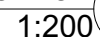




Denotes Demo Works

Denotes New Works
Under This Application



Denotes New Concrete Block Wall

DA MODIFICATION
ONLY
NOT FOR CONSTRUCTION

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Construction:	Weatherboard Cavity Panel Direct Fix Corrugated Iron Suspended Timber Floor
Insulation:	R2.5 wall insulation R3.5 ceiling insulation R2.0 floor insulation
Glazing:	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Site Plans - Site Plan
Site Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No. RP1018BEE

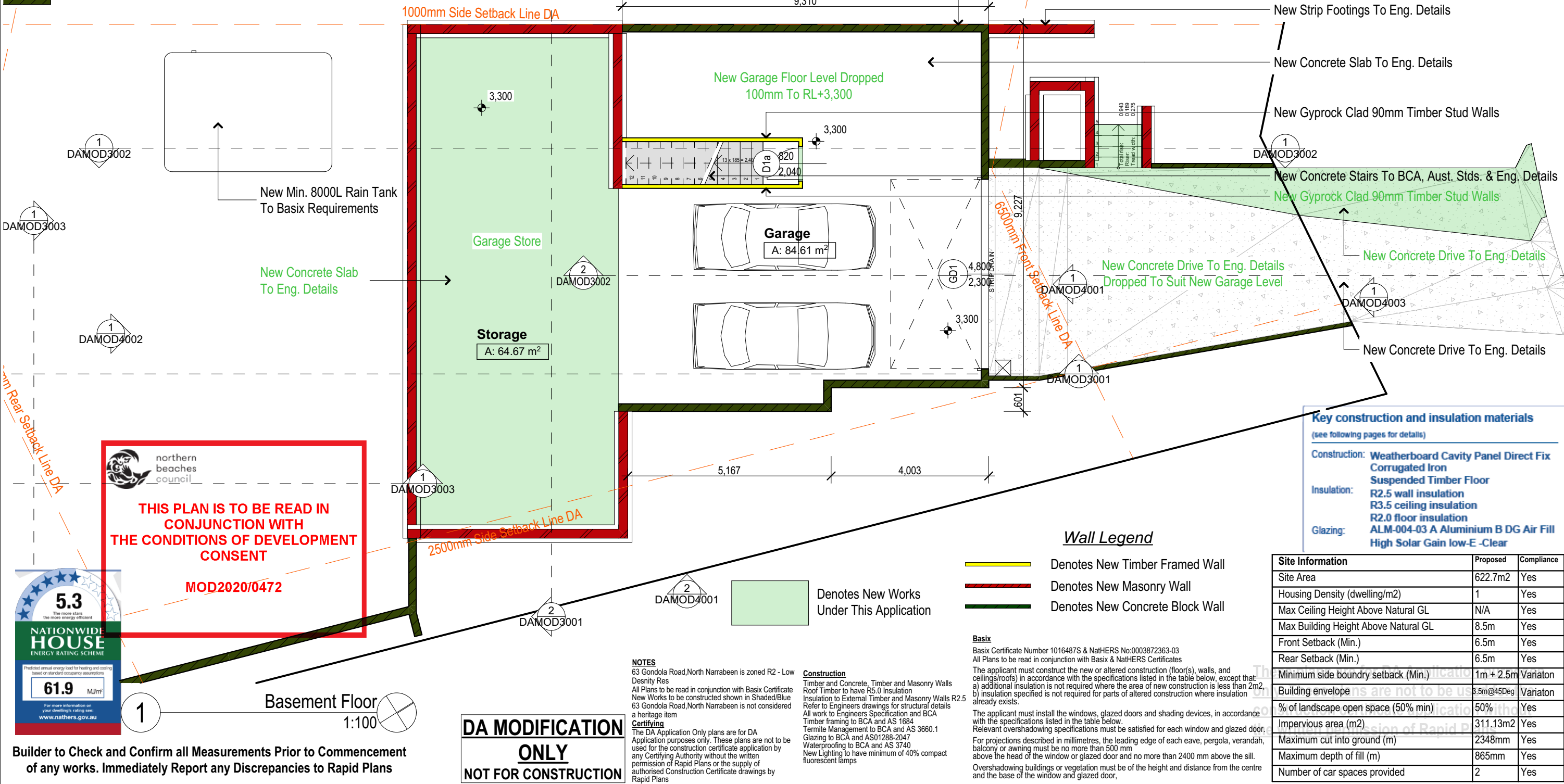
Date: 17/09/20
Checked By: GBJ
Drawing No.

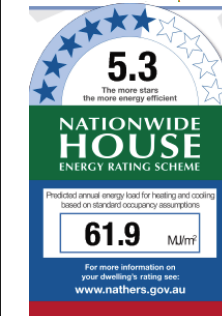
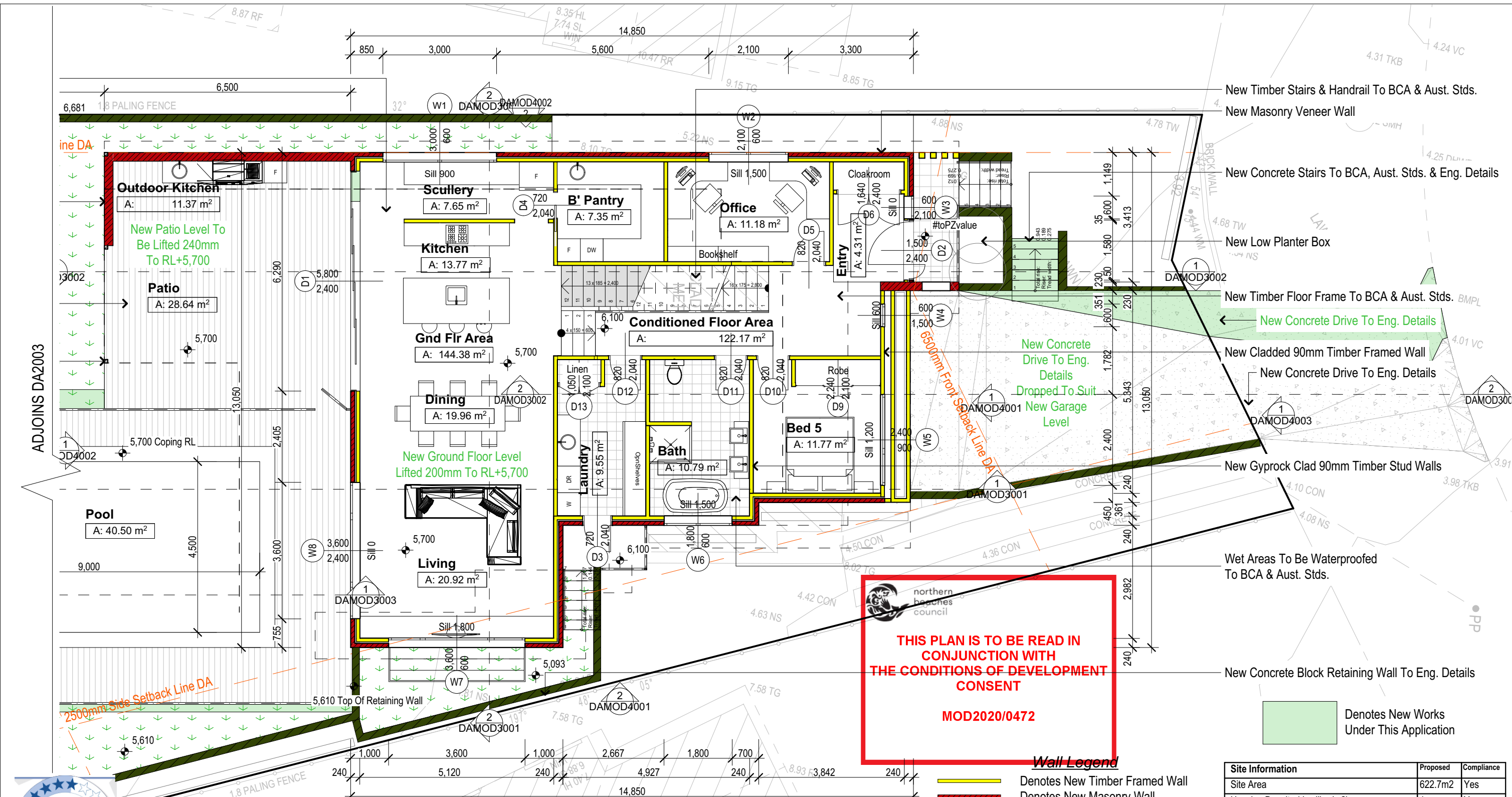
DAMOD100.

Water Commitments	Show on DA plans	Show on CC/DC plans & specs	Certifier check
Landscape The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓	✓	
Fixtures The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓ ✓ ✓ ✓	✓ ✓ ✓ ✓
Alternative water Rainwater tank The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 240 1 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • at least one outdoor tap in the development (note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)	✓	✓ ✓ ✓	✓ ✓ ✓
Swimming pool The swimming pool must not have a volume greater than 69 kilolitres. The swimming pool must have a pool cover.	✓	✓ ✓	✓ ✓
Water Commitments The swimming pool must be shaded. The swimming pool must be outdoors.	✓ ✓	✓ ✓	✓ ✓

Energy Commitments	Show on DA plans	Show on CC/DC plans & specs	Certifier check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, gas instantaneous with a performance of 4.5 stars.	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5. The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5.		✓ ✓	✓ ✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5. The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning: Energy rating: EER 3.0 - 3.5.		✓ ✓	✓ ✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: via Kitchen: individual fan, ducted to outside or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: via		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting The applicant must ensure that the 'primary type of artificial lighting' is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word 'dedicated' appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 5 of the bedrooms / study / dedicated • at least 1 of the living / dining rooms, dedicated • the kitchen, dedicated		✓ ✓ ✓	✓ ✓ ✓

Thermal Comfort Commitments
Simulation Method The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.





Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R2.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E-Clear

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

1 Ground Floor Plan
1:100

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate Number 10164875 & NatHERS No.0003872363-03
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2020/0472

Wall Legend
Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes New Concrete Block Wall

Basix
Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

New Concrete Slab To Eng. Details

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron

Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

New Concrete Slab To Eng. Details

New Steel Post To Eng. Details

Reduced Paving Area

New Concrete Slab To Eng. Details
With Decking Over

New Coping Level To Be Lifted
240mm To RL+5,700

Reduced Heights Of
Retaining Walls

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

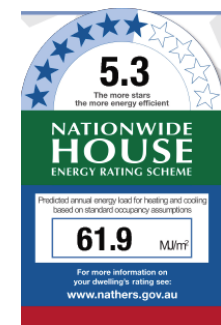
MOD2020/0472

Reduced Paving Area

New Min. 1200 high Pool Safety
Barrier To BCA & Aust. Stds.

New 69kL Pool To
Eng. Details

New Concrete Block Retaining
Wall To Eng. Details



**Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans**



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Project North



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the property of Rapid Plans, all
copies of this drawing will be
returned to Rapid Plans upon
request.

The builder shall check and verify all dimensions and verify all errors and
omissions to the Designer. Do not scale the drawings. Drawings shall not be
used for construction purposes until issued by the Designer for construction.
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Plans - Ground Floor Plan 2
Ground Floor Plan

Scale: A3 as noted
Status: **DA Mod Rev4**
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD200

Ground Floor Plan
1:100

**DA MODIFICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low
Density Res
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered
a heritage item
Noting
The DA Application Only plans are for DA
Application purposes only. These plans are not to be
used for the construction certificate application by
any Certifying Authority without the written
permission of Rapid Plans or the supply of
authorised Construction Certificate drawings by
Rapid Plans

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

The applicant must construct the new or altered construction (floor(s), walls, and
ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation
already exists.

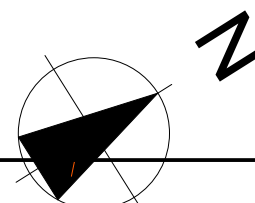
The applicant must install the windows, glazed doors and shading devices, in accordance
with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah,
balcony or awning must be no more than 500 mm
above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre
and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	311.13m ²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Denotes New Works
Under This Application

Wall Legend

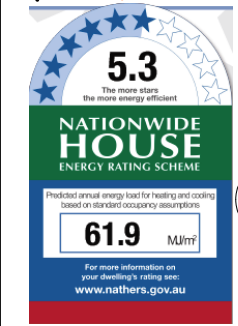
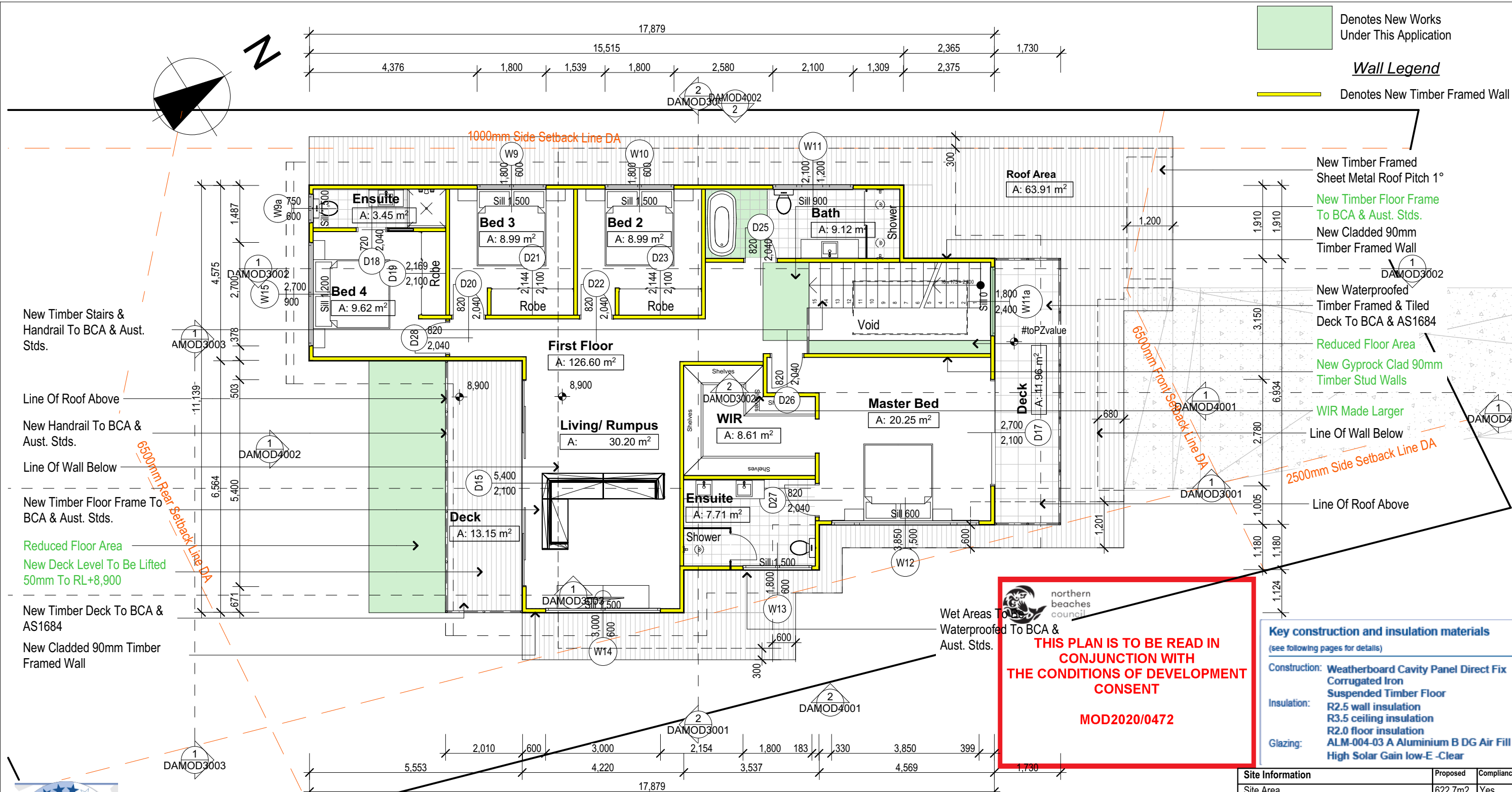
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall



Denotes New Works Under This Application

Wall Legend

Denotes New Timber Framed Wall



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Key construction and insulation materials
(see following pages for details)

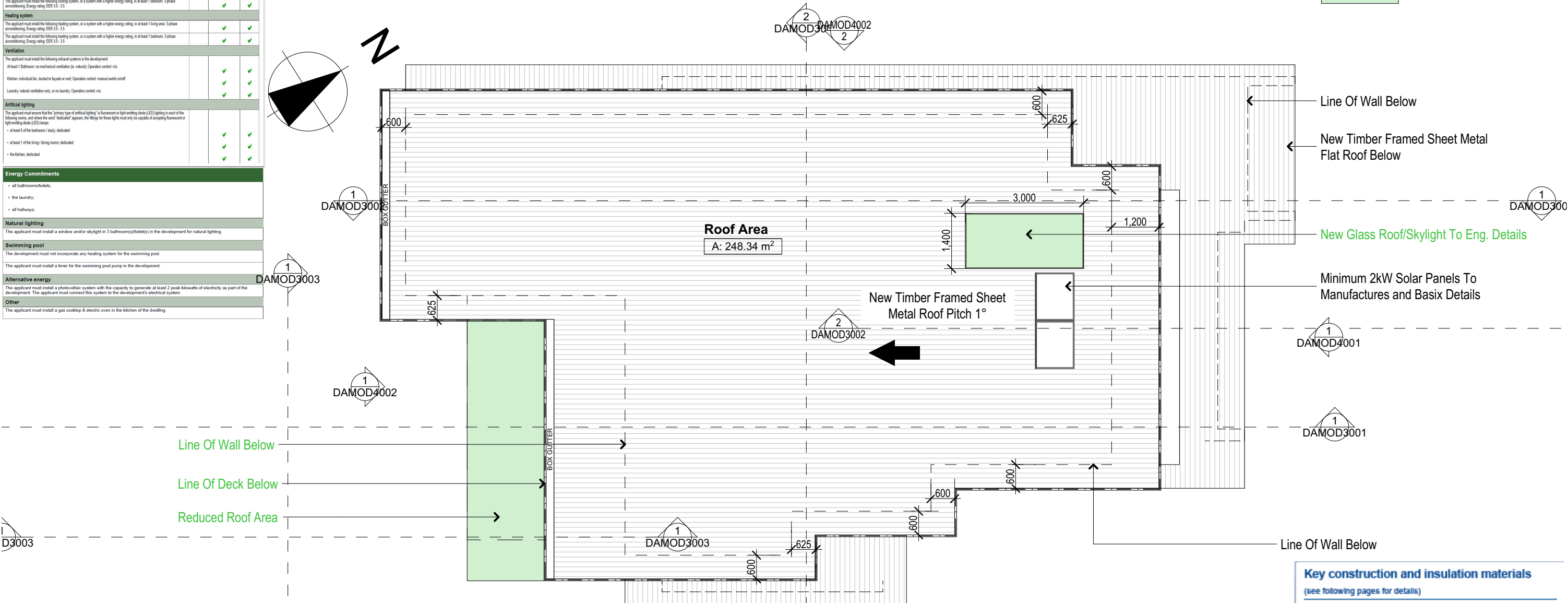
Construction:	Weatherboard Cavity Panel Direct Fix Corrugated Iron
Insulation:	Suspended Timber Floor R2.5 wall insulation R3.5 ceiling insulation R2.0 floor insulation
Glazing:	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

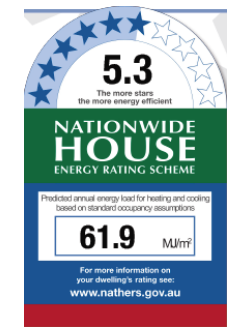
Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4.5 stars.	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 10 - 15. The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 10 - 15.	✓	✓	✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 10 - 15. The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 10 - 15.	✓	✓	✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (i.e. natural). Operation control: n/a. Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off. Laundry: natural ventilation only, or no laundry. Operation control: n/a.	✓	✓	✓
Artificial lighting The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: - at least 6 of the bedrooms / study; dedicated - at least 1 of the living / dining rooms; dedicated - the kitchen; dedicated	✓	✓	✓

Energy Commitments
<ul style="list-style-type: none"> all bathrooms/toilets; the laundry; all hallways;
Natural lighting The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Swimming pool The development must not incorporate any heating system for the swimming pool. The applicant must install a timer for the swimming pool pump in the development.
Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

Denotes New Works Under This Application



D3003



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Rapid Plans
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Project North

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Plans - Roof Plan
Roof Plan

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD200

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0472

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate Number 10164875 & NatHERS No.0003872363-03
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear
Glazing:

Site Information	Proposed	Compliance
Site Area	622.7m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m²)	311.13m²	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Denotes New Works Under This Application

Rapid Plans
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
63 Gondola Road, North Narrabeen is not considered a heritage item.

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

5.3
The more stars the more energy efficient
NATIONWIDE HOUSE ENERGY RATING SCHEME
Predicted annual energy load for heating and cooling based on standard occupancy assumptions
61.9 MJ/m²
For more information on your dwelling's rating visit: www.nathers.gov.au

Key construction and insulation materials
(see following pages for details)
Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
ALM-004-03 A Aluminium B DG Air Fill
Glazing: High Solar Gain low-E -Clear

Wall Legend

- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m ²)	311.13m ²	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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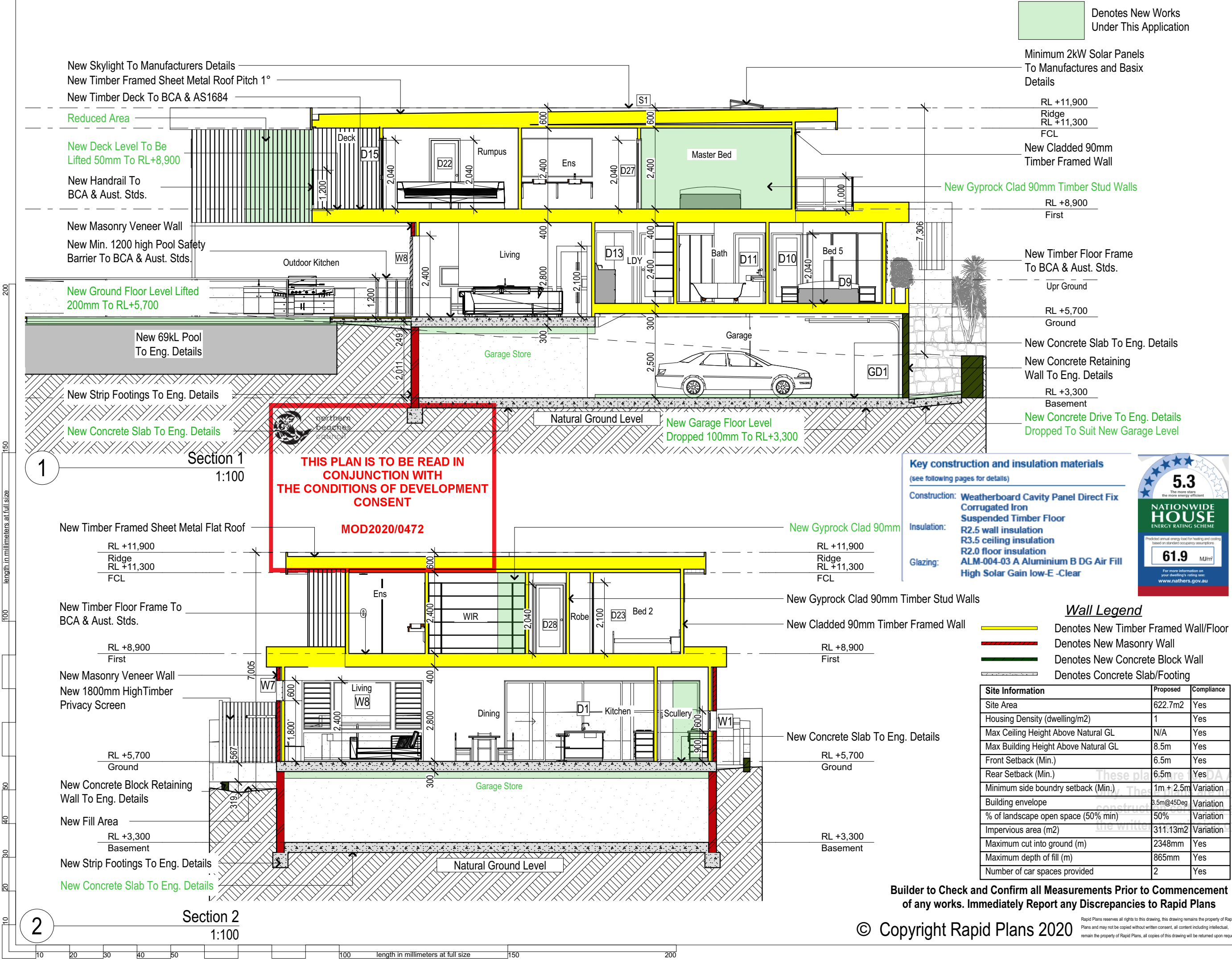
Project North

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

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Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen
Lot 218 D.P. 16212

Drawing Title:	Sections - Section 1
Scale: A3 as noted	Date: 17/09/20
Status: DA Mod Rev4	Checked By: GBJ
Project No: RP1018BEE	Drawing No. DAMOD3001



New Glass Roof/Skylight To Eng. Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Gyprock Clad 90mm Timber Stud Walls

New Timber Framed Sheet Metal Roof Pitch 1°

RL +8,900
First

New Handrail To BCA & Aust. Stds.

New Timber Floor Frame To BCA & Aust. Stds.

RL +5,700
Ground

New Garage Floor Level Dropped
100mm To RL+3,300

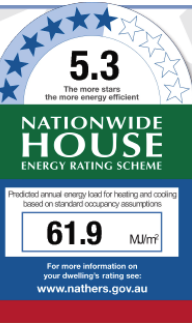
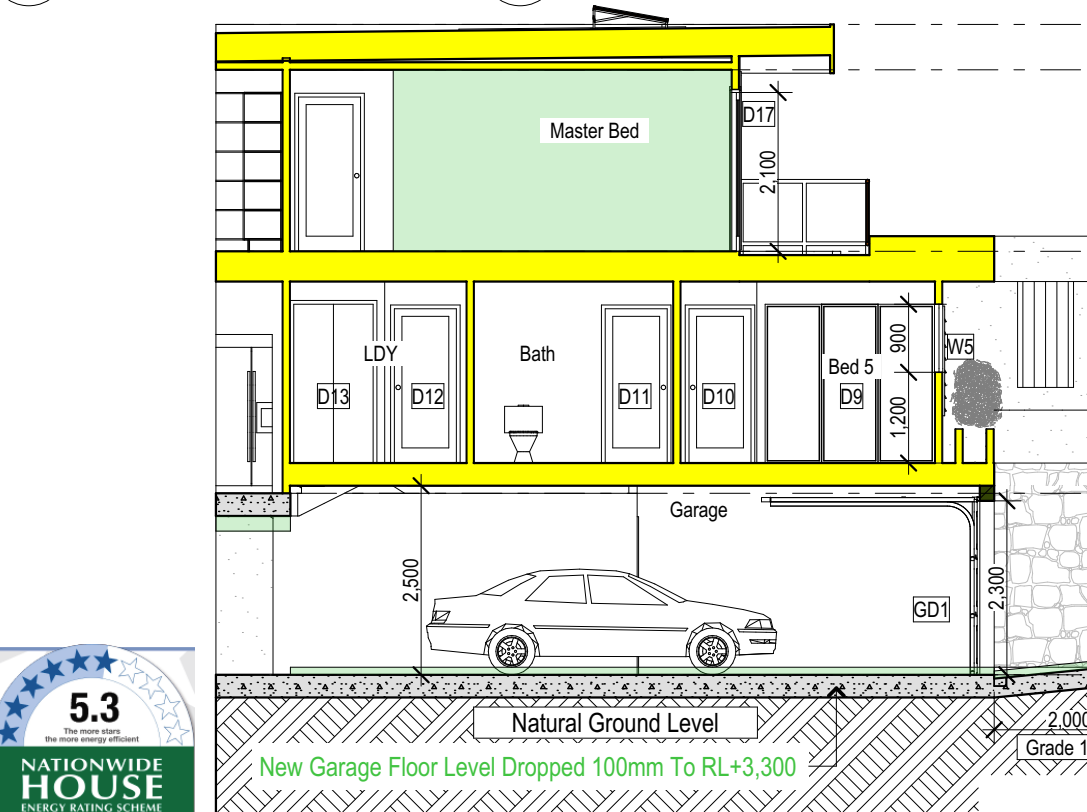
New Concrete Stairs To BCA,
Aust. Stds. & Eng. Details

RL +3,300
Basement

1

Section Stairs

1:100



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**DA MODIFICATION
ONLY
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Project North

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used for construction purposes until issued by the Designer for construction.

Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Sections - Section 2
Section Stairs, Section Drive

Scale: A3 as noted

Status: DA Mod Rev4
Project No.

RP1018BEE

Date: 17/09/20

Checked By: GBJ

Drawing No.

DAMOD300



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
MOD2020/0472**

Body

New Concrete Layback To Aust.
Stds & Council Regulations

New Concrete Drive To Eng. Details
Dropped To Suit New Garage Level

New Concrete Drive To Eng. Details

Crossover/Verge

Gondola Road

RL +11,900
Ridge
RL +11,300
FCL

RL +8,900
First

RL +6,800
Upr Ground

RL +5,700
Ground

RL +3,300
Basement

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

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ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation
already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance
with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah,
balcony or awning must be no more than 500 mm
above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre
and the base of the window and glazed door.

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Denotes New Works
Under This Application

Wall Legend

- Denotes New Timber Framed Wall/Floor
- Denotes New Concrete Block Wall
- Denotes New Masonry Wall
- Denotes Concrete Slab/Footing

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

Insulation: R2.5 wall insulation
R2.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Denotes New Works
Under This Application

Water Commitments		
Landscape		
The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.		
Fixtures		
The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.		
The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.		
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		
Alternative water		
Rainwater tank		
The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		
The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		
The applicant must connect the rainwater tank to:		
• all toilets in the development		
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		
Swimming pool		
The swimming pool must not have a volume greater than 69 kilolitres.		
Water Commitments		
The swimming pool must have a pool cover.		
The swimming pool must be outdoors.		

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	311.13m2	Yes
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
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Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

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PO Box 6193 Frenchs Forest
DC NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



Project North

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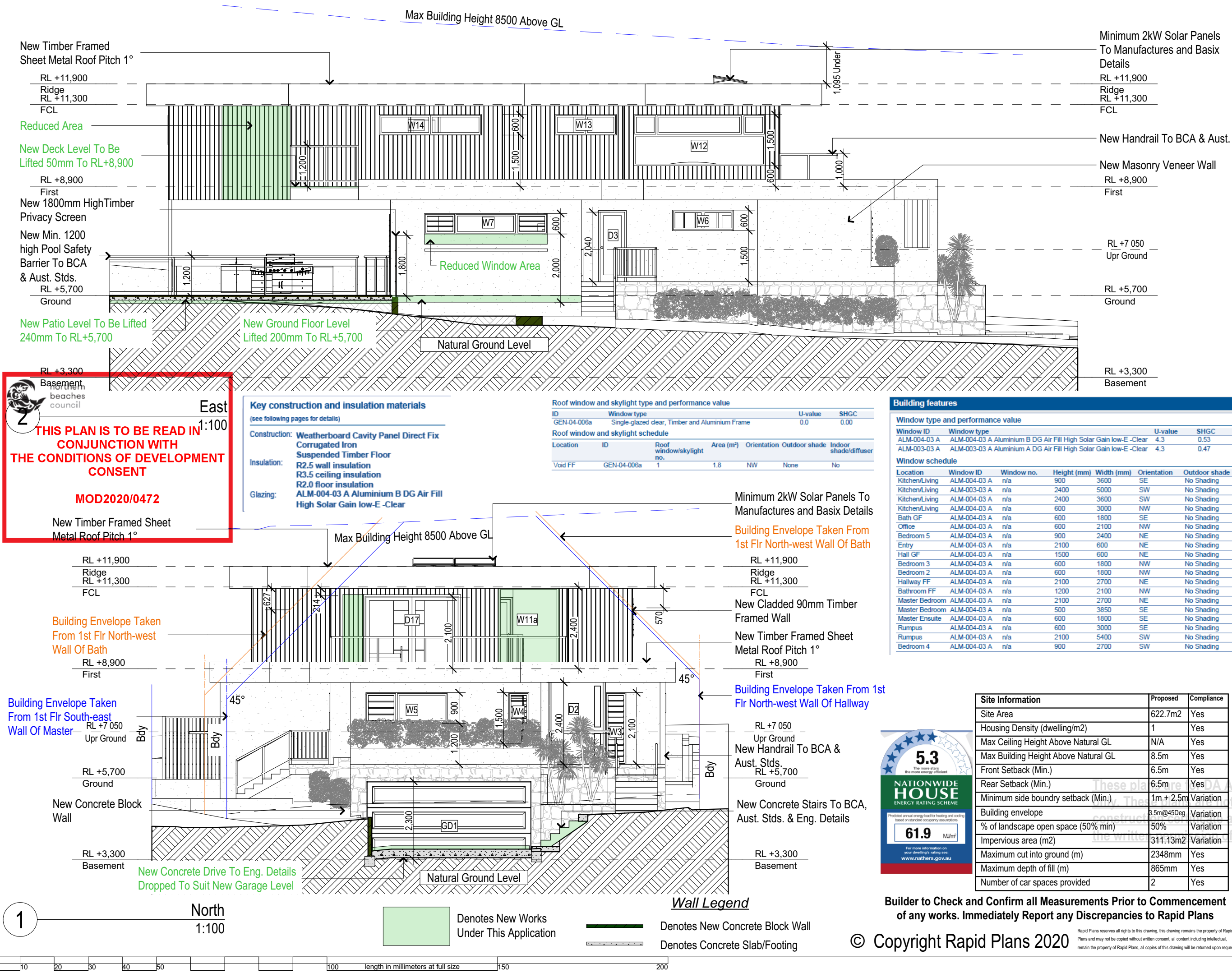
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Sections - Section Pool
Section Pool

Scale: A3 as noted
Status: DA Mod Rev4
Project No.
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD300





Rapid Plans
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : greg@rapidplans.com.au



BUILDING
DESIGNERS
AUSTRALIA NSW


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Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Project North



DA MODIFICATION ONLY

NOT FOR CONSTRUCTION

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Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen 2101


Lot 218 D.P. 16212
Drawing Title:

Elevations - Elevations 1
North, East

Scale: A3 as noted
Status: DA Mod Rev4
Project No:
RP1018BEE

Date: 17/09/20
Checked By: GBJ
Drawing No.
DAMOD4001

Building features						
Window type and performance value						
Window ID	Window type				U-value	SHGC
ALM-004-03 A	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear				4.3	0.53
ALM-003-03 A	ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear				4.3	0.47
Window schedule						
Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	ALM-004-03 A	n/a	900	3600	SE	No Shading
Kitchen/Living	ALM-003-03 A	n/a	2400	5000	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	2400	3600	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	600	3000	NW	No Shading
Bath GF	ALM-004-03 A	n/a	600	1800	SE	No Shading
Office	ALM-004-03 A	n/a	600	2100	NW	No Shading
Bedroom 5	ALM-004-03 A	n/a	900	2400	NE	No Shading
Entry	ALM-004-03 A	n/a	2100	600	NE	No Shading
Hall GF	ALM-004-03 A	n/a	1500	600	NE	No Shading
Bedroom 3	ALM-004-03 A	n/a	600	1800	NW	No Shading
Bedroom 2	ALM-004-03 A	n/a	600	1800	NW	No Shading
Hallway FF	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Bathroom FF	ALM-004-03 A	n/a	1200	2100	NW	No Shading
Master Bedroom	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Master Bedroom	ALM-004-03 A	n/a	500	3850	SE	No Shading
Master Ensuite	ALM-004-03 A	n/a	600	1800	SE	No Shading
Rumpus	ALM-004-03 A	n/a	600	3000	SE	No Shading
Rumpus	ALM-004-03 A	n/a	2100	5400	SW	No Shading
Bedroom 4	ALM-004-03 A	n/a	900	2700	SW	No Shading



5.3
The more stars the more energy efficient

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

Predicted annual energy load for heating and cooling based on standard occupancy assumptions

61.9 MJ/m²

For more information on your dwelling's rating see: www.nathers.gov.au

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 63 Gondola Road, North Narrabeen is not considered a heritage item.

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

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NOT FOR CONSTRUCTION

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Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen 2101
Lot 218 D.P. 16212

Drawing Title:
Elevations - Elevations 2
South, West

Scale: A3 as noted Date: 17/09/20
Status: DA Mod Rev4 Checked By: GBJ

Project No:
RP1018BEE
Drawing No.
DAMOD4002

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°
RL +8,900
First

New Masonry Veneer Wall

New Handrail To BCA & Aust. Stds.
RL +6 800
Upr Ground

RL +5,700
Ground

New Ground Floor Level Lifted 200mm To RL+5,700

West 1:100

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0472

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

Building Envelope Taken From 1st Flr South-west Wall Of Bed 4

RL +8,900
First

New Masonry Veneer Wall

New Grass Area Level To Be Lifted 200mm To RL+5,610

New Masonry Wall

RL +5,700
Ground

New Patio Level To Be Lifted 240mm To RL+5,700

RL +3,300
Basement

South 1:100

1

length in millimeters at full size

length in millimeters at full size

length in millimeters at full size

Max Building Height 8500 Above GL

New Timber Framed Sheet Metal Flat Roof

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Masonry Wall

RL +8,900
First

New Steel Post To Eng. Details

New Grass Area Level To Be Lifted 200mm To RL+5,610

RL +6 800
Upr Ground

Reduced Height Of Retaining Wall

RL +5,700
Ground

RL +5,700
Ground

RL +5,700
Ground

RL +5,700
Ground

RL +5,700
Ground

RL +5,700
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RL +5,700
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RL +5,700
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RL +5,700
Ground

RL +5,700
Ground

RL +5,700
Ground

Roof window and skylight type and performance value						
ID	Window type		U-value		SHGC	
GEN-04-006a	Single-glazed clear, Timber and Aluminium Frame		0.0		0.00	
Roof window and skylight schedule						
Location	ID	Roof window/skylight no.	Area (m²)	Orientation	Outdoor shade	Indoor shade/diffuser
Void FF	GEN-04-006a	1	1.8	NW	None	No

Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix Corrugated Iron
Suspended Timber Floor
R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

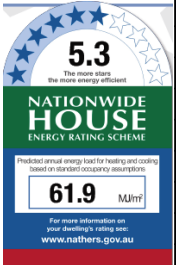
Insulation:

Glazing:

Building features						
Window type and performance value						
Window ID	Window type				U-value	SHGC
ALM-004-03 A	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear				4.3	0.53
ALM-003-03 A	ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear				4.3	0.47
Window schedule						
Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	ALM-004-03 A	n/a	900	3600	SE	No Shading
Kitchen/Living	ALM-003-03 A	n/a	2400	5000	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	2400	3600	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	600	3000	NW	No Shading
Bath GF	ALM-004-03 A	n/a	600	1800	SE	No Shading
Office	ALM-004-03 A	n/a	600	2100	NW	No Shading
Bedroom 5	ALM-004-03 A	n/a	900	2400	NE	No Shading
Entry	ALM-004-03 A	n/a	2100	600	NE	No Shading
Hall GF	ALM-004-03 A	n/a	1500	600	NE	No Shading
Bedroom 3	ALM-004-03 A	n/a	600	1800	NW	No Shading
Bedroom 2	ALM-004-03 A	n/a	600	1800	NW	No Shading
Hallway FF	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Bathroom FF	ALM-004-03 A	n/a	1200	2100	NW	No Shading
Master Bedroom	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Master Bedroom	ALM-004-03 A	n/a	500	3850	SE	No Shading
Master Ensuite	ALM-004-03 A	n/a	600	1800	SE	No Shading
Rumpus	ALM-004-03 A	n/a	600	3000	SE	No Shading
Rumpus	ALM-004-03 A	n/a	2100	5400	SW	No Shading
Bedroom 4	ALM-004-03 A	n/a	900	2700	SW	No Shading

Denotes New Works Under This Application

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	8.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m ²)	311.13m ²	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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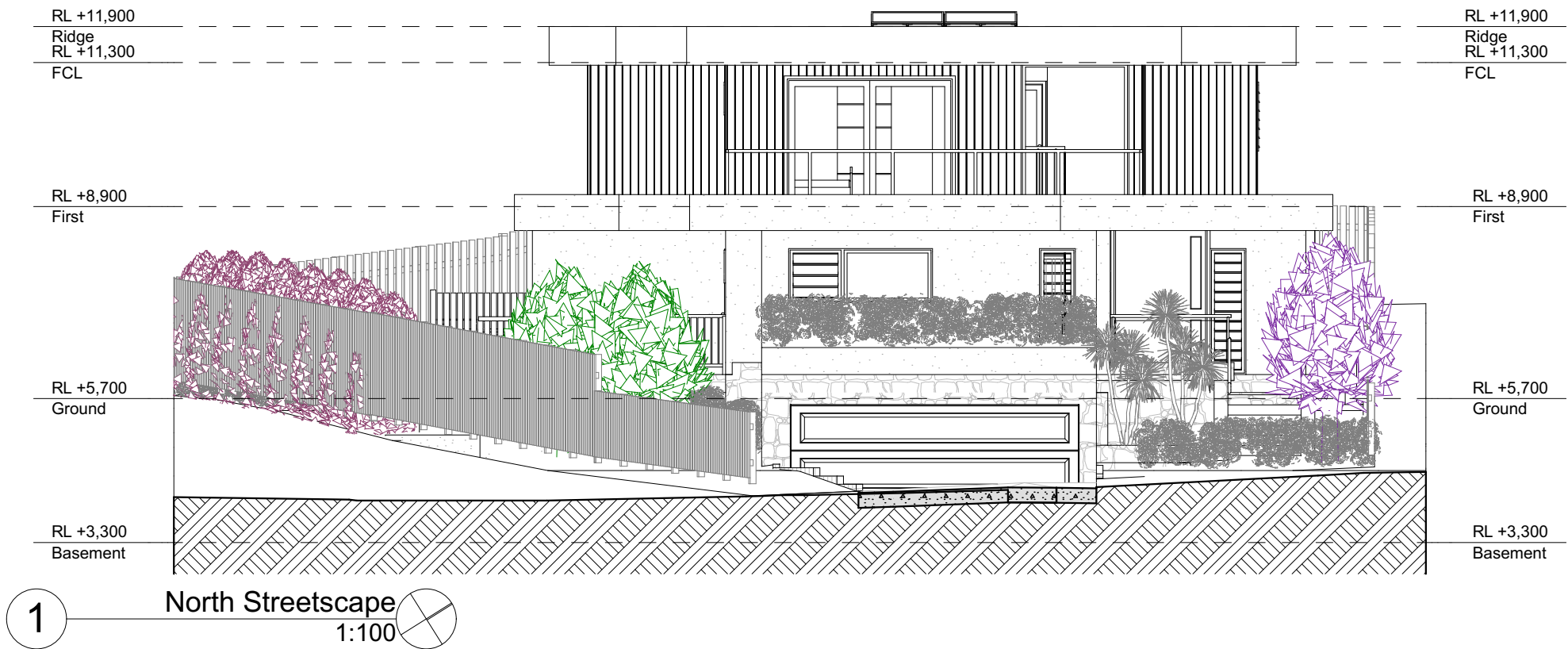
Wall Legend
— Denotes New Masonry Wall
— Denotes New Concrete Block Wall
— Denotes Concrete Slab/Footing



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2020/0472



Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundry setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Variation
Impervious area (m2)	311.13m2	Variation
Maximum cut into ground (m)	2348mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Rapid Plans

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BUILDING
DESIGNERS
AUSTRALIA

NSW

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
63 Gondola Road, North Narrabeen is not considered a heritage item

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA MODIFICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Elevations - E/05 North Streetscape

North Streetscape

Scale: A3 as noted

Date: 17/09/20

Status: DA Mod Rev4

Checked By: GBJ

Project No:

RP1018BEE

Drawing No.

DAMOD4003