



1 EXTERNAL VIEW 1



3 EXTERNAL VIEW 3



5 EXTERNAL VIEW 5



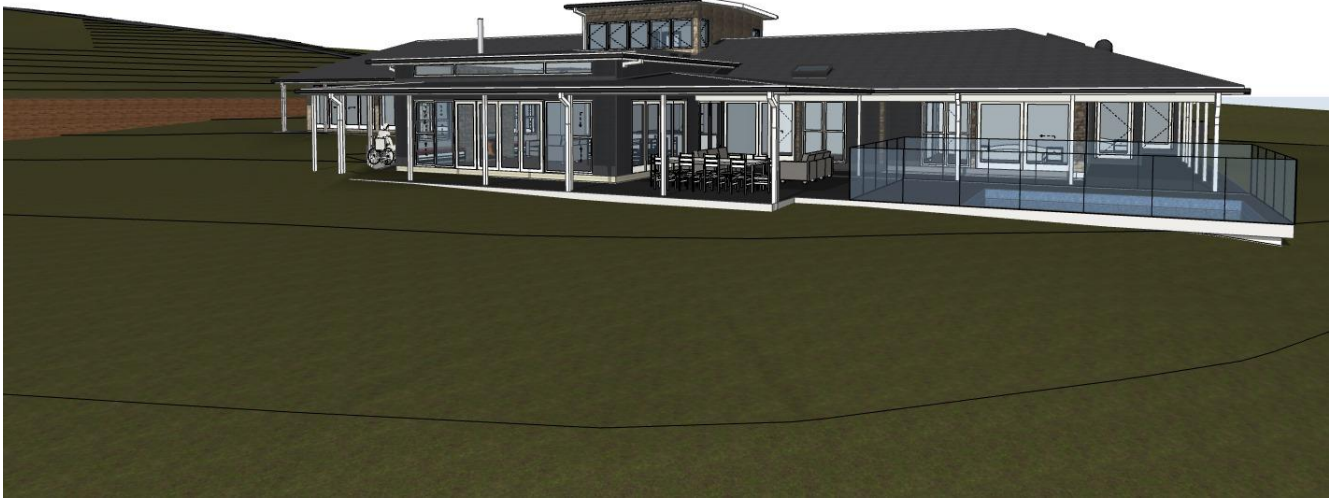
7 EXTENRAL VIEW 7



2 EXTERNAL VIEW 2



4 EXTERNAL VIEW 4



6 EXTERNAL VIEW 6

FLOOR SCHEDULE	
CODE ID	DESCRIPTION
F-EC	EXISTING floor structure with EXISTING carpet.
F-ECON	EXISTING concrete slab structure with EXISTING concrete finish.
F-EP1	EXISTING floor structure with NEW tiles/paving. Waterproof as required.
F-ET1	EXISTING floor structure with NEW timber floorboards.
F-ET2	EXISTING floor structure with NEW timber floorboards over existing floorboards.
F-ETL	EXISTING floor structure with EXISTING tile.
F-ETL1	EXISTING floor structure with NEW tiles. Waterproof as required.
F-P1	NEW floor structure with NEW tiles/paving. Waterproof as required. As per engineer's detail.
F-T1	NEW floor structure with NEW timber floorboards. As per engineer's detail.
F-TL1	NEW floor structure with NEW tiles. Waterproof as required. As per engineer's detail.

WINDOW, DOOR & SKYLIGHT SCHEDULE	
CODE ID	DESCRIPTION
D01	(D01, D02...etc) NEW aluminium framed door. Powdercoated. Refer to BASIX requirements. To comply with BAL 29 rating.
DE	EXISTING door to remain. Make good as required.
DN	NEW internal timber door, painted as specified.
DN-JP	NEW internal joinery panel door, finish as specified.
S01	(S01, S02...etc) NEW skylight. Refer to BASIX requirements.
W01	(W01, W02...etc) NEW aluminium window. Powdercoated. Refer to BASIX requirements. To comply with BAL 29 rating.
WE	EXISTING window to remain. Make good as required.

ROOF SCHEDULE	
CODE ID	DESCRIPTION
DP	NEW downpipe, as specified.
e-DP	EXISTING downpipe. Make good as required.
R-EM	EXISTING timber framed roof structure with EXISTING metal roof sheets. Keep and Protect.
R-ET	EXISTING timber framed roof structure with EXISTING roof tiles. Keep and Protect.
R-M1	NEW timber framed roof structure with NEW corrugated metal sheet, as specified. As per engineer's detail.
R-T1	NEW timber framed roof structure with NEW roof tiles, as specified. As per engineer's detail.

WALL SCHEDULE	
CODE ID	DESCRIPTION
P-ET	EXISTING timber post structure.
P-T1	NEW (BAL 29 Hardwood) timber post structure. Painted, as specified. As per engineer's detail.
W-EST	EXISTING wall structure with EXISTING stone facing, as specified.
W-LW1	NEW timber framed wall structure with NEW FC weatherboard cladding, as specified. As per engineer's detail. To comply with BAL 29 rating.
W-LW2	NEW timber framed wall structure with NEW flat FC cladding, as specified. As per engineer's detail. To comply with BAL 29 rating.
W-ST1	NEW wall structure with NEW stone facing. As per engineer's detail.

SECTION NAME	DRAWING No.	DESCRIPTION
02 DEVELOPMENT APPLICATION A3		
	A01	COVER PAGE
	A02	SCHEDULES
	A03	PERSPECTIVES 1
	A04	PERSPECTIVES 2
	A05	SURVEY-PART A
	A06	SURVEY-PART B
	A07	SITE PLAN
	A08	SITE ANALYSIS & LOCATION MAP
	A09	EXISTING PLANS 1
	A10	EXISTING PLANS 2
	A11	EXISTING ELEVATIONS
	A12	CELLAR
	A13	GROUND FLOOR-PART 1
	A14	GROUND FLOOR-PART 2
	A15	GROUND FLOOR-PART 3
	A16	LEVEL 1 PLAN
	A17	ROOF PLAN-PART 1
	A18	ROOF PLAN-PART 2
	A19	ELEVATION E1 & E2
	A20	ELEVATION E3 & E4
	A21	SECTION A & B
	A22	SECTION C & D
	A23	SECTION E
	A24	SHADOWS JUNE 21-9AM
	A25	SHADOWS JUNE 21-12NOON
	A26	SHADOWS JUNE 21-3PM
	A27	LANDCAPE DIAGRAMS
	A28	LANDCAPE CALCULATION
	A29	FINISHES SCHEDULE

GENERAL CONSTRUCTION NOTES

ROOFS:
ROOF STRUCTURE: TIMBER FRAMED
ALL ROOFS TO BE SARKED AS SPECIFIED.
ALL ROOFS CONNECTED TO STORMWATER SYSTEM.
NEW GUTTERS AND DOWNPIPES IN LOCATIONS AS SPECIFIED.

HYDRAULIC:
REFER TO HYDRAULIC DRAWINGS FOR DETAILS.
REFER TO DA CONDITIONS.

STRUCTURAL:
REFER TO STRUCTURAL DRAWINGS FOR DETAILS.

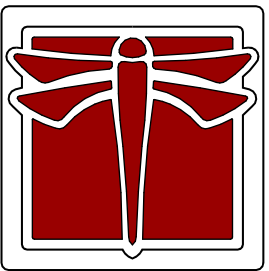
INSULATION:
REFER TO SPECIFICATION FOR FLOOR, WALL, ROOF
ACOUSTIC AND THERMAL INSULATION.

BASIX:
REFER TO BASIX FOR SUSTAINABILITY REQUIREMENTS.

BUSHFIRE:
CONSTRUCTION TO COMPLY WITH BAL 29. REFER TO
BUSHFIRE REPORT

CONN HOUSE

DEVELOPMENT APPLICATION ISSUE B

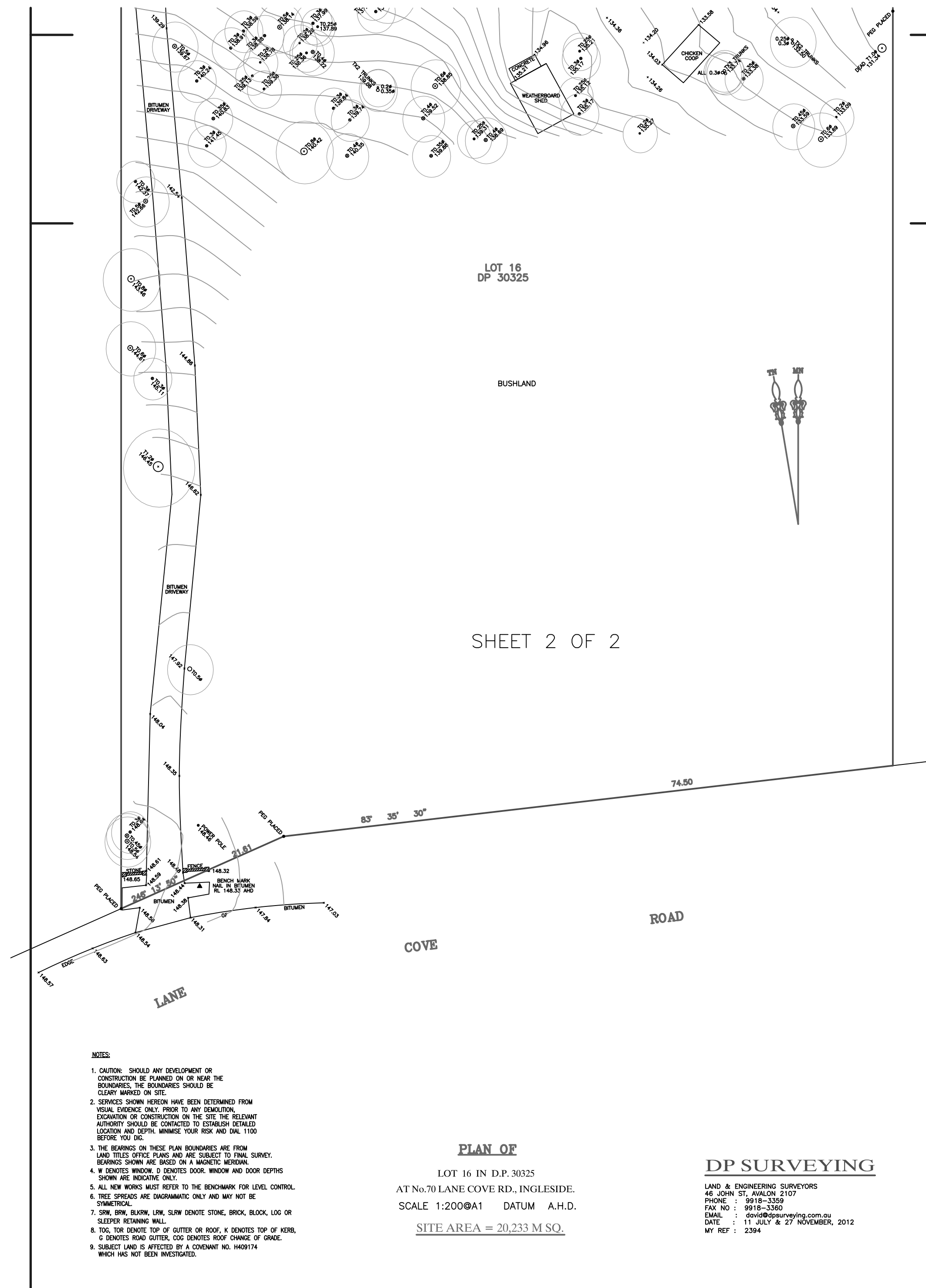
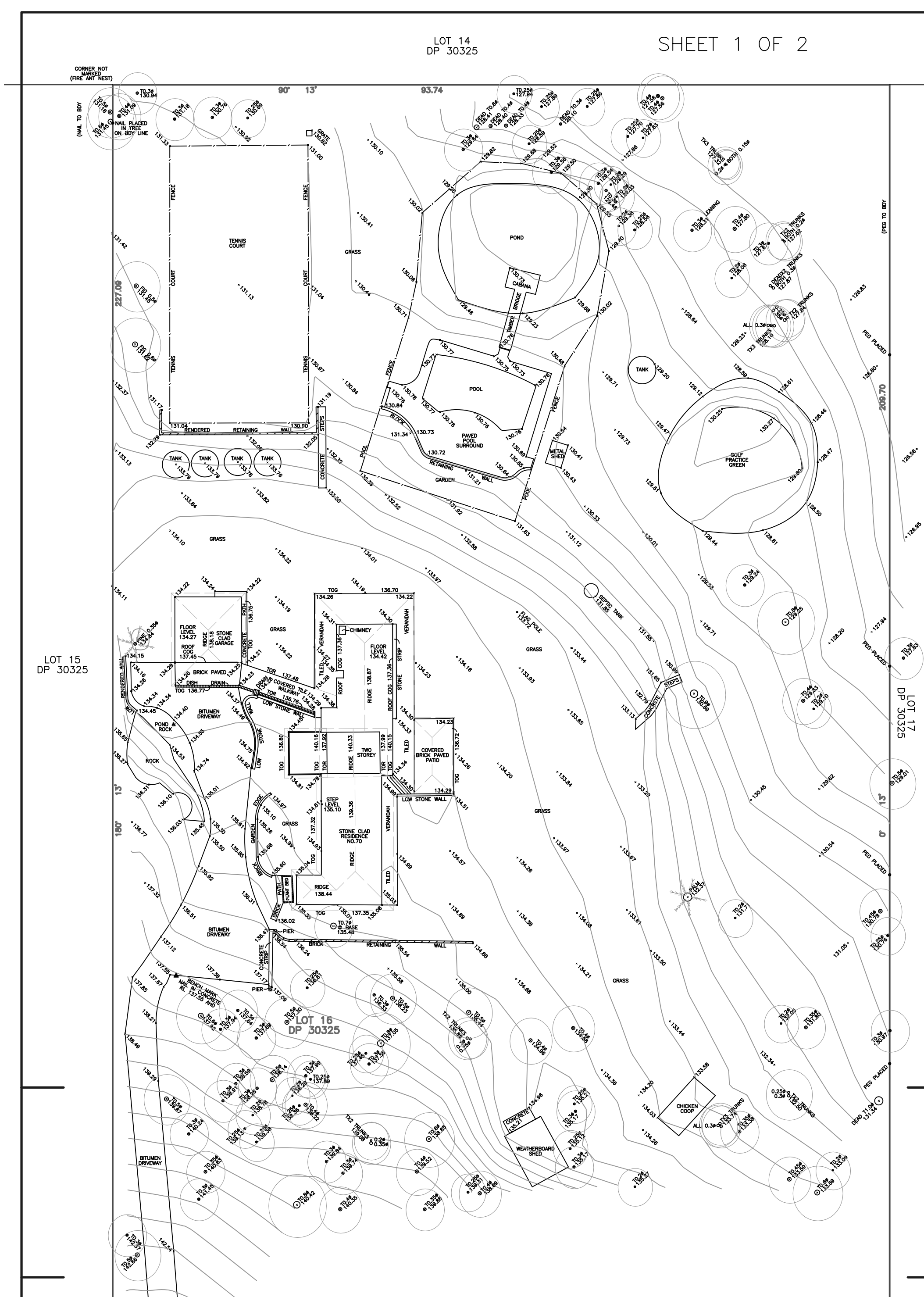


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BUSHFIRE REQUIREMENTS:
Refer to bushfire assessment
report and Australian
Standards for BAL29.

LOUISE & MICK CONN
70 LANE COVE ROAD INGLESIDE NSW 2101

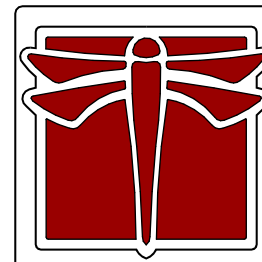


8	APPROX. POOL DEPTH, VOLUME AND POOL SECTION ADDED	11/03/2020
A	DEVELOPMENT APPLICATION ISSUE	02/03/2020
ID	DESCRIPTION	DATE

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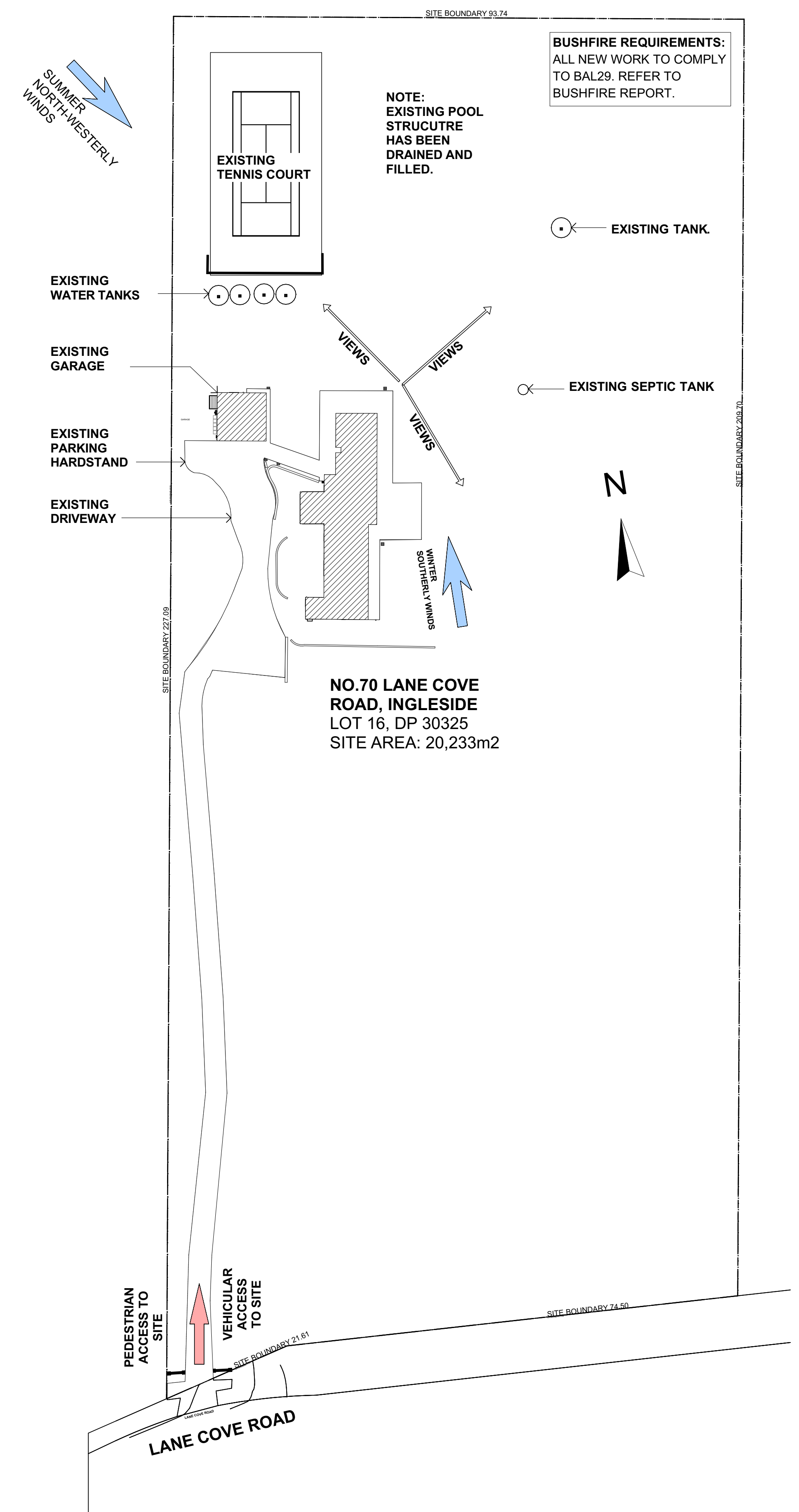
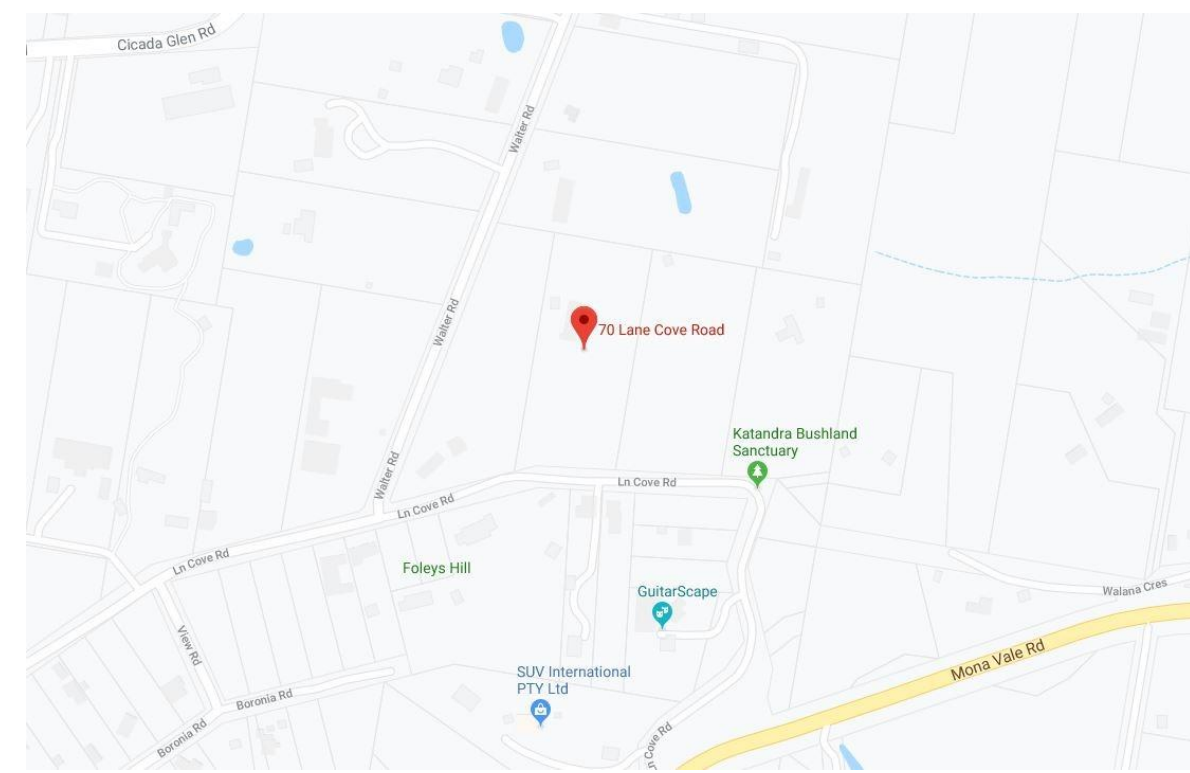
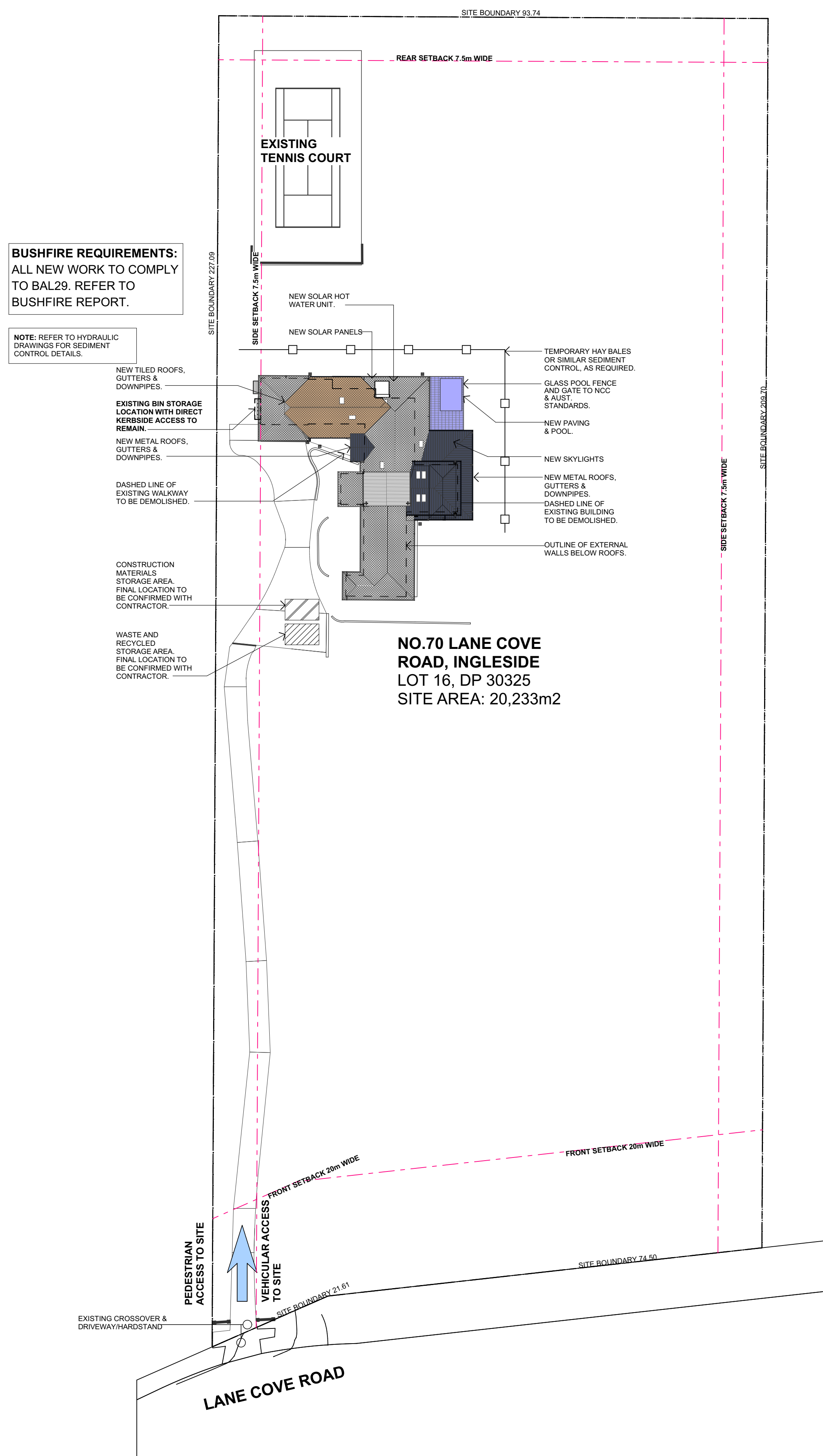
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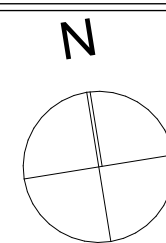
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SURVEY

DFA1905-A02



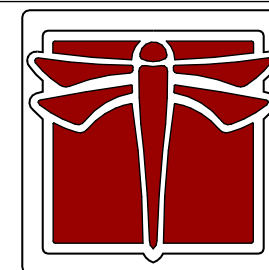
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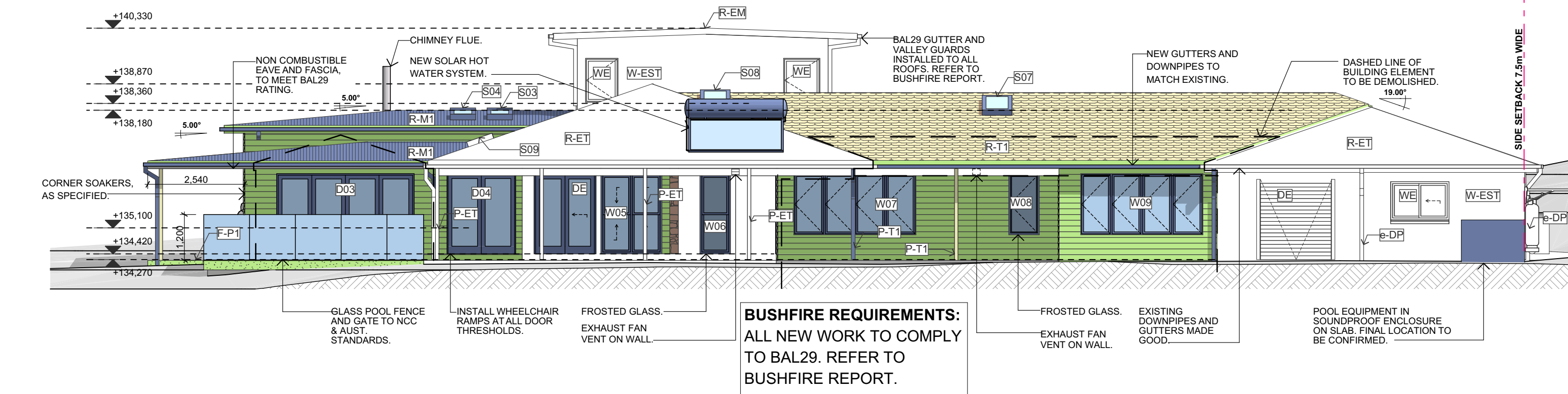
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INGLESIDE NSW 2101

**SITE PLAN/WASTE
MANAGEMENT PLAN,
SITE ANALYSIS AND
LOCATION MAP**
DFA1905-A03

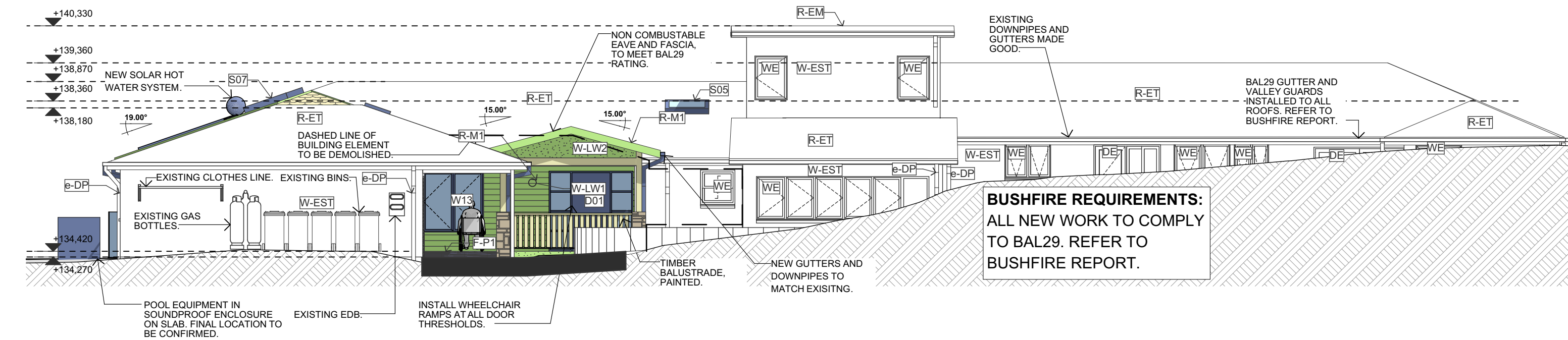
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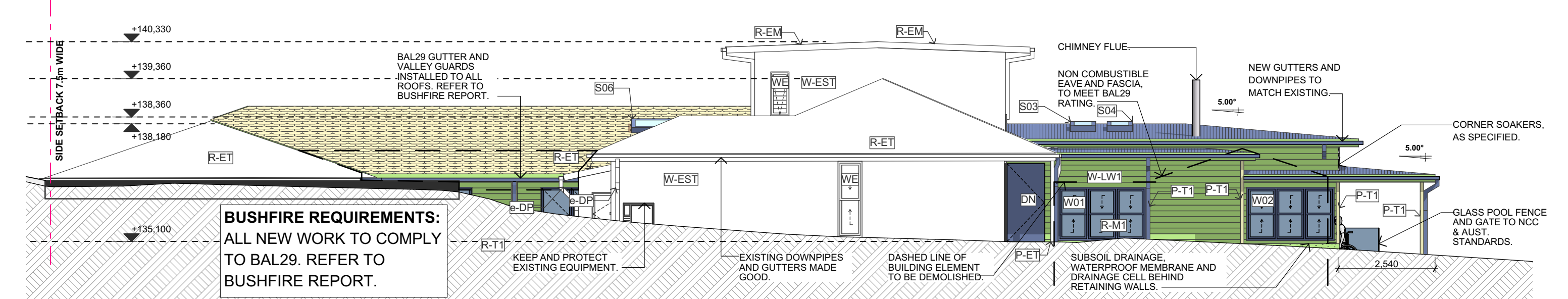
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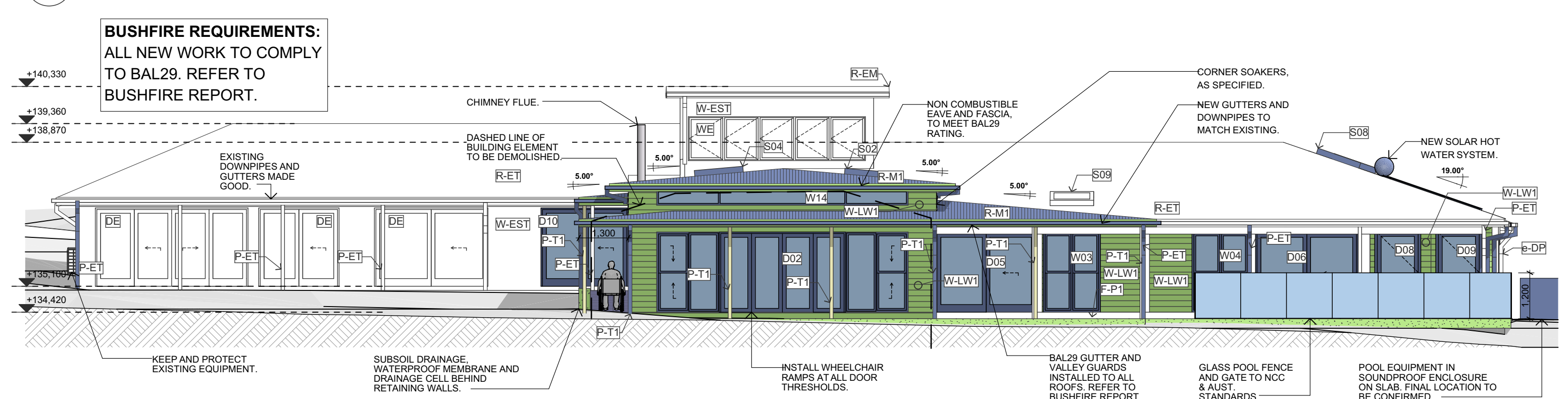
1 ELEVATION E1 (NORTH)
Scale 1:100



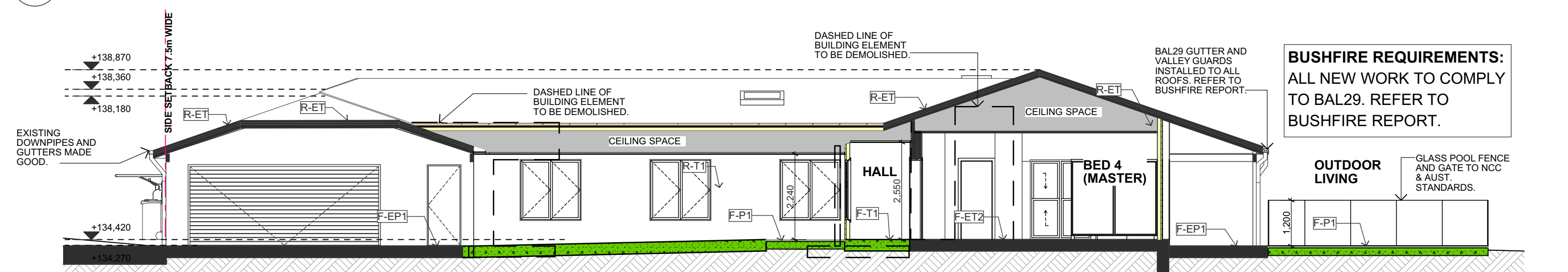
2 ELEVATION E2 (WEST)
Scale 1:100



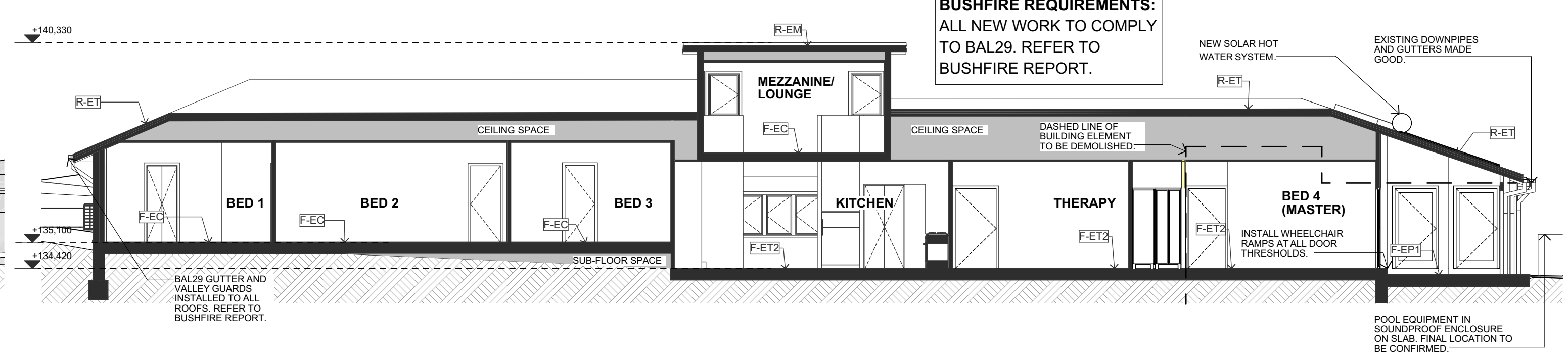
3 ELEVATION E3 (SOUTH)
Scale 1:100



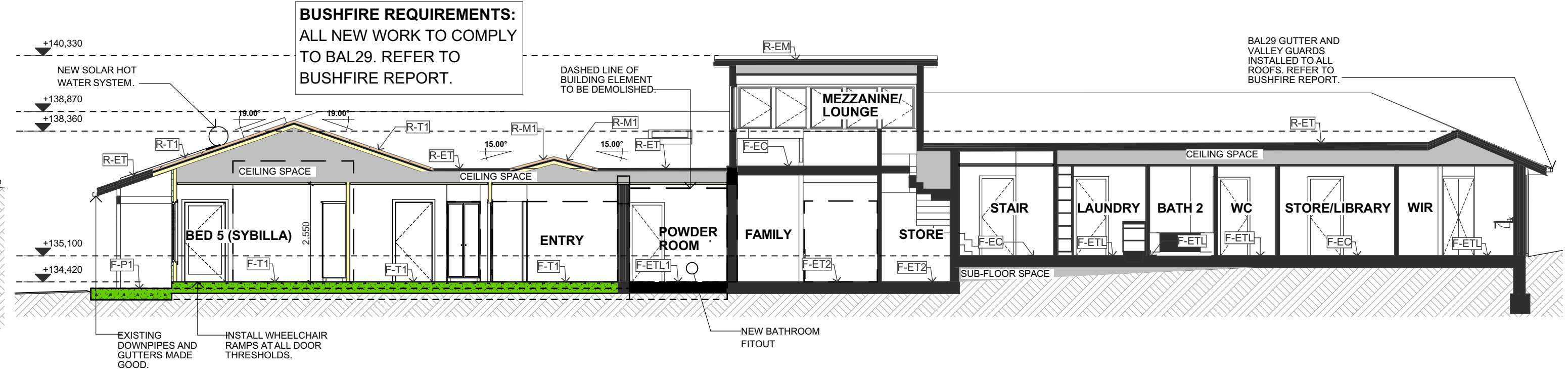
4 ELEVATION E4 (WEST)
Scale 1:100



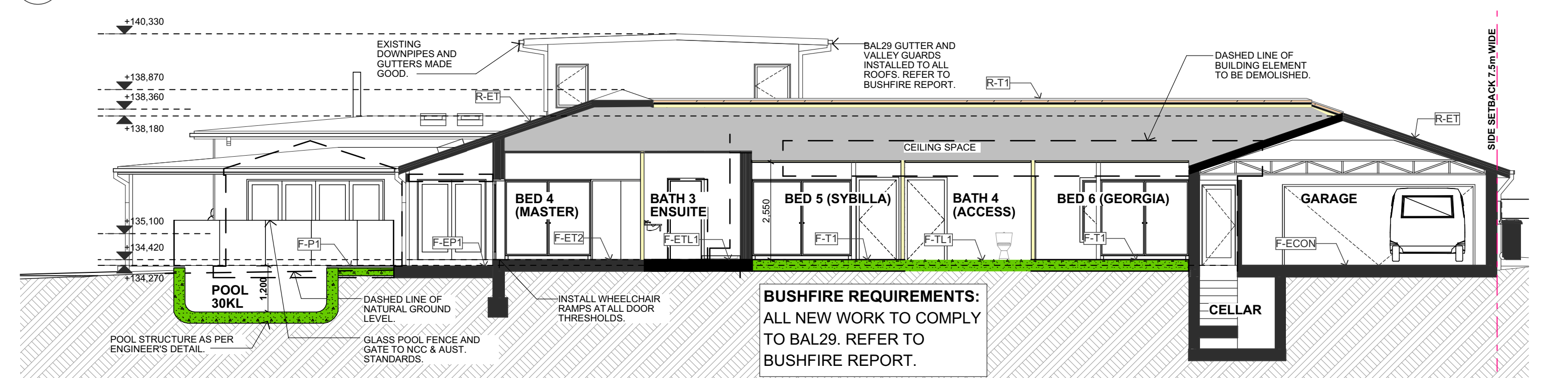
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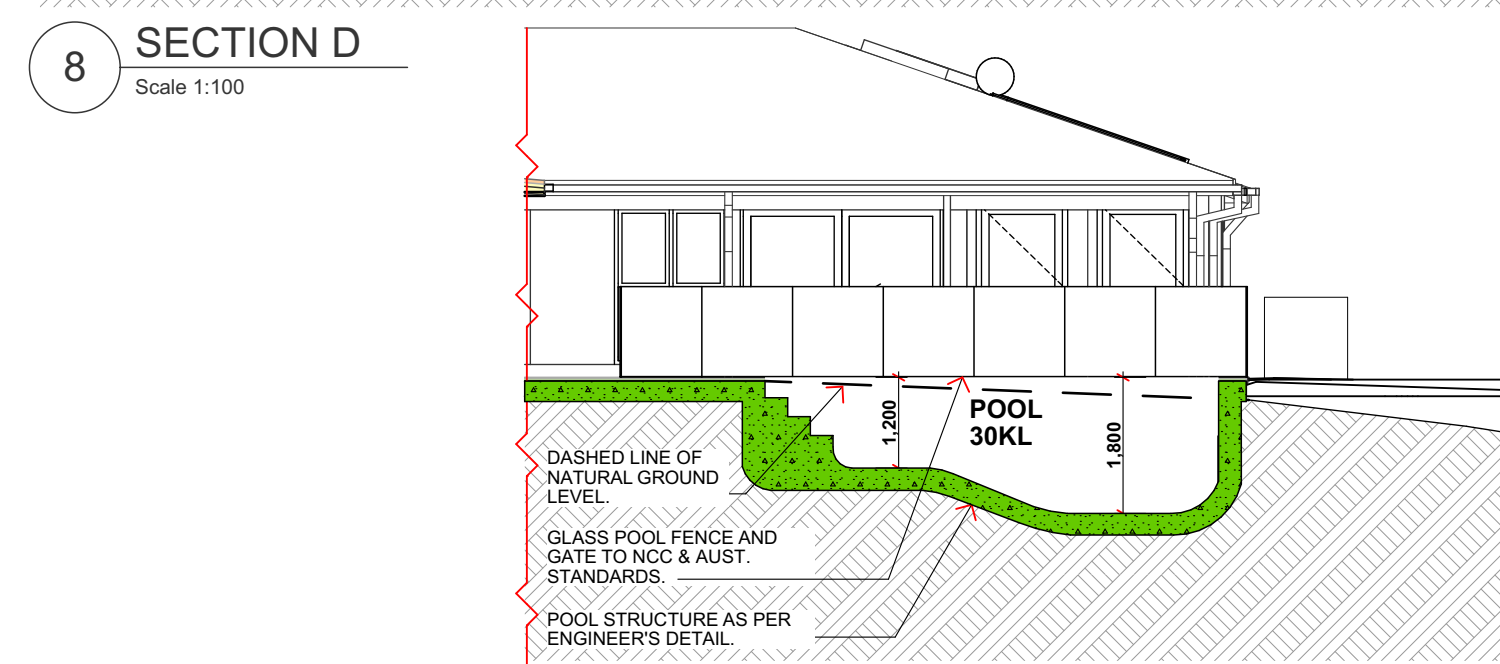
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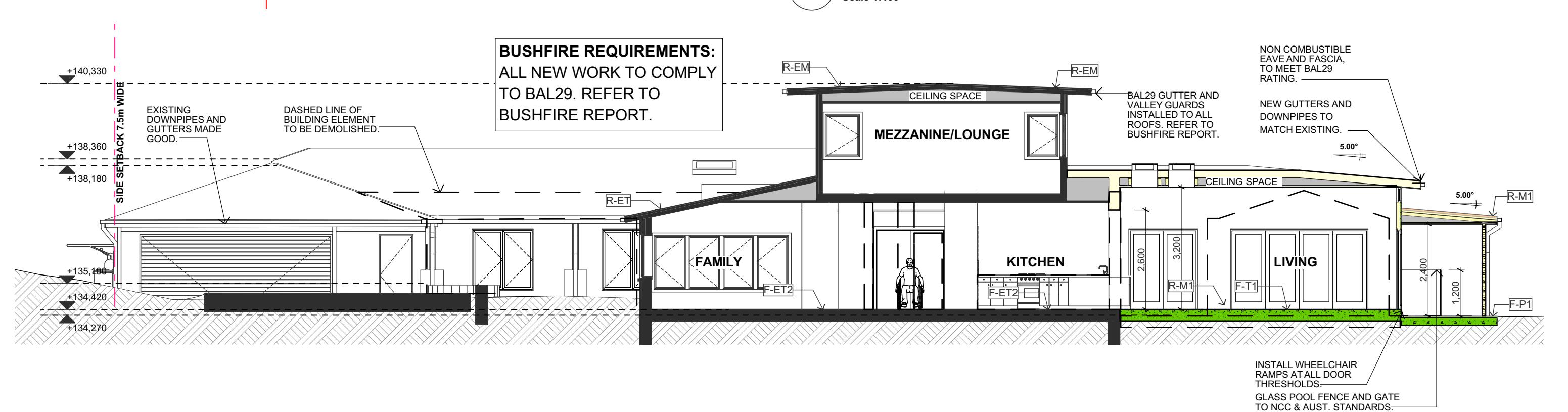
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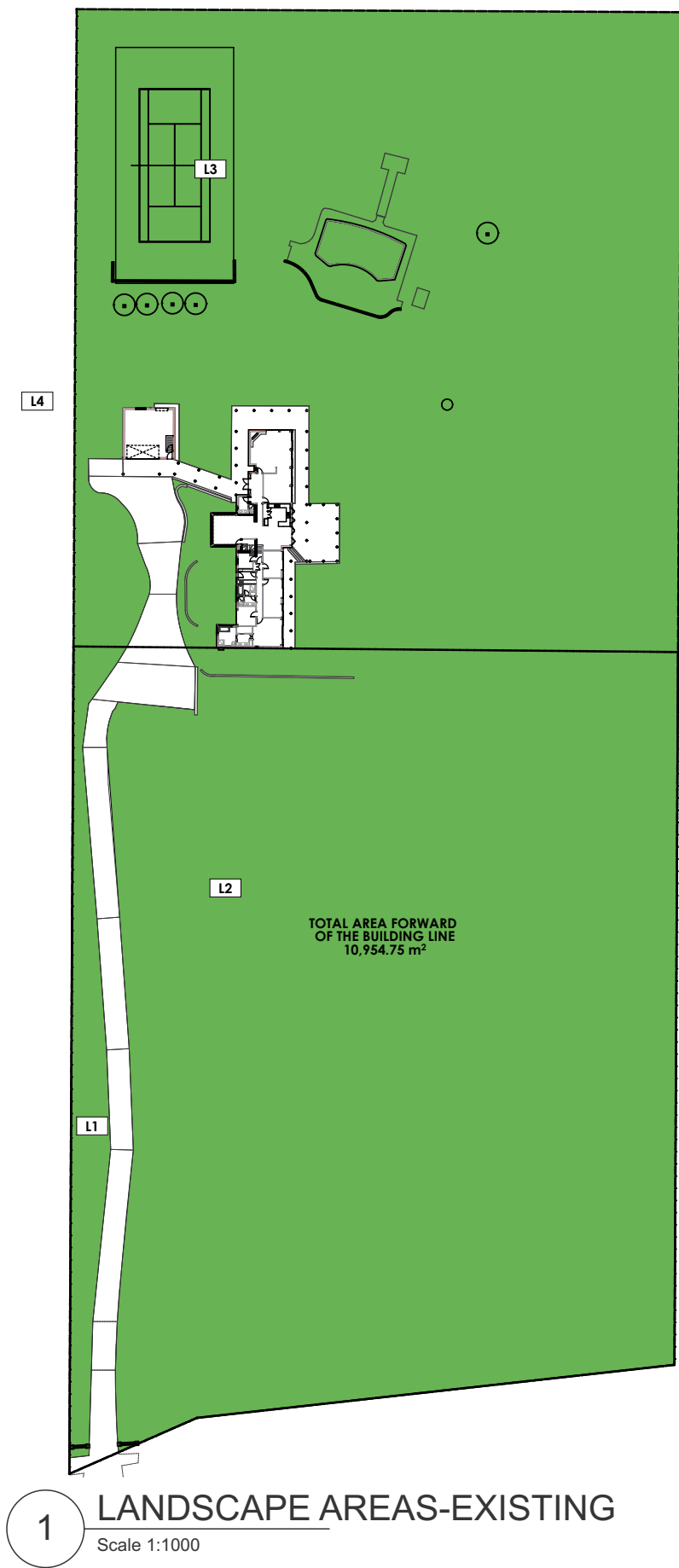
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10 SECTION F
Scale 1:100



9 SECTION E
Scale 1:100

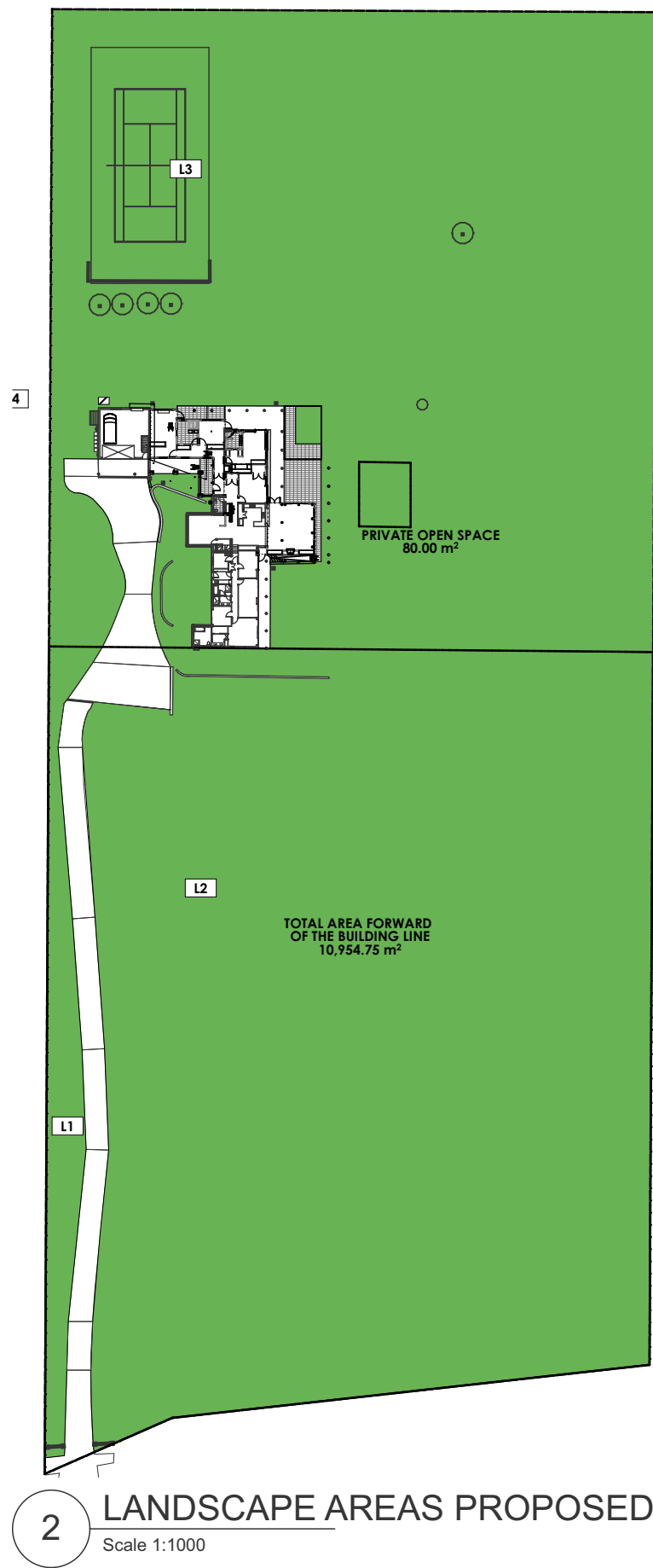


LANDSCAPE EXISTING-FRONT	
NAME	AREA
L1	515.79
L2	9,884.00
	10,399.79 m²

EXISTING LANDSCAPE (GENERAL) - COMPLIES

LANDSCAPE EXISTING	
NAME	AREA
L1	515.79
L2	9,884.00
L3	8,296.83
L4	181.94
	18,878.56 m²

EXISTING LANDSCAPE (INGLESIDE) - DOES NOT COMPLY



LANDSCAPE PROPOSED-FRONT	
NAME	AREA
L1	515.79
L2	9,884.00
	10,399.79 m²

PROPOSED LANDSCAPE (GENERAL)- COMPLIES

LANDSCAPE PROPOSED	
NAME	AREA
L1	515.79
L2	9,884.00
L3	8,146.98
L4	199.39
	18,746.16 m²

PROPOSED LANDSCAPE (INGLESIDE) - DOES NOT COMPLY
NO CHANGE TO COMPLIANCE FROM EXISTING.

NORTHERN BEACHES COUNCIL
PITTWATER 21 DCP-PART D6.8 - LANDSCAPED AREA -
NON-URBAN GENERAL (INGLESIDE LOCALITY)

TOTAL SITE IS 20,233m²

MIN LANDSCAPE REQUIRED IS 96% - 400m²
MIN. LANDSCAPE (0.96 X 20,233m²) - 400m²= 19,023.68m²

MIN. REQUIRED SOFT LANDSCAPE = 19,023.68m²

VARIATIONS:

THE MINIMUM LANDSCAPED AREA MAY BE GREATER THAN STATED ABOVE, WHERE A SITE IS LOCATED ON ENVIRONMENTALLY SENSITIVE OR STEEPLY SLOPING LAND, OR WHERE ITS DEVELOPMENT POTENTIAL IS RESTRICTED IN SOME OTHER WAY.

DAMS, PONDS, ON-SITE DETENTION TANKS, THE WATER SURFACE AREA OF SWIMMING POOLS AND WATER TANKS, WASTE WATER TREATMENT SYSTEMS CAN BE INCLUDED AS LANDSCAPED AREA.

DRIVEWAYS AND POUROUS OR SOFT SURFACE AREAS THAT PERMIT THE INFILTRATION OF SURFACE WATER INTO THE SUBSTRATA CAN BE INCLUDED AS LANDSCAPED AREA. (NOTE THAT THE TENNIS COURT HAS A GRASS SURFACE ON A SAND BED)

SHEDS WITH A MAXIMUM OF 200m² ARE PERMITTED IN ADDITION TO NON-LANDSCAPED AREAS PERMITTED.

NORTHERN BEACHES COUNCIL
PITTWATER 21 DCP-PART C1.1 - LANDSCAPING
(GENERAL RESIDENTIAL)

TOTAL SITE IS 20,233m²

MIN LANDSCAPE REQUIRED IS 60% IN FRONT OF THE BUILDING FOR A SINGLE DWELLING.
MIN. LANDSCAPE (0.60 X 10,954.75m²)= 6,572.85m²

MIN. REQUIRED SOFT LANDSCAPE IN FRONT OF THE BUILDING LINE = 6,572.85m²

NORTHERN BEACHES COUNCIL
PITTWATER 21 DCP-PART C1.7 - PRIVATE OPEN SPACE

NOTE: MINIMUM OF 80m² OF PRIVATE OPEN SPACE IS REQUIRED PER DWELLING. PRIVATE OPEN SPACE IS CALCULATED AT GROUND LEVEL WITH NO DIMENSION LESS THAN 3m.

EXISTING PRIVATE OPEN SPACE - COMPLIES

PROPOSED PRIVATE OPEN SPACE - COMPLIES

LANDSCAPE PLAN:

NOTE: A LANDSCAPING PLAN IS NOT REQUIRED BECUASE OF THE FOLLOWING:

1. The proposal does not cause any substantial change to the visual character of the site.
2. Existing vegetation and trees are to be retained.

