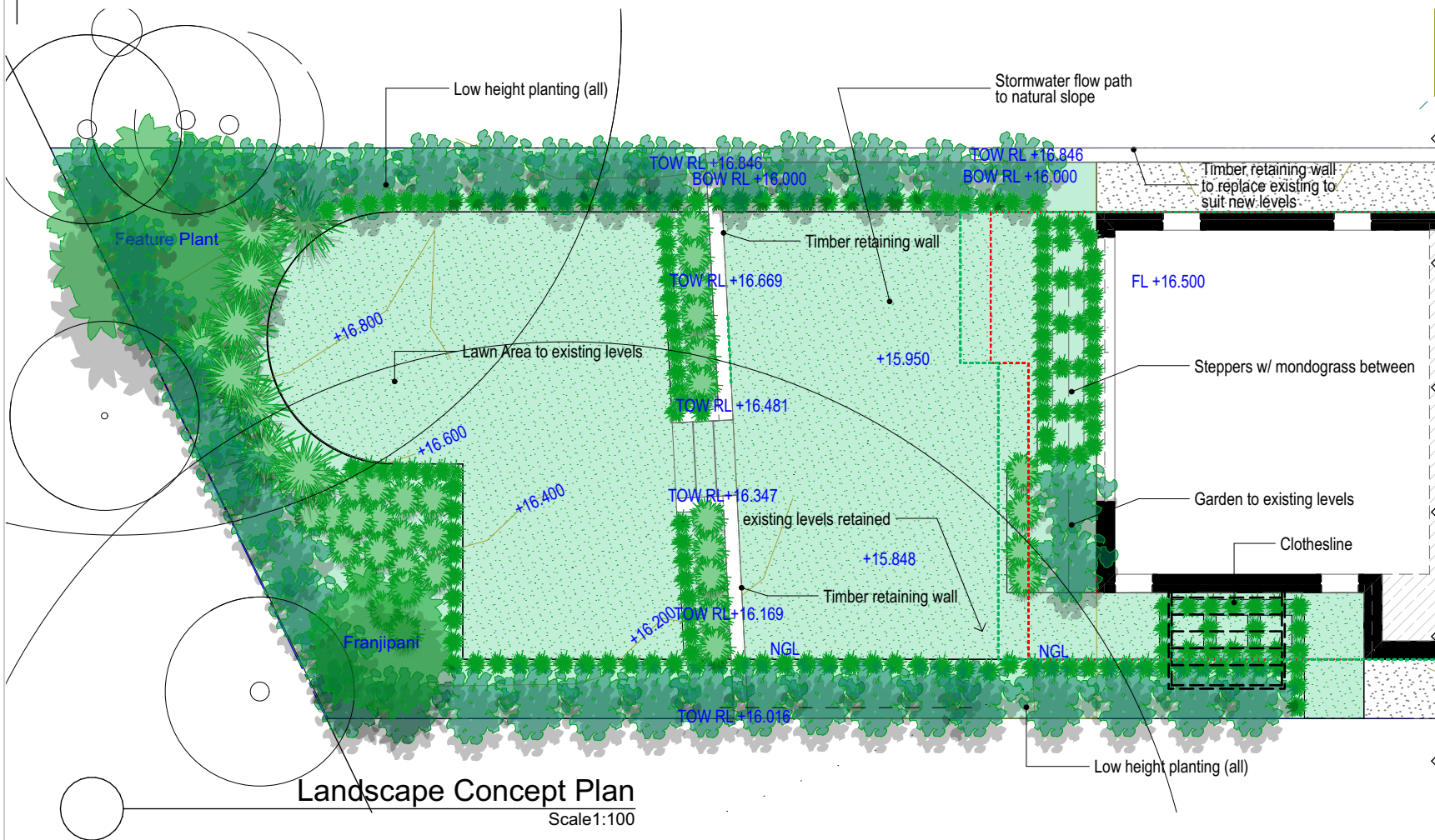
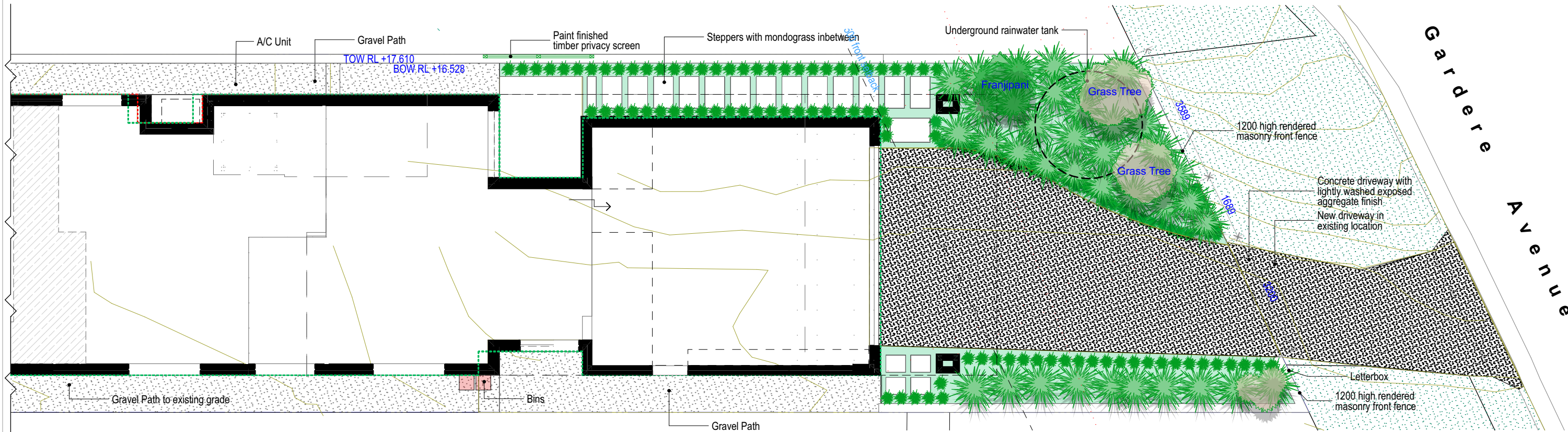
580.A602

PROJECT STATUS

DA5

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Landscape Concept Plan

Scale 1:100

General Landscape Notes

Soil Preparation.

Where earthworks have occurred, the contractor is to ensure any stockpiled soil is free of unwanted matter such as clay lumps, rocks, tree roots, builder's rubbish and any other material toxic to plants.

Noxious Plants

Any council listed noxious plants for the locality are to be removed from site as required and approved.

Preparation of Garden beds

Garden beds are to be cultivated to a depth of 300mm incorporating organic soil conditioner with existing soil when planting. Soil beneath existing trees to be retained is not to be cultivated. Fine grade mulch such as forest fines to be installed to a depth of 60mm to garden beds, coving mulch downward around plant stems and finishing flush or just below adjoining surfaces. Plants are to be fertilised with a slow release fertiliser that is suitable to plant selection. Thoroughly water in plant and treatment.

Installation of Plants

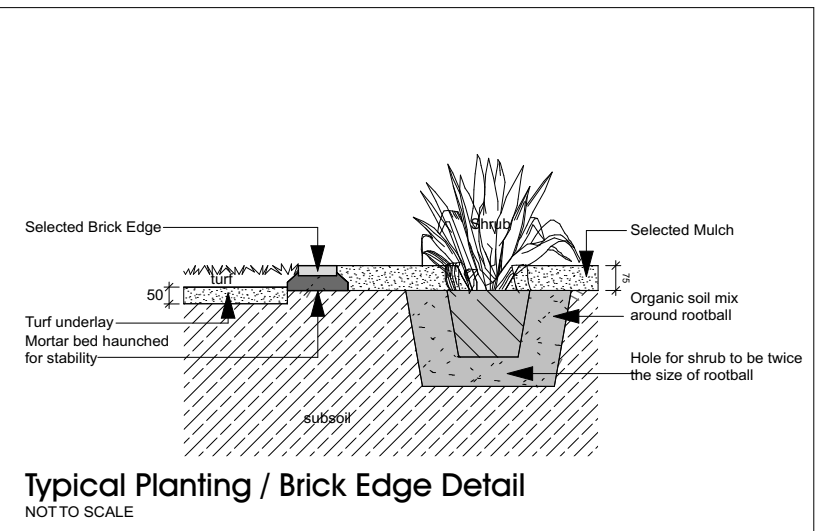
All plants to be true to name, size and variety, in a well developed healthy condition with well established roots, free from insects and disease.

Turf

Turf to owners selection.

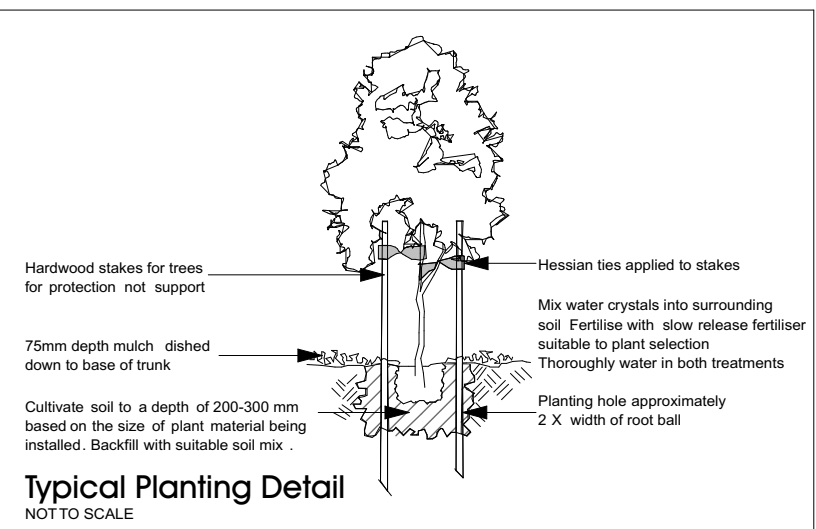
Drainage

Refer to engineers details for surface and subsoil drainage provisions



Typical Planting / Brick Edge Detail

NOT TO SCALE



Typical Planting Detail

NOT TO SCALE

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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

**Landscape Plans
Landscape Concept Plan**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

PROJECT NUMBER

580

DRAWN

JMC

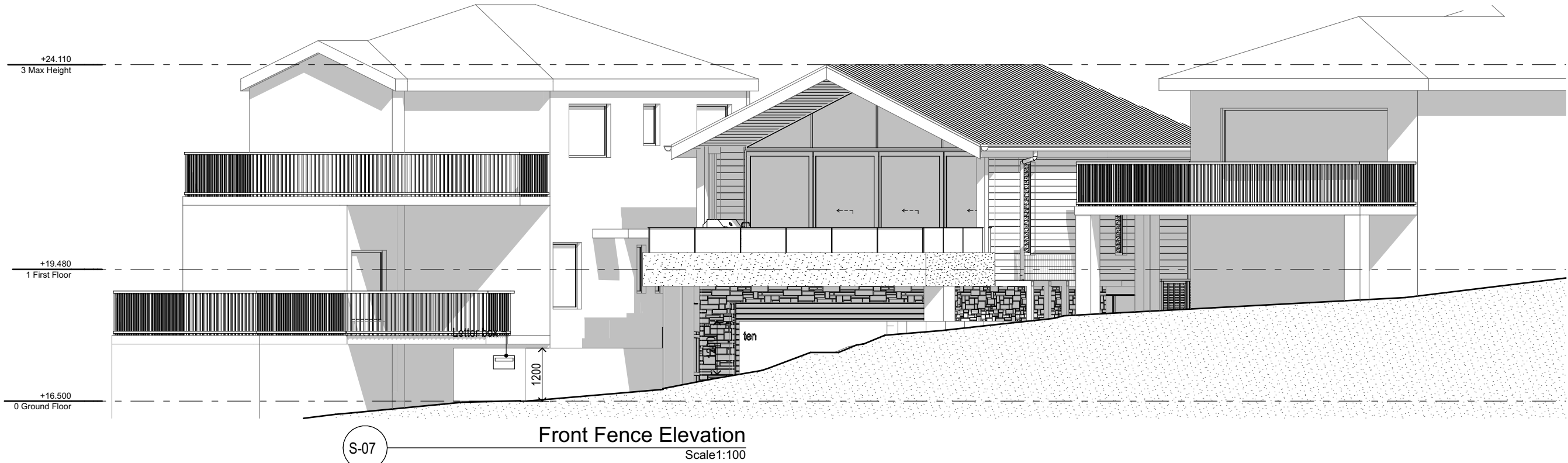
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PROJECT STATUS

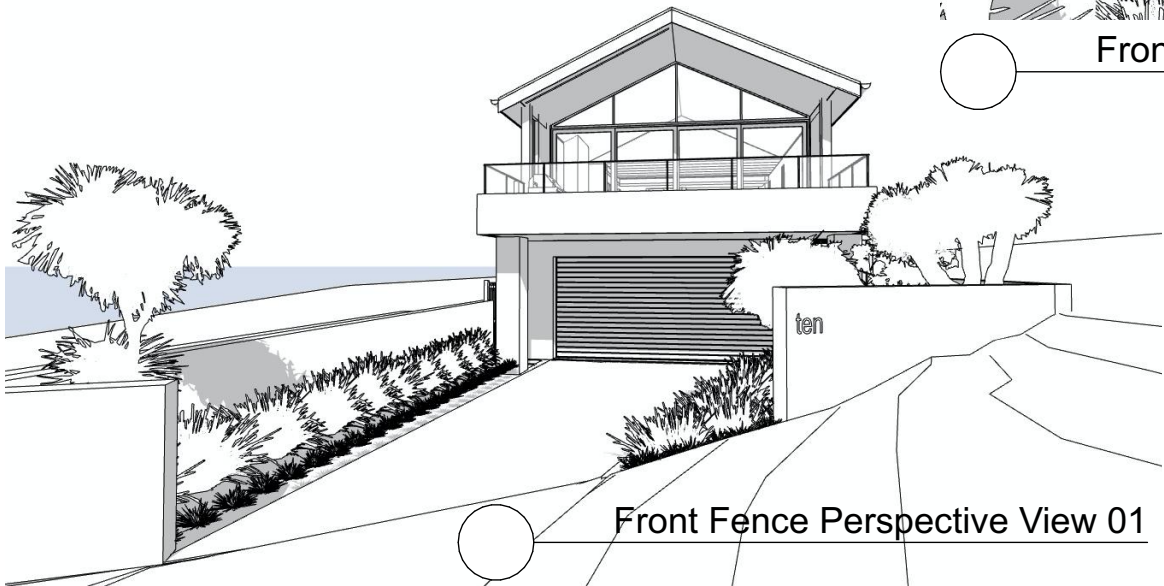
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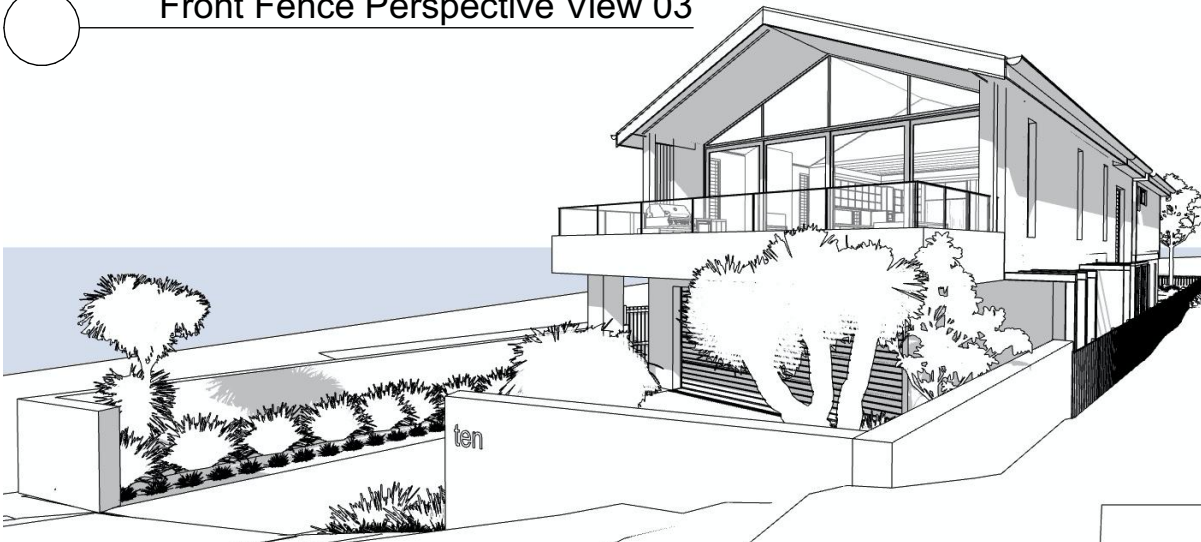


Front Fence Perspective View 02

Front Fence Perspective View 03



Front Fence Perspective View 01



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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Landscape Plans
Front Fence Elevation & 3D

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

19/3/21

PROJECT NUMBER

580

DRAWN

JMC

DRAWING NUMBER

580.A701

PRINT DATE

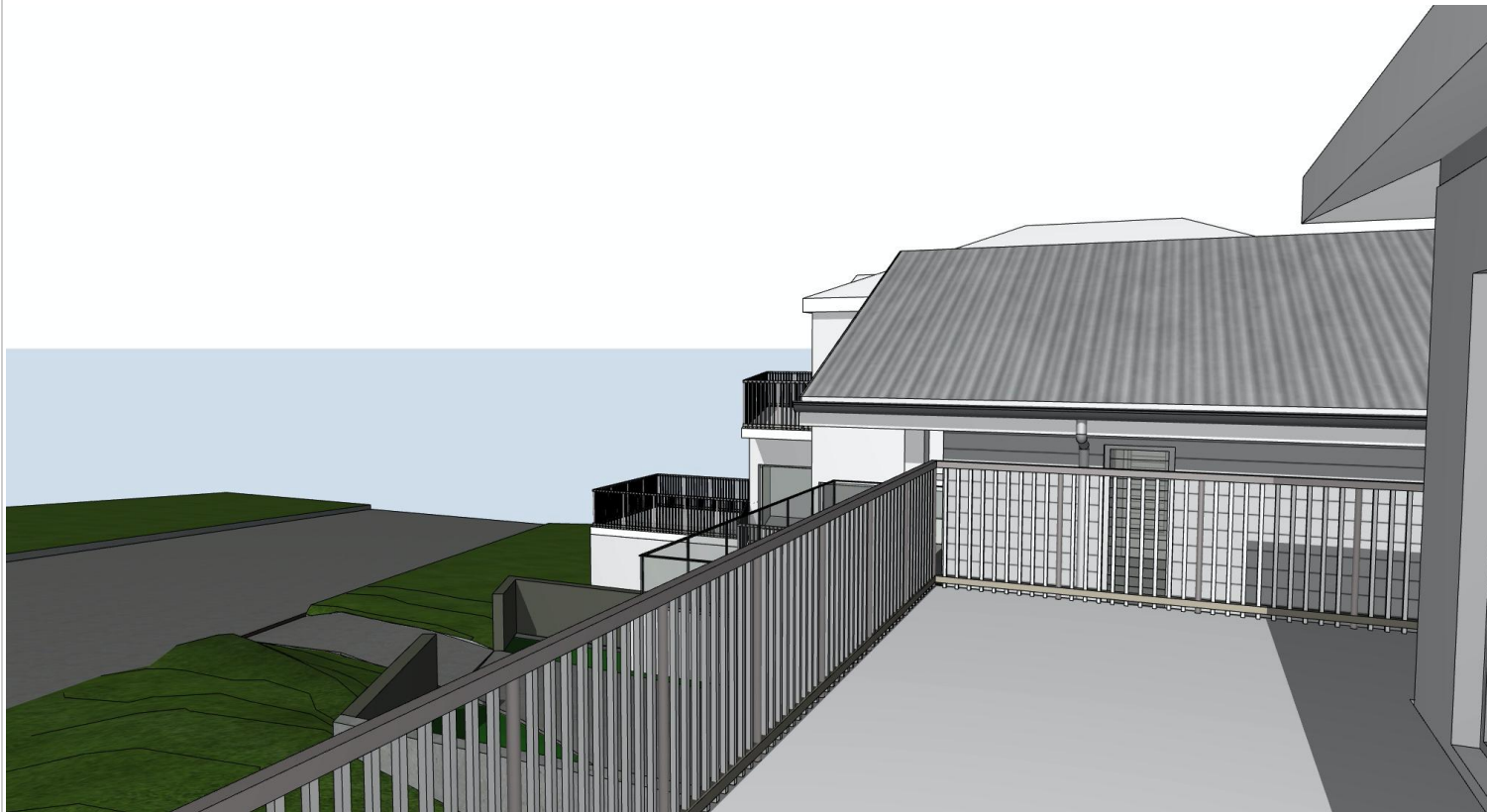
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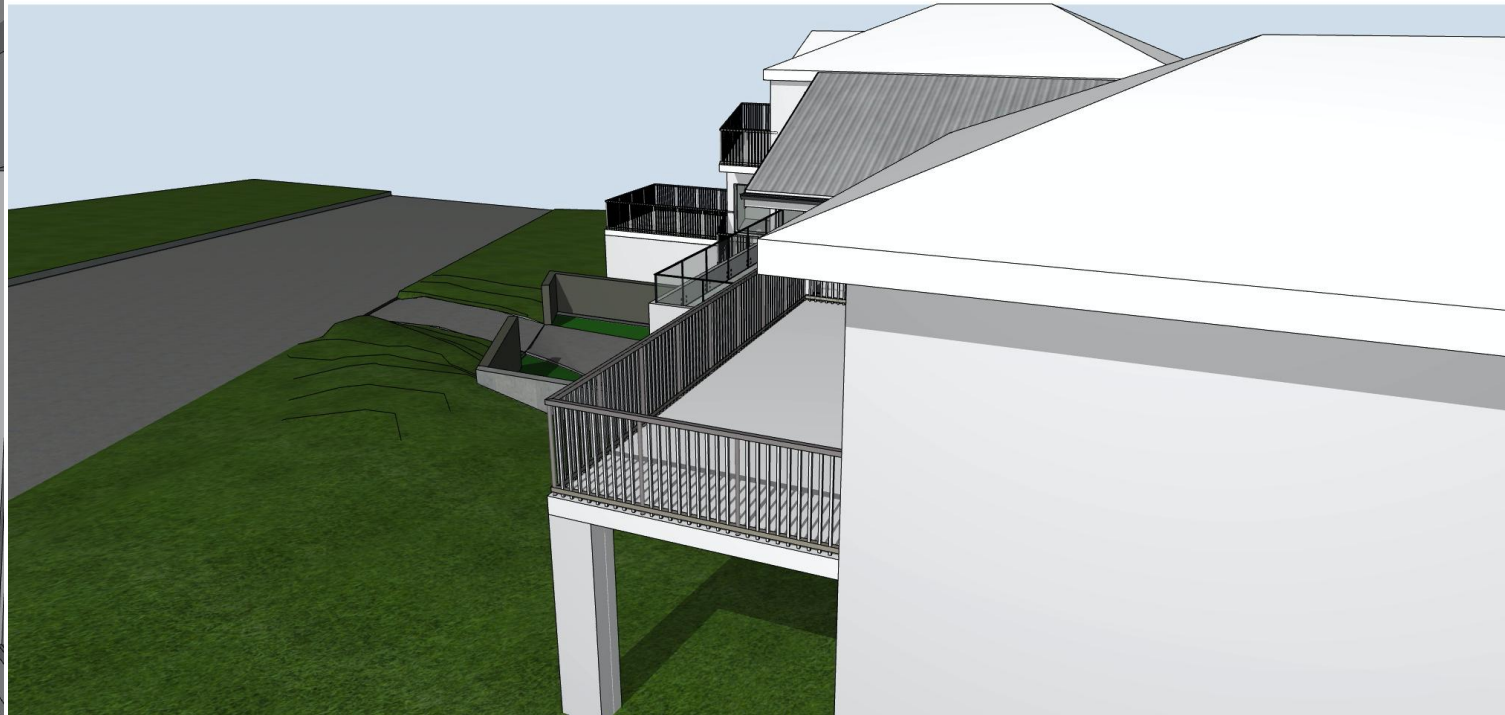
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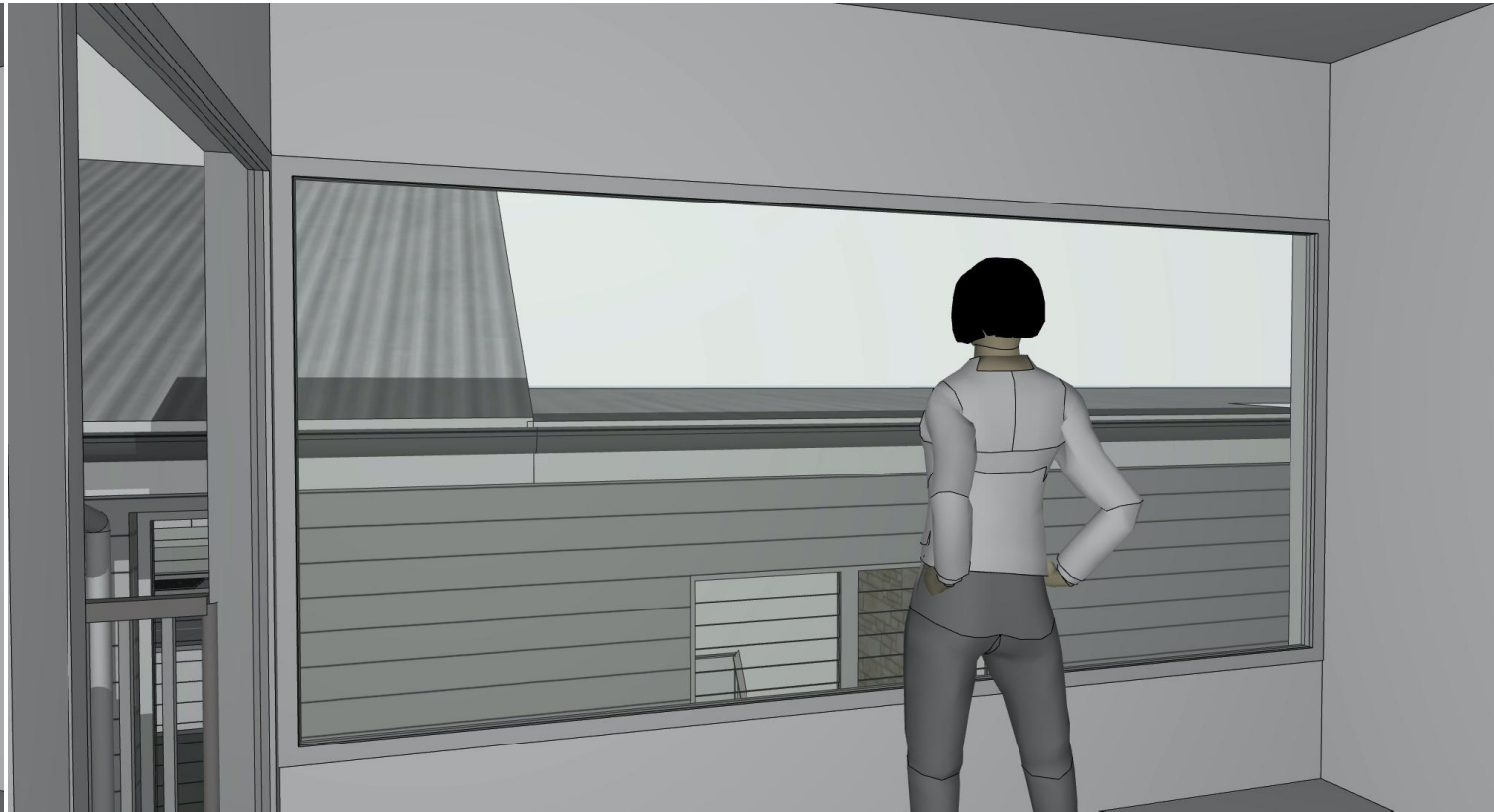
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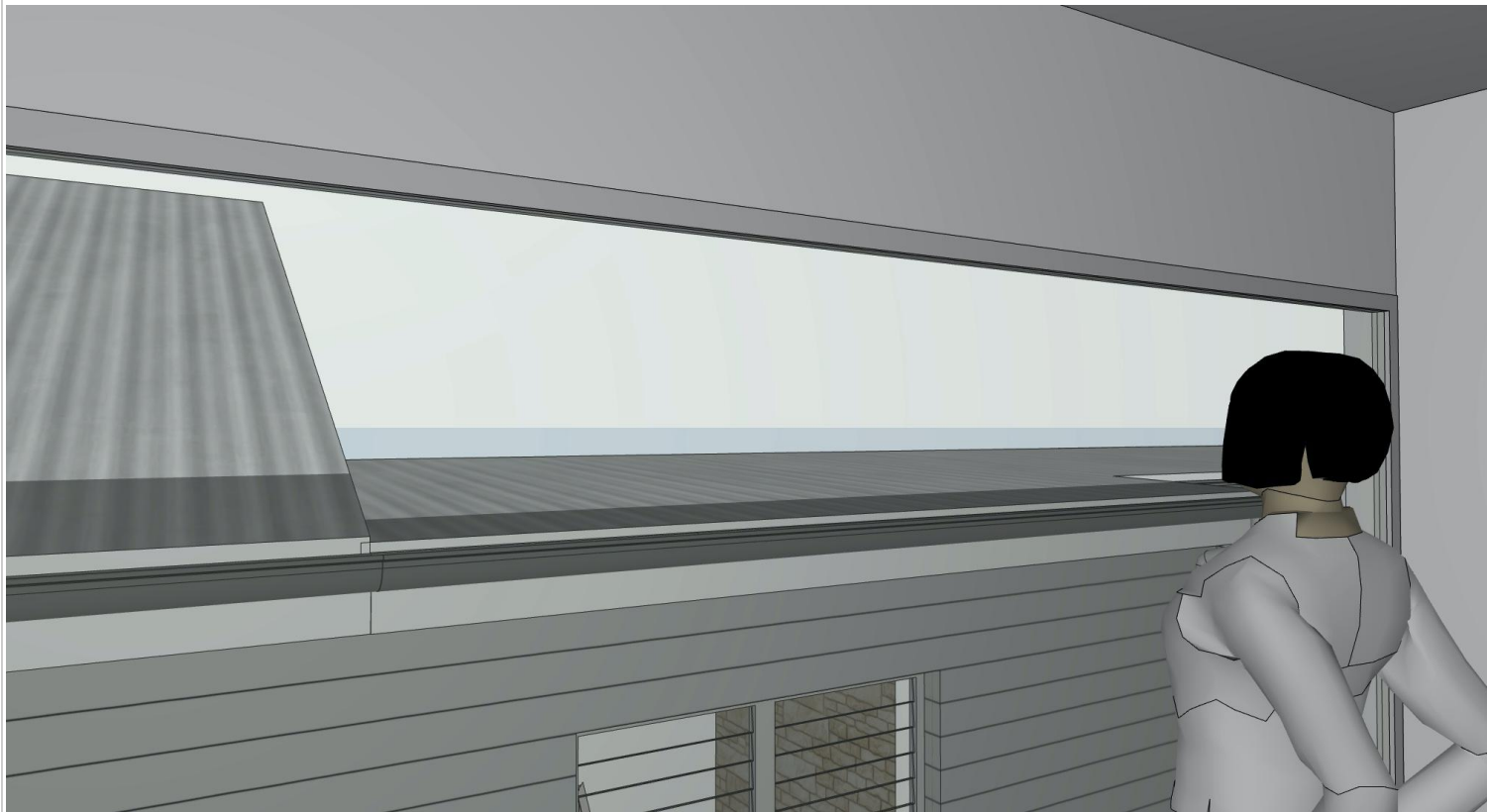
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Perspective 03



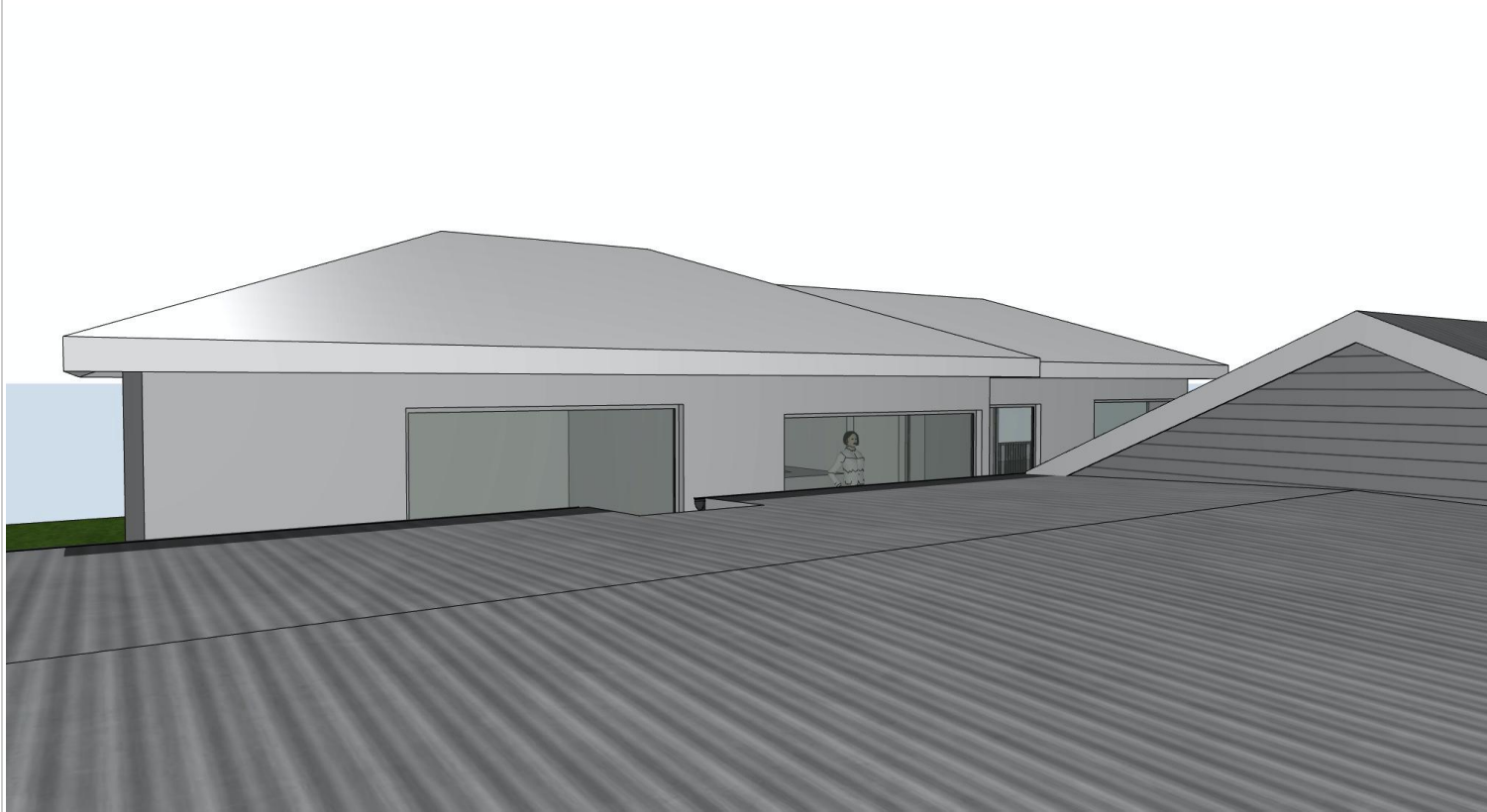
Perspective 04



Perspective 05



Perspective 06



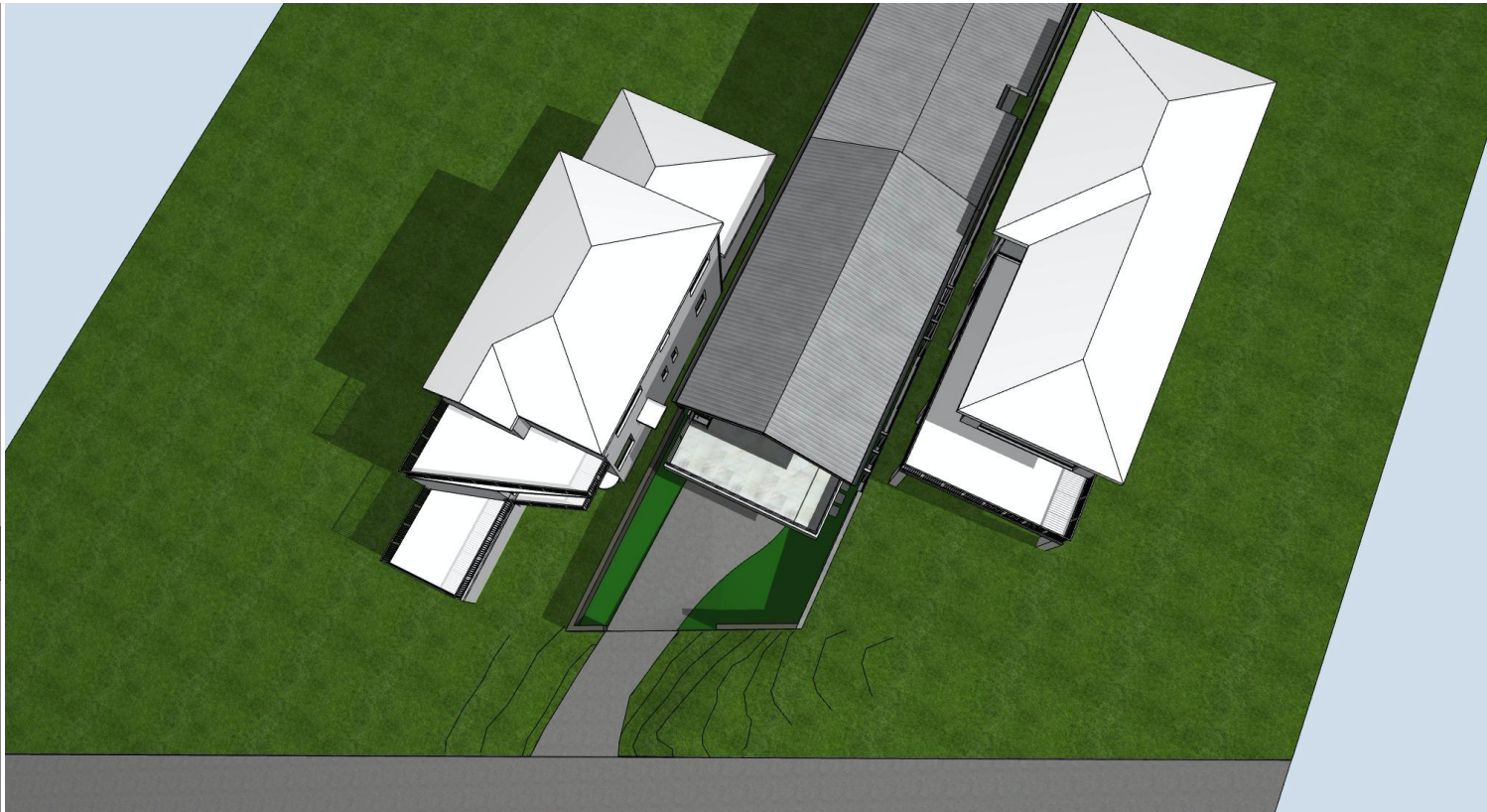
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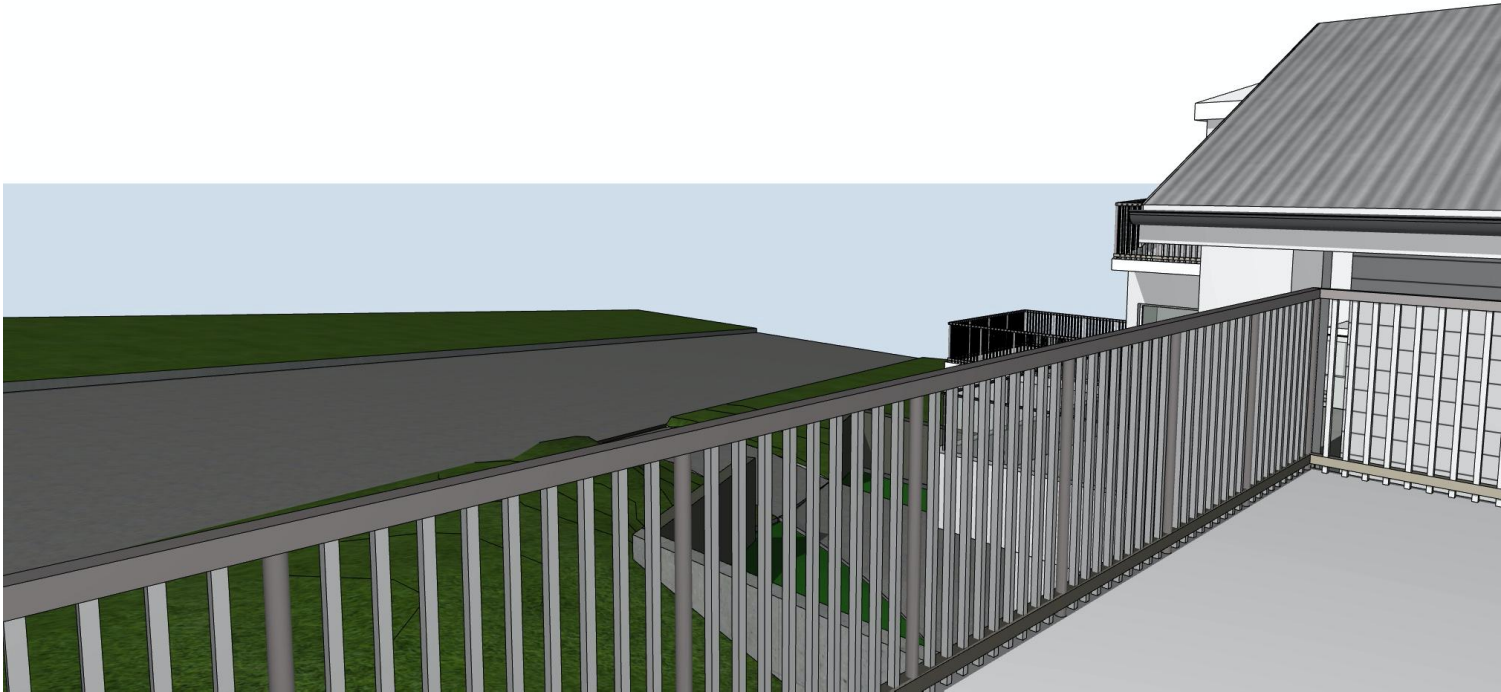
Perspective 08



Perspective 09



Perspective 10



Perspective 11



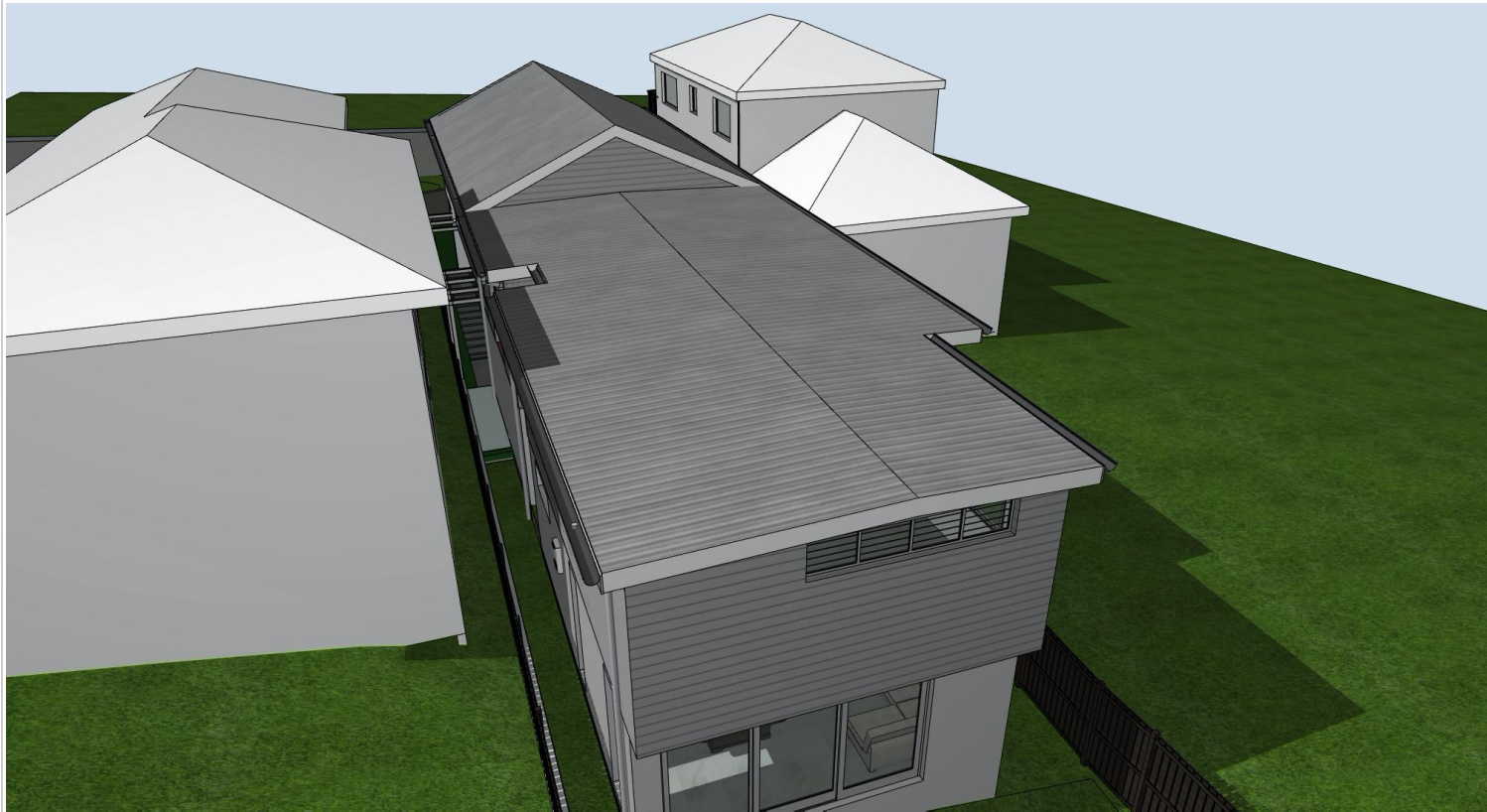
Perspective 12



Perspective 13



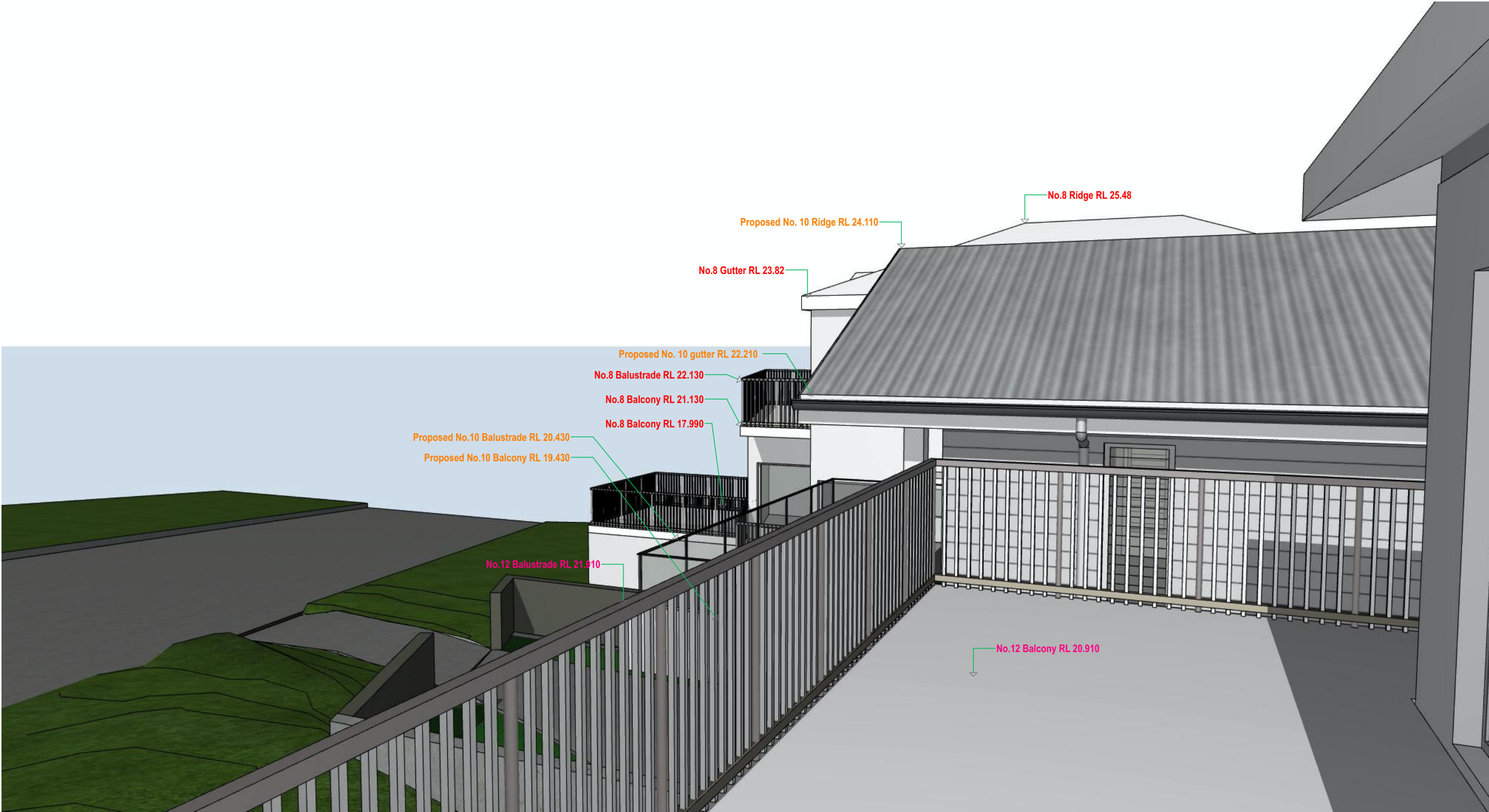
Perspective 14



Perspective 15



Perspective 16



Perspective 01

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PROJECT:
Torrington Residence

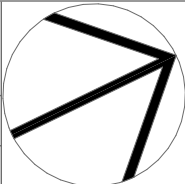
SITE:
10 Gardere Avenue
Curl Curl NSW

CLIENT:
P & A Torrington

DRAWING TITLE:
Supplementary Views & Elevations
Perspective Views 5

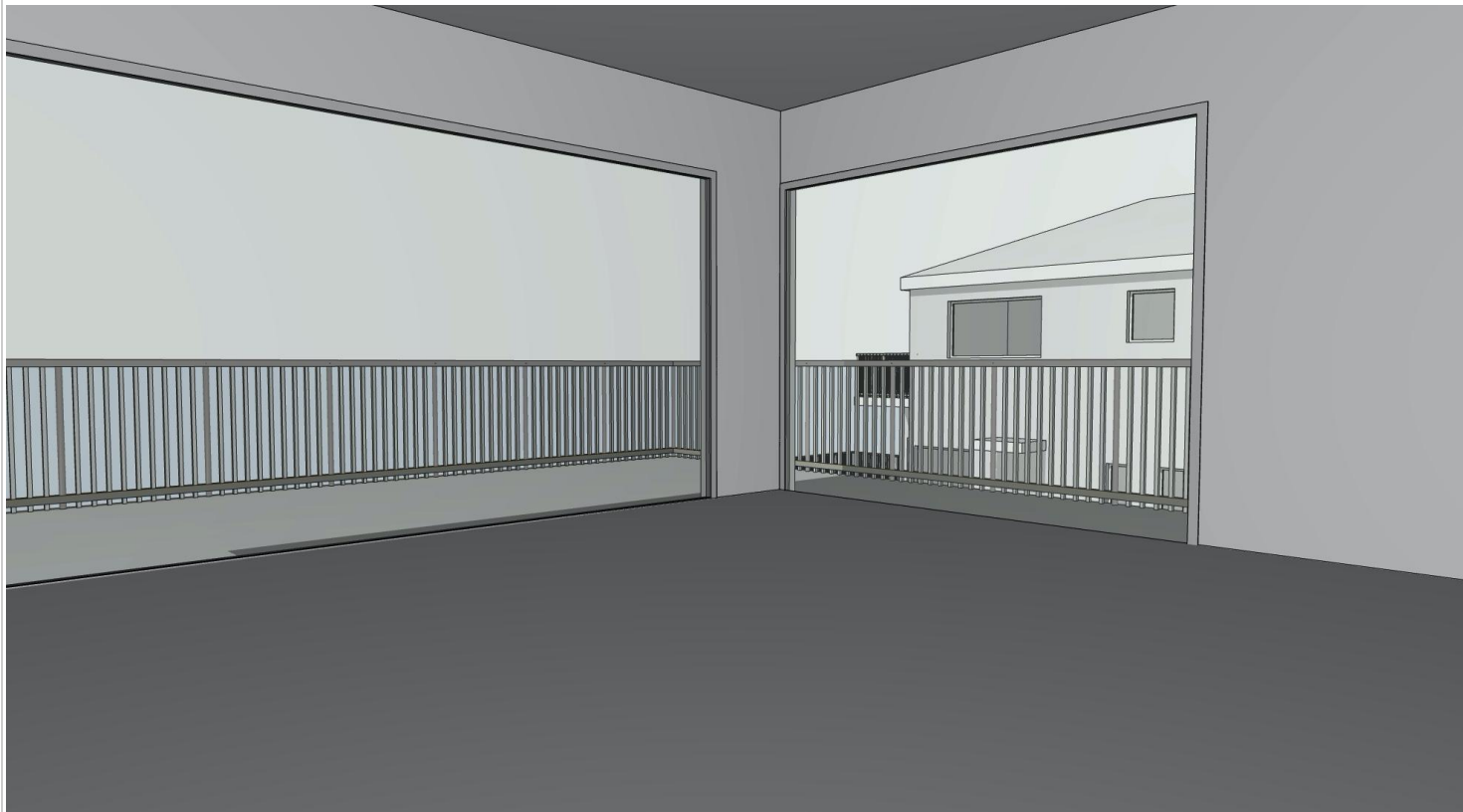
DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



DATE 19/3/21	DRAWN JMC	PRINT DATE 19/3/21
PROJECT NUMBER 580	DRAWING NUMBER 580.A804	PROJECT STATUS DA5

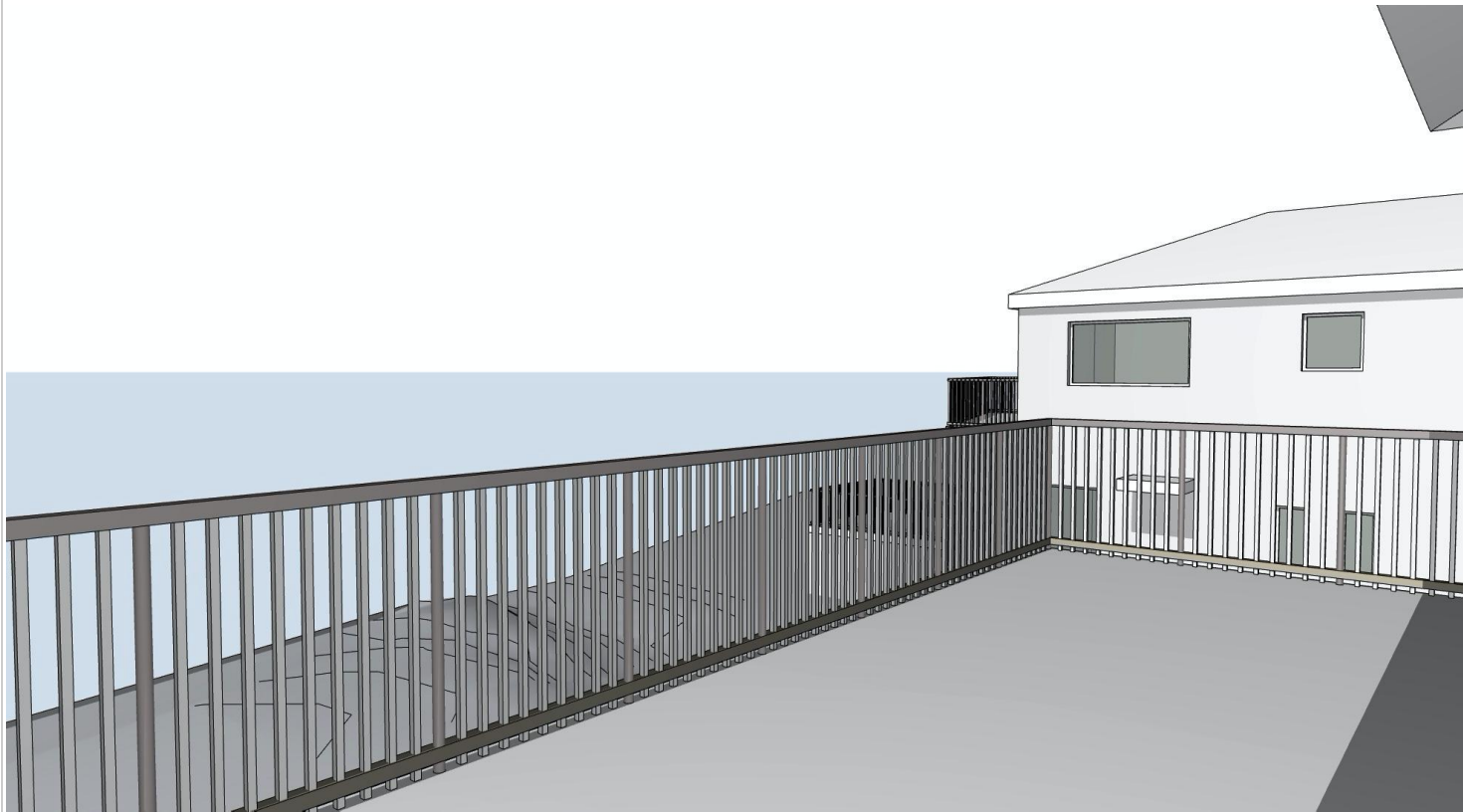
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No. 12 Living Room View Existing



No. 12 Living Room View Proposed



No. 12 Balcony View Existing



No. 12 Balcony View Proposed