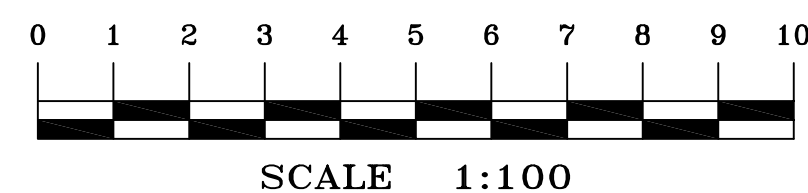


(BITUMEN FORMATION)

ROAD

TITLE INDICATES THAT LOT 70 IN D.P.238658 IS SUBJECT TO:

- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- DP238658 RESTRICTION(S) ON THE USE OF LAND
- EXCEPTING LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES



BW = BOTTOM WALL
CHI = CHIMNEY
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DRN = DRAIN
DS = DOOR SILL LEVEL
FL = FLOOR LEVEL
GRA = GRAVEL
HL = HEAD LEVEL
NBN = NBN PIT
NS = NATURAL SURFACE
PAV = PAVING
PER = PERGOLA
PP = POWER POLE
RF = TOP OF ROOF
RR = ROOF RIDGE
SIP = SEWER INSPECTION PIT
SL = SILL LEVEL
SMH = SEWER MAIN HOLE
STR = STAIRS
TG = TOP OF GUTTER
TKB = TOP OF KERB
TLE = TREE LINE
TR = TREE
TW = TOP OF WALL
—ED— = ELECTRICITY OVERHEAD
—S— = SEWER UNDERGROUND

- **A BOUNDARY SURVEY HAS BEEN UNDERTAKEN.**
- **WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.**
- **IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED ON THE BUILDING SETOUT.**
- **THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.**
- **TREE SIZES ARE ESTIMATES ONLY.**
- **THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ENDROM CONSULTING PTY LTD.**
- **RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE DOTS ARE CRITICAL, THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.**
- **EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.**
- **ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. ALL BEFORE YOU DIG SERVICES (ph 1000) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.**
- **SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.**
- **CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.**
- **CONTOURS SHOWN DEPict THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.**
- **CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADDED.**
- **POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).**
- **THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.**
- **DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE READINGS.**
- **COPYRIGHT © CMS SURVEYORS 2020.**
- **NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.**
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- **THIS NOTICE MUST NOT BE ERASED.**

STUART McEVoy
REGISTERED SURVEYOR BOSSI NUMBER 265

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
 DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
 B.M. ADOPTED: SSM 35445
 R.L. 192.620 (CLASS LB)
 SOURCE: S.C.I.M.S. (07/04/2020)

I	FIRST ISSUE	24/04/2024

CLIENT:
ENDRIM CONSULTING PTY LTD
No.104/120 BOURKE STREET
WOOLLOOMOOLOO, NSW, 2011

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOT 70 IN DP238658
No.48 TIMARU ROAD
TERREY HILLS, NSW, 2084

 C.M.S. Surveyors
Pty Limited

ACN: 096 240 201

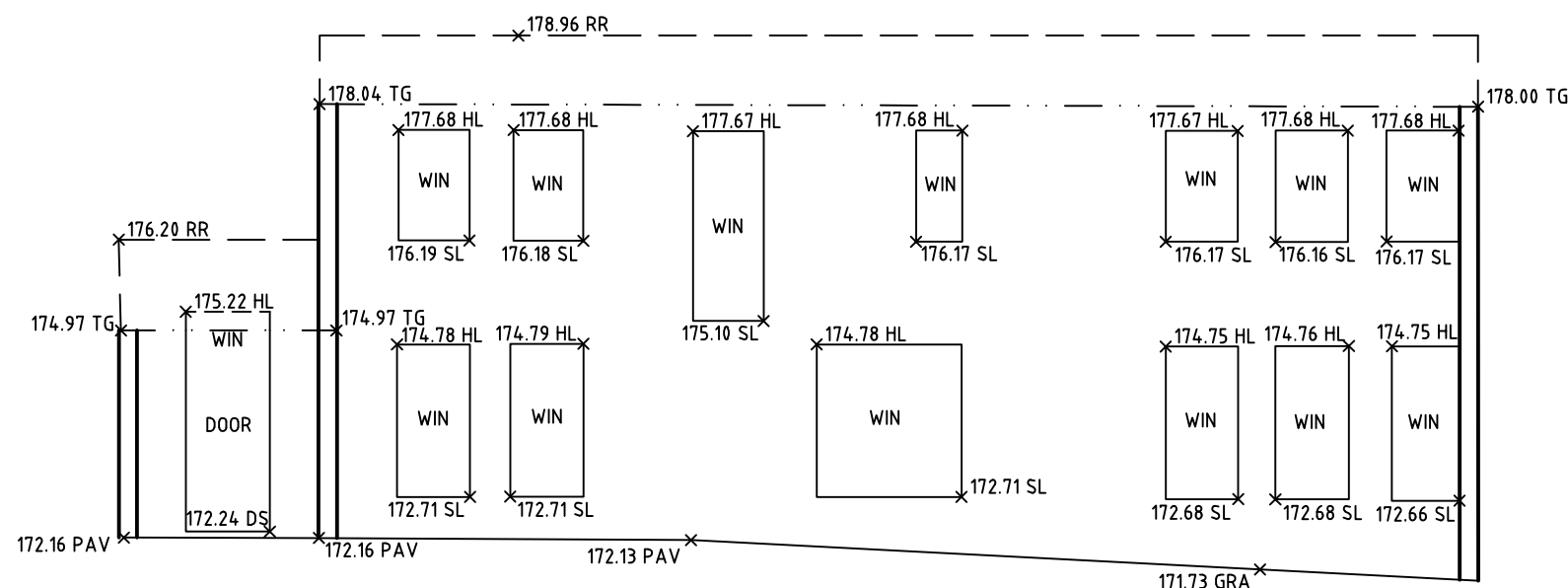
PO Box 463 Dee Why
NSW 2099
2/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmssurveyors.com.au

LGA: NORTHERN BEACHES	SHEET OF
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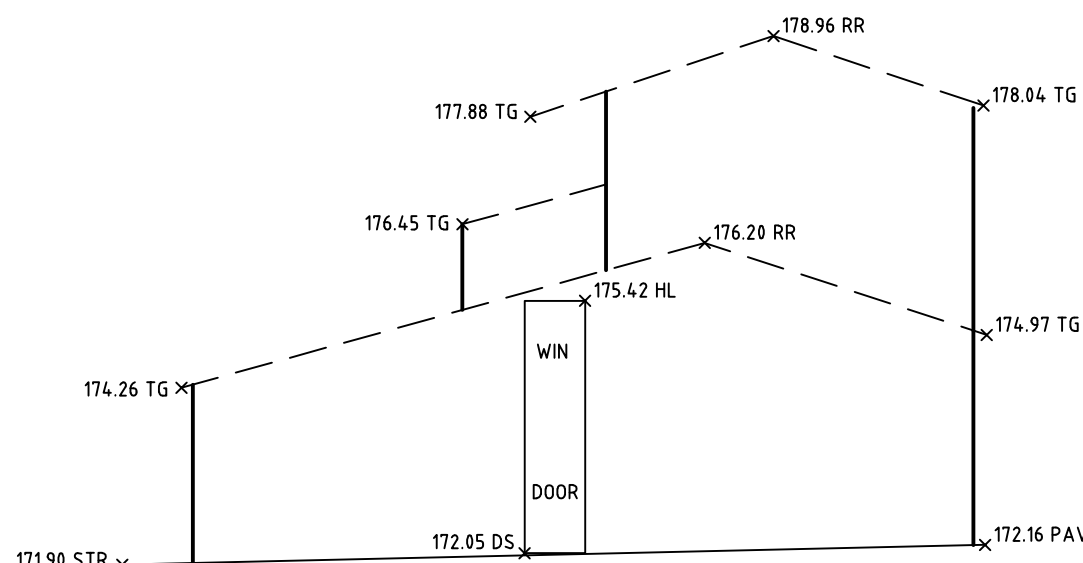
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SURVEY INSTRUCTION 2383A		SCALE 1:100 ☐ A1 1:200 ☒ A3	DATE OF SURVEY 08/07/2020
DRAWING NAME 2383Adetail			ISSUE I
CAD FILE 2383Adetail.l.dwg			

NOTES

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- THIS NOTICE MUST NOT BE ERASED.



SOUTHERN ELEVATION



WESTERN ELEVATION

LEGEND:

CON = CONCRETE
DK = DECK
DS = DOOR SILL
GRA = GRAVEL
HL = HEAD LEVEL
NS = NATURAL SURFACE
PAV = PAVING
RF = TOP OF ROOF
RR = ROOF RIDGE
SL = SILL LEVEL
TG = TOP OF GUTTER
TW = TOP OF WALL

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
 DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
 B.M. ADOPTED: SSM 35445
 R.L. 192.620 (CLASS LB)
 SOURCE: S.C.I.M.S. (07/04/2020)

I	FIRST ISSUE	24/04/2020

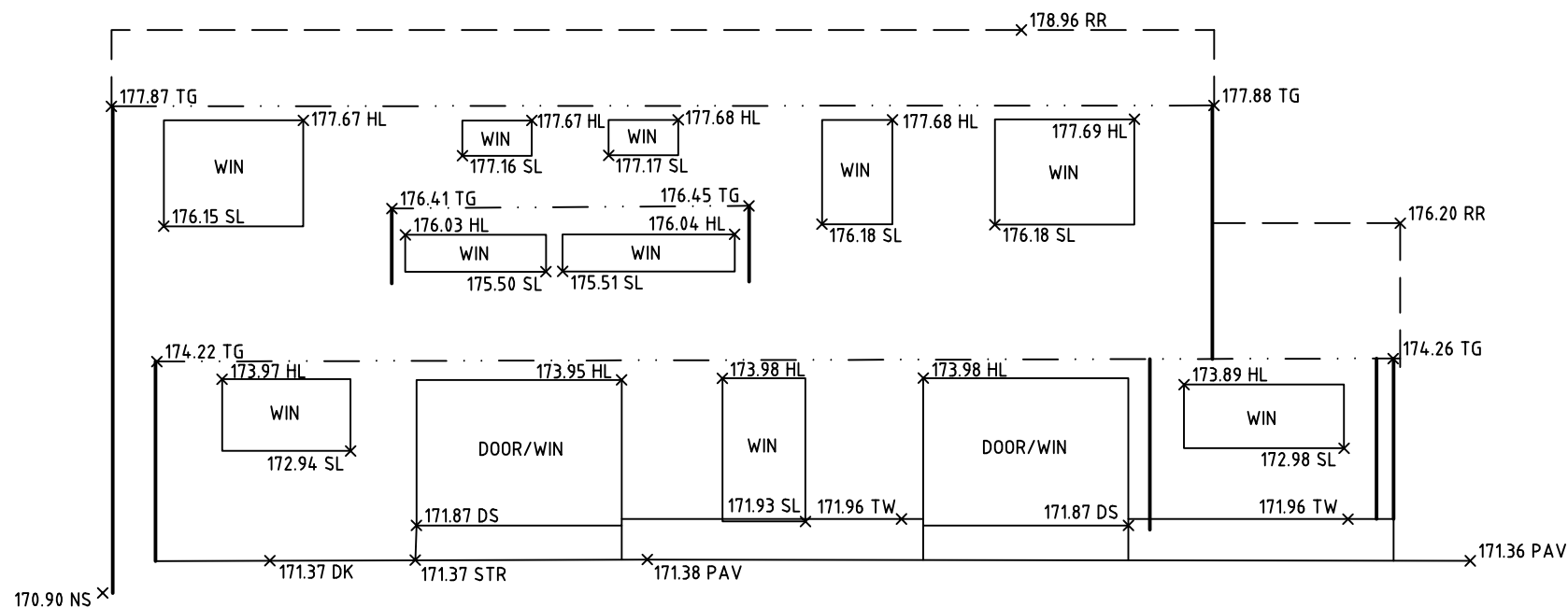
CLIENT:
ENDRIM CONSULTING PTY LTD
No.104/120 BOURKE STREET
WOOLLOOMOOLOO, NSW, 2011

**SURVEY PLAN
SHOWING ELEVATIONS DETAIL
OVER LOT 70 IN DP238658
No.48 TIMARU ROAD
TERREY HILLS, NSW, 2084**

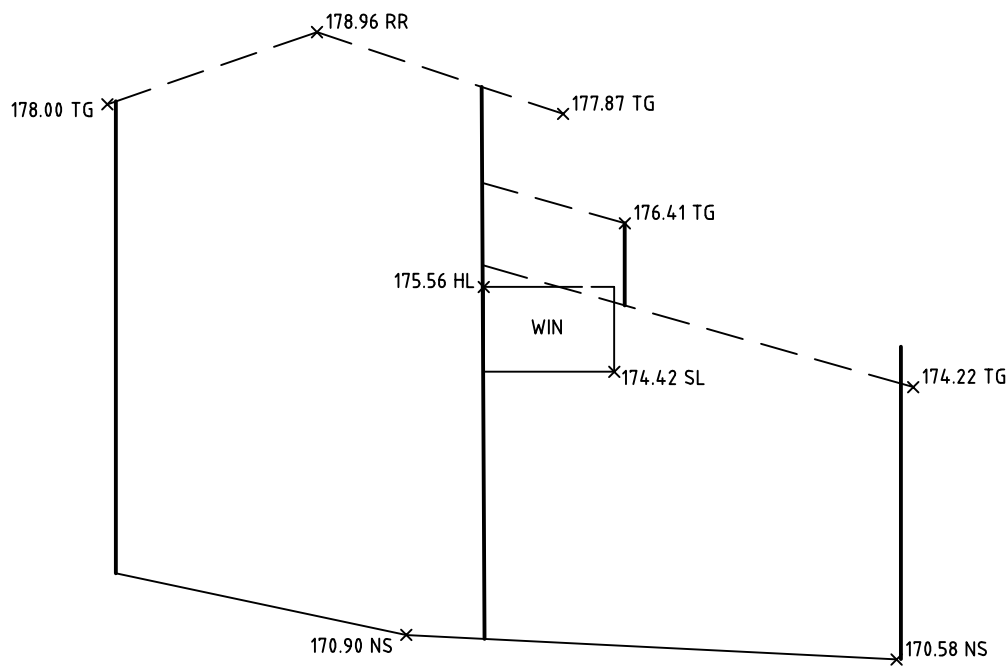


ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
2/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmssurveyors.com

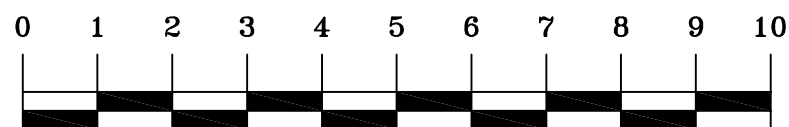
GA: NORTHERN BEACHES		SHEET OF	
SURVEYED HC	DRAWN GP	CHECKED HC	APPROVED AF
SURVEY INSTRUCTION 2383A		SCALE 1:200 A1 1:200 A3	DATE OF SURVEY 08/07/2020
DRAWING NAME 2383Aelevations			ISSUE
CAD FILE 2383Aelevations 1.dwg			



NORTHERN ELEVATION



EASTERN ELEVATION



SCALE 1:100