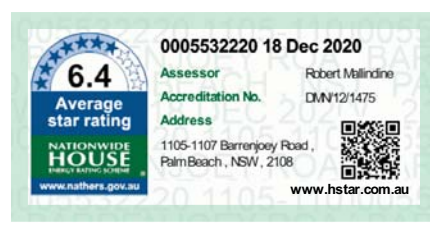


**DRAWING LIST**

DA 000	COVER PAGE
DA 001	PROJECT SUMMARY & AREA SCHEDULE
DA 002	DEMOLITION PLAN
DA 003	EXCAVATION & FILL PLAN
DA010	SITE ANALYSIS PLAN
DA011	SITE PLAN
DA 100	BASEMENT PLAN
DA 101	GROUND FLOOR PLAN
DA 102	LEVEL 1 PLAN
DA 103	LEVEL 2 PLAN
DA 104	ROOF PLAN
DA 201	ELEVATION (EAST & WEST)
DA 202	ELEVATION (NORTH)
DA 301	SECTIONS
DA 400	MATERIAL SCHEDULE
DA 401	PHOTOMONTAGE A
DA 402	PHOTOMONTAGE B
DA403	SKETCHUP VIEWS

DA 500	GFA DIAGRAM
DA 510	CROSS VENTILATION DIAGRAM
DA 520	STORAGE DIAGRAM
DA 530	PRIVATE OPEN SPACE
DA 540	LANDSCAPE DIAGRAM
DA 550	HEIGHT PLANE DIAGRAM
DA 600	SOLAR STUDY (21st JUNE 9AM - 12PM)
DA 601	SOLAR STUDY (21st JUNE 1PM - 3PM)
DA 610	SHADOW DIAGRAM (21st JUNE 9AM - 3PM)
DA700	SIGNAGE PLAN



NATHERS Thermal Performance Specifications (BASIX Thermal Comfort) 1105-1107 Barrenjoey Road, Palm Beach					
<i>These are the specifications upon which the NatHERS assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.</i>					
Windows	Glass *	Frame	U value	SHGC	Detail
Default	Single glazed, low E low solar gain	Aluminium	5.6	0.36	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, low E low solar gain	Aluminium	5.6	0.41	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Double glazed, low E low solar gain	Aluminium thermally broken	3.1	0.27	For unit G03 – all glazing
* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance					
Skylights	Glass	Frame	U value	SHGC	Detail
<b>External walls</b>					
Construction	Added Insulation		Detail		
Concrete / AFS	R 2.0		All external walls		
<b>Internal walls</b>					
Construction	Added Insulation		Detail		
Plasterboard on studs	None		Walls within units		
Concrete	None		Party walls		
Concrete	R 1.0		Walls separating units from stairwells, lift shafts, lobbies, service rooms		
<b>Floors</b>					
Construction	Added Insulation		Detail		
Concrete	None		Floors generally		
Concrete	R 2.0		Floors over basement carpark, garbage room, and open air		
<b>Ceilings</b>					
Construction	Added Insulation		Detail		
Plasterboard	None		For units: G01, G02, G03		
Plasterboard	R 3.0		For ceilings below roof and ceilings below roof spaces – units: 101, 102, 103, 104, 105, 201, 202, 203		
<b>Roof</b>					
Construction	Added Insulation		Detail		
Concrete	Refer to ceiling detail above				
Tiles	Refer to ceiling detail above				
<b>Other Requirements</b>					
All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration					

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**LEGEND:**

AW AWNING  
 HW HIGHLIGHT WINDOW  
 CU A/C CONDENSER UNITS  
 FH FIRE HYDRANT  
 FHR FIRE HOSE REEL  
 FS FIRE STAIRS  
 MV MECHANICAL RISER TO FUTURE DETAIL  
 GC GARBAGE CHUTE  
 MB MAILBOX TO FUTURE DETAIL  
 OG OPAQUE GLASS  
 PB PLANTERBOX  
 R 240L RECYCLING BIN  
 SK SKYLIGHT  
 ST STORAGE  
 WT HOT WATER UNITS

**MATERIALS LEGEND:**

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 AFL ALUMINIUM ELLIPTICAL FIXED LOUVERS  
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 PTx PAINT FINISH TYPEx  
 RD ROLLER DOOR  
 RP RIVER PEBBLES  
 RW RENDERED WALL/SELECTED PAINT FINISH  
 TC TIMBER CLADDING

ISSUE	DATE	DESCRIPTION
A	2020.12.18	DA LODGEMENT

CLIENT: **MACARTHUR PROJECTS**

ARCHITECT: **PBD ARCHITECTS**  
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 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
 DRAWING TITLE: **COVER PAGE & NatHERS SPECIFICATION**

SCALE: N/A	DRAWING NO: <b>DA000</b>	ISSUE: <b>A</b>
PROJECT NO: 1816		

**PROJECT INFORMATION**

<b>1105 - 1107 Barrenjoey Rd, Palm Beach</b>	
Site Area	1366.5 sq m
FSR	Retail/Commercial component must be minimum 25% of GFA of the building
Zoning	B2 - Local Centre
	Shoptop Housing
	Serviced Apartments
Height Control	8.5m
Total Number of Dwellings	8 Residential Apartments

**UNIT MIX**

Level	1 Bed	2 Bed	3 Bed	Total
<b>Serviced Apartments</b>				
Ground Level	3	0	0	3
TOTAL	3	0	0	3
	100%	0%	0%	
<b>Residential</b>				
LEVEL 1	0	0	5	5
LEVEL 2	0	0	3	3
TOTAL	0	0	8	8
	0%	0%	100%	100%

**CAR PARKING REQUIREMENTS**

	Rate	No. of Units / Area	Required	Proposed
<b>Serviced Apartments</b>				
1 Bed	1 per unit	3	3	3
2 Bed	2 per unit	0	0	0
TOTAL			3	3
<b>Residential</b>				
3 Bed	2 per unit	8	16	16
Accessible Parking	3% of required parking space excluding adaptable units	0.36	0	0
Visitor	1 per 3 units	8	3	3
Car Wash Space	1 for 10 or more units		0	0
TOTAL			19	19
<b>Retail</b>				
Retail Premises	1 space per 30m <sup>2</sup>	262	9	9
Accessible For Retail	3% of required parking space or 1 space	9	1	1
TOTAL			31	31

**OTHER PARKING REQUIREMENTS**

	Rate	No. of Units / Area	Required	Proposed
<b>Bicycle</b>	(Residential ) 1 per 3 units	8	3	3
	(Serviced Apartments) 1 per 3 units	3	1	1
	(Business)1 / 1000 sqm GFA or Minimum 4	262	4	4
TOTAL			8	8

**WASTE GENERATION & MANAGEMENT**

RESIDENTIAL	Rate	No. of Units	Per Week (Litres)	No. of 240L Bins Required
Garbage	80L/Household/week	8	640	3
Recycling - Paper	70L/Household/week	8	560	2
Recycling - Container	70L/Household/week	8	560	2
Vegetation	1 x 240L/200m <sup>2</sup> of landscaping			2
SERVICED APARTMENT	Rate	No. of Units	Per Week (Litres)	No. of 240L Bins Required
Garbage	80L/Household/week	3	240	1
Recycling - Paper	70L/Household/week	3	210	1
Recycling - Container	70L/Household/week	3	210	1
RETAIL	Rate	L/day	Per Week (Litres)	No. of Bins Required
<b>Café (Retail 5) 61m<sup>2</sup></b>				
Garbage	300L/100m <sup>2</sup> floor area/day	183	1281	5
Recycling	200L/100m <sup>2</sup> floor area/day	122	854	4
<b>Retail Store (Non-Food): 201m<sup>2</sup></b>				
Garbage	50L/100m <sup>2</sup> floor area/day	101	704	3
Recycling	50L/100m <sup>2</sup> floor area/day	101	704	3

**GFA**

Level	Area
GROUND	759.2
LEVEL 1	889.3
LEVEL 2	604.5
TOTAL	2253.0
FSR	1.6 : 1

**RETAIL/COMMERCIAL**

Retail & Serviced Apartments	575.1
Percentage to total GFA	26%

**OTHER REQUIREMENTS**

	DCP/ADG Req	Required	Proposed
<b>Livable Housing</b>	20%	3	3
	Silver level of Liveable Housing		
<b>Solar Access (ADG)</b>	70% of total number of dwellings	5.6	7 88%
<b>Private Open Space (ADG)</b>	Min areas : 1Bed(8m <sup>2</sup> ) 2Bed(10m <sup>2</sup> ) 3Bed(12m <sup>2</sup> )		Compliant with ADG
<b>Cross Ventilation (ADG)</b>	60% of total number of dwellings	4.8	8 100%

**Area Schedule**

Level	Unit No	Type	Livable	Internal Area (m2)	Winter Garden/Balcony (m2)	Storage (m3)	Min. Carpark Storage (m3)	Total Storage Provided (m3)
GF	RETAIL 1			43				
	RETAIL 2			75				
	RETAIL 3			41				
	RETAIL 4			42				
	RETAIL 5			61				
<b>SERVICED APARTMENTS</b>								
GF	G01	1 BED		84	30			
	G02	1 BED		92	36			
	G03	1 BED		94	50			
<b>RESIDENTIAL</b>								
LEVEL 1	101	3 BED		192	20+13	9.1	14.3	23.3
	102	3 BED		171	17+8	6.7	14.3	21.0
	103	3 BED		132	13+4	12.4	14.3	26.7
	104	3 BED		130	18+3+2+2	6.7	14.3	21.0
	105	3 BED		129	22+3	8.2	14.3	22.4
LEVEL 2	201	3 BED	Y	213	24+6	6.6	14.3	20.9
	202	3 BED	Y	199	35+13+4	5.2	14.3	19.5
	203	3 BED	Y	184	56+13	12.7	14.3	27.0

Retail NLA	262
Serviced Apartment NLA	270
Residential NSA	1350

**0005532220 18 Dec 2020**  
 Assessor: Robert Mallindine  
 Accreditation No: DIN12/1475  
 Address: 1105-1107 Barrenjoey Road, Palm Beach, NSW, 2108  
 www.hstar.com.au

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- FHR FIRE HOSE REEL
- FS FIRE STAIRS
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**MATERIALS LEGEND:**

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ISSUE	DATE	DESCRIPTION

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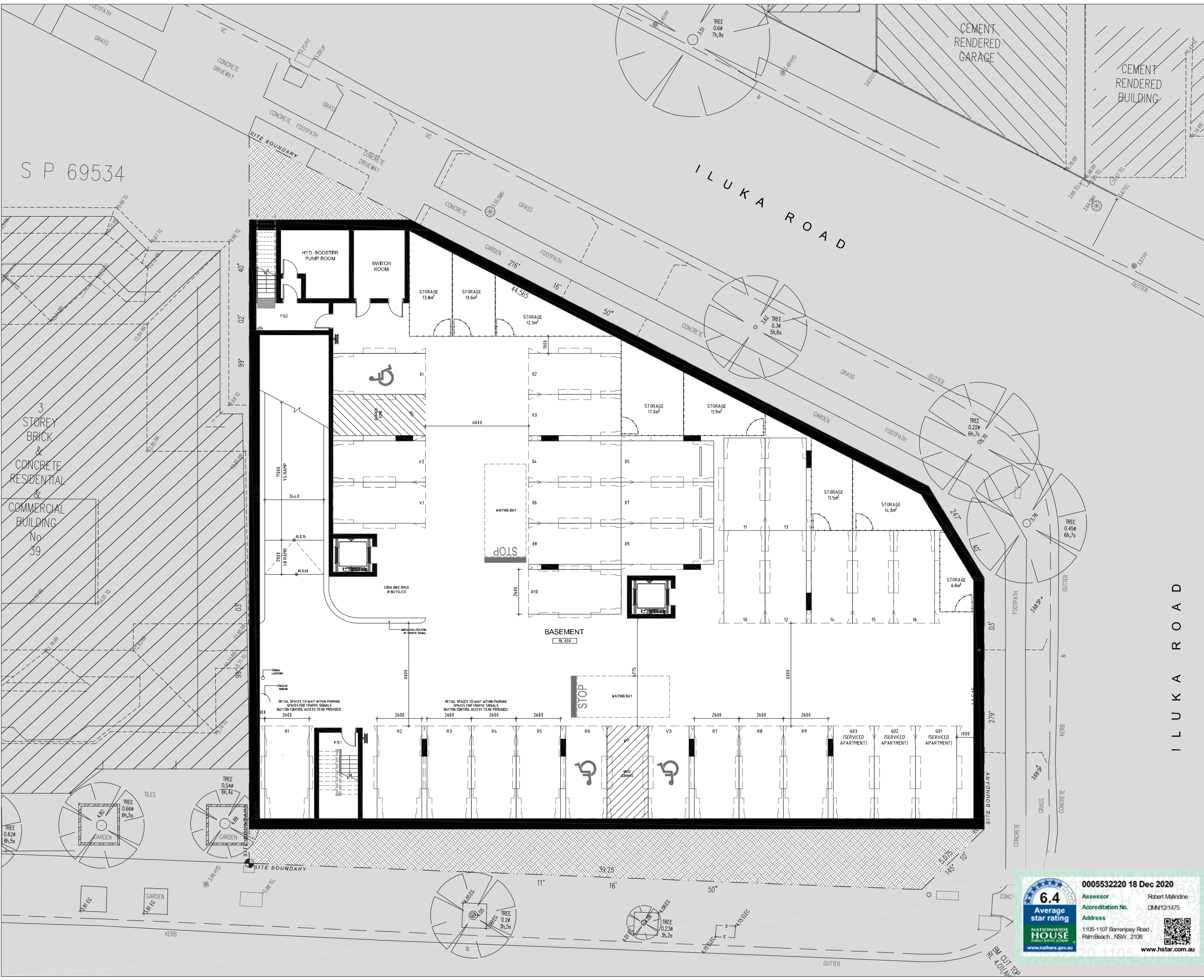
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PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
 DRAWING TITLE: **PROJECT SUMMARY & AREA SCHEDULE**

SCALE: N/A	DRAWING NO: <b>DA001</b>	ISSUE: <b>A</b>
PROJECT NO: 1816		

S P 69534



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A	2020.12.18	DA LODGEMENT



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PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
 DRAWING TITLE: **BASEMENT PLAN**

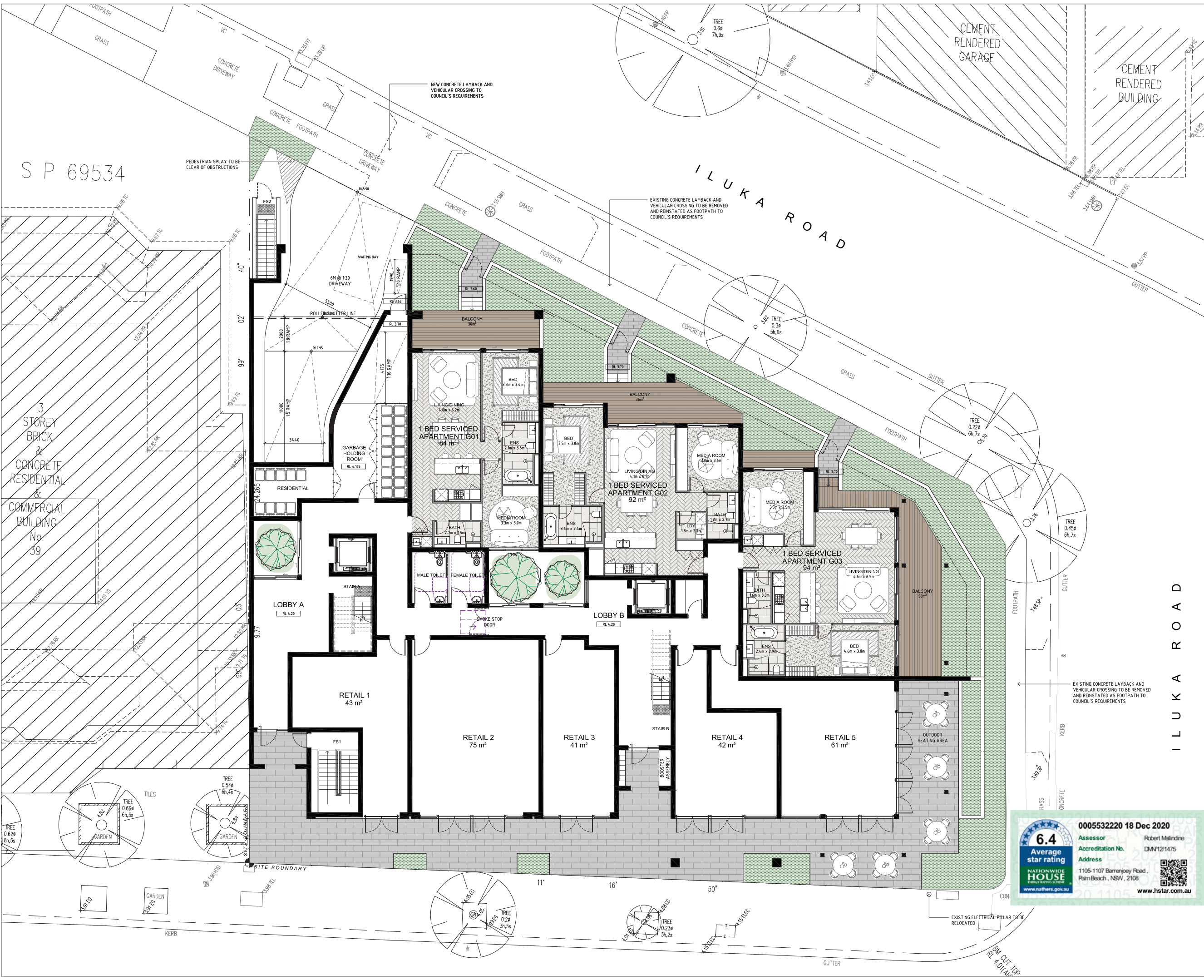
**0005532220 18 Dec 2020**

**6.4** Average star rating

Assessor: Robert Millidine  
 Accreditation No. DMN12/1475  
 Address: 1105-1107 Barrenjoey Road, Palm Beach, NSW, 2108

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SCALE: 1:100@A1 / 1:200@A3	DRAWING NO: <b>DA100</b>	ISSUE: <b>A</b>
PROJECT NO: 1816		



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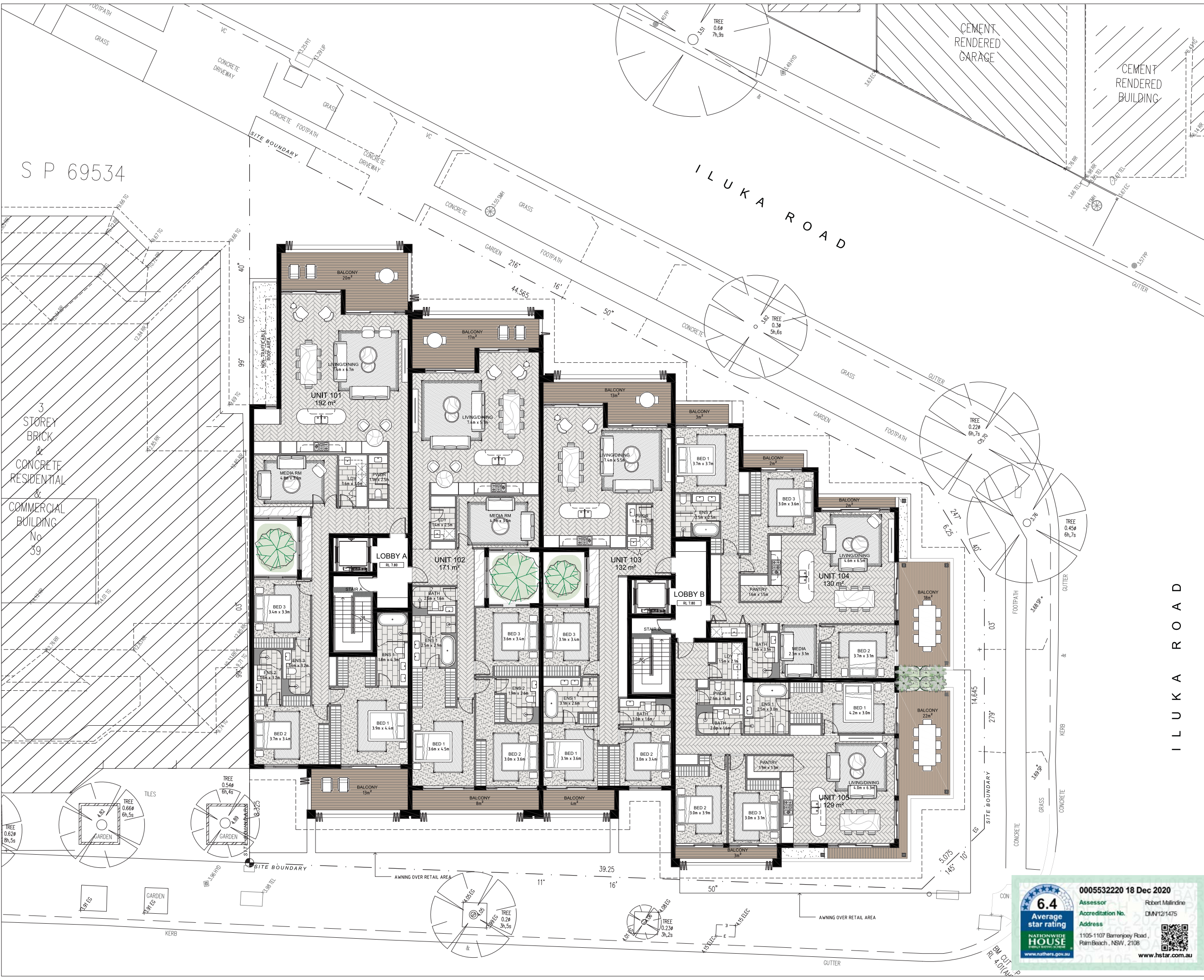
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PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
 DRAWING TITLE: **GROUND FLOOR PLAN**

SCALE: 1:100@A1 / 1:200@A3  
 PROJECT NO: 1816  
 DRAWING NO: **DA101**  
 ISSUE: **A**



S P 69534

ILUKA ROAD

ILUKA ROAD

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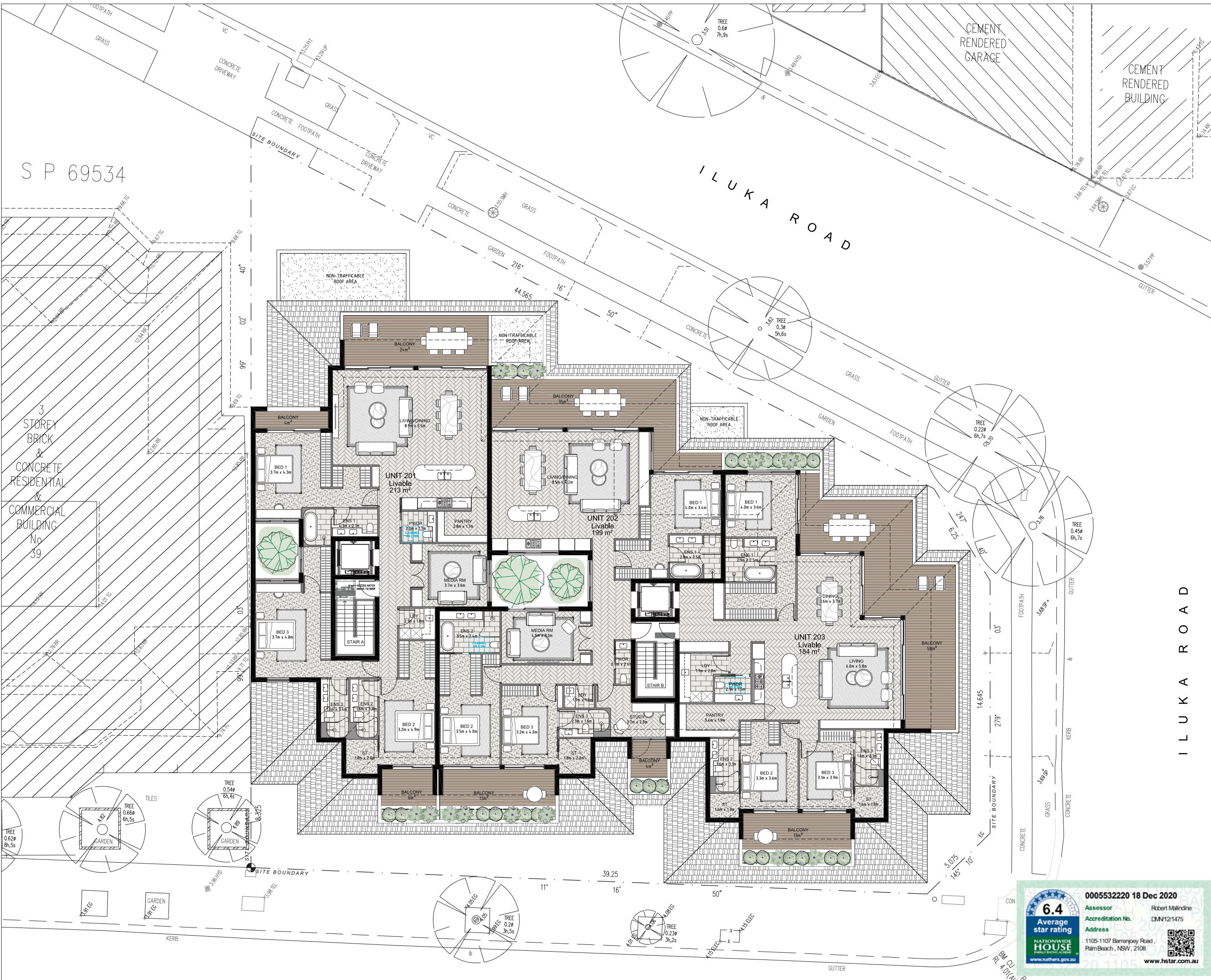
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PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
 DRAWING TITLE: **LEVEL 1 PLAN**

SCALE: 1:100@A1 / 1:200@A3  
 PROJECT NO: 1816  
 DRAWING NO: **DA102**  
 ISSUE: **A**

**6.4** Average star rating  
**NATIONWIDE HOUSE** www.nsh.gov.au  
 000552220 18 Dec 2020  
 Assessor Robert Mallidine  
 Accreditation No. DIN12/1475  
 Address 1105-1107 Barrenjoey Road, Palm Beach, NSW, 2108  
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ILUKA ROAD

ILUKA ROAD

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  - WT HOT WATER UNITS

- MATERIALS LEGEND:**
- AFG ALUMINIUM FRAMED GLAZING
  - AFL ALUMINIUM ELLIPTICAL FIXED LOUVERS
  - AW AWNING TO FUTURE DETAILS
  - BS BATTEN SCREEN (TO FUTURE DETAIL)
  - FB FACE BRICK
  - GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/AUSTRALIAN STANDARDS)
  - MC METAL CLADDING
  - MF METAL FENCING (TO FUTURE SELECTION)
  - PS PRIVACY SCREEN (TO FUTURE SELECTION)
  - PTx PAINT FINISH TYPEx
  - RD ROLLER DOOR
  - RP RIVER PEBBLES
  - RW RENDERED WALL/SELECTED PAINT FINISH
  - TC TIMBER CLADDING

A	2020.12.18	DA LODGEMENT
ISSUE	DATE	DESCRIPTION



CLIENT: **MACARTHUR PROJECTS**

ARCHITECT: **PBD ARCHITECTS**  
 ABN 36 147 035 550  
 P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

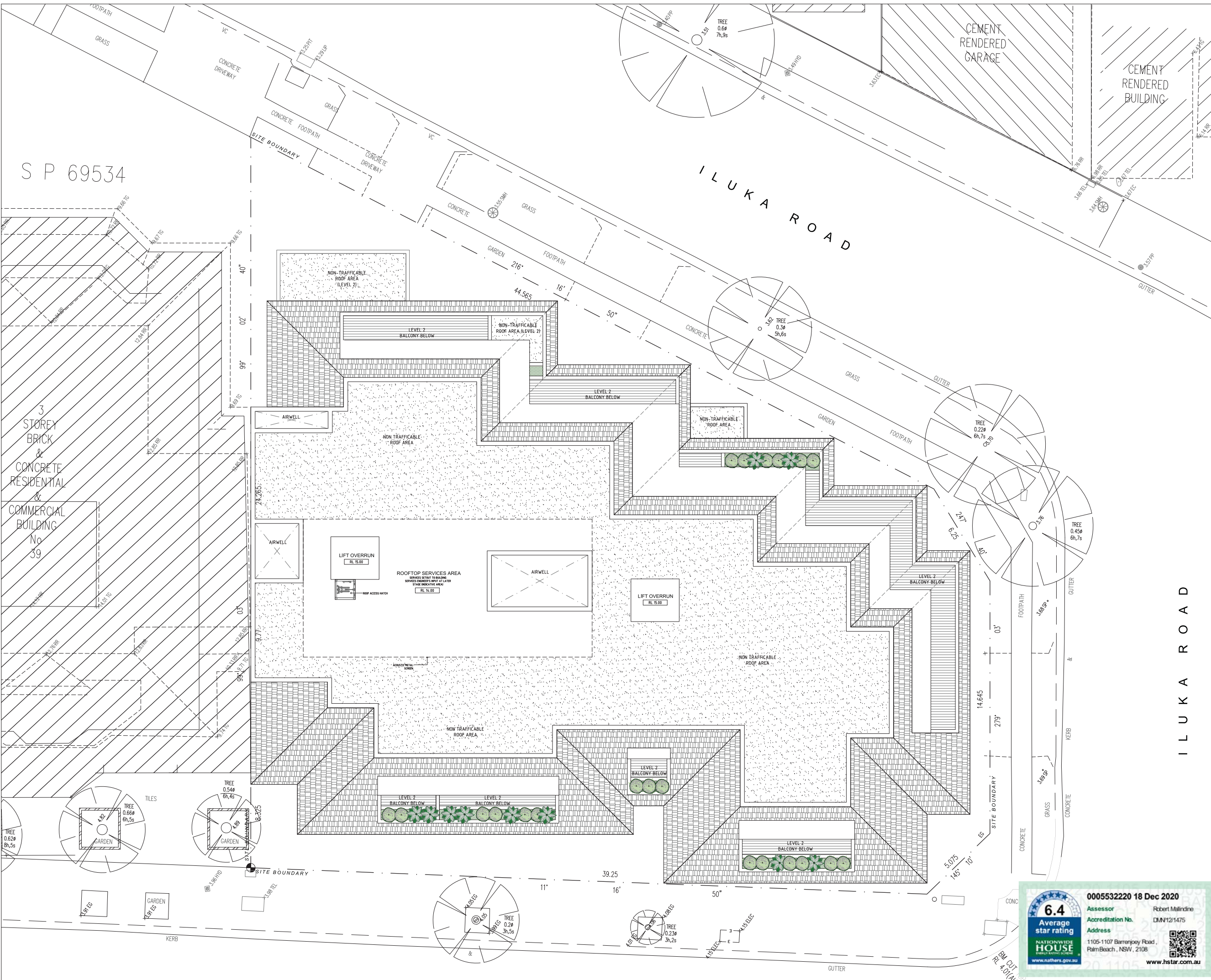
DECEMBER 2017  
 DRAWING TITLE: **LEVEL 2 PLAN**

SCALE: 1:100@A1 / 1:200@A3  
 PROJECT NO: 1816  
 DRAWING NO: **DA103**  
 ISSUE: **A**

**6.4** Average star rating  
**NATIONWIDE HOUSE** ENERGY EFFICIENT  
 www.nathers.gov.au

0005532220 18 Dec 2020  
 Assessor Robert Mallindine  
 Accreditation No. DMN12/1475  
 Address 1105-1107 Barrenjoey Road, Palm Beach, NSW, 2108

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**GENERAL NOTES:**

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS.
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**LEGEND:**

- AW AWNING
- HW HIGHLIGHT WINDOW
- CU A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- MV MECHANICAL RISER TO FUTURE DETAIL
- GC GARBAGE CHUTE
- MB MAILBOX TO FUTURE DETAIL
- OG OPAQUE GLASS
- PB PLANTERBOX
- R 240L RECYCLING BIN
- SK SKYLIGHT
- ST STORAGE
- WT HOT WATER UNITS

**MATERIALS LEGEND:**

- AFG ALUMINIUM FRAMED GLAZING
- AFL ALUMINIUM ELLIPTICAL FIXED LOUVERS
- AW AWNING TO FUTURE DETAILS
- BS BATTEN SCREEN (TO FUTURE DETAIL)
- FB FACE BRICK
- GB FRAMELESS TOUGHENED GLASS BALUSTRADE (TO BCA/AUSTRALIAN STANDARDS)
- MC METAL CLADDING
- MF METAL FENCING (TO FUTURE SELECTION)
- PS PRIVACY SCREEN (TO FUTURE SELECTION)
- PtX PAINT FINISH TYPEx
- RD ROLLER DOOR
- RP RIVER PEBBLES
- RW RENDERED WALL/SELECTED PAINT FINISH
- TC TIMBER CLADDING

ISSUE	DATE	DESCRIPTION
A	2020.12.18	DA LODGEMENT



CLIENT: **MACARTHUR PROJECTS**

ARCHITECT: **PBD ARCHITECTS**  
 ABN 36 147 035 550  
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 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
 DRAWING TITLE: **ROOF PLAN**

SCALE: 1:100@A1 / 1:200@A3  
 PROJECT NO: 1816  
 DRAWING NO: **DA104**  
 ISSUE: **A**

**0005532220 18 Dec 2020**

Assessor: Robert Mallidine  
 Accreditation No: DMN12/1475  
 Address: 1105-1107 Barrenjoey Road, Palm Beach, NSW, 2108

**6.4** Average star rating  
 NATIONWIDE HOUSE ENERGY EFFICIENCY RATING  
 www.nathers.gov.au

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1 EAST ELEVATION



2 WEST ELEVATION

**GENERAL NOTES:**

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**LEGEND:**

- AW AWNING
- HW HIGHLIGHT WINDOW
- CU A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- MV MECHANICAL RISER TO FUTURE DETAIL
- GC GARBAGE CHUTE
- MB MAILBOX TO FUTURE DETAIL
- OG OPAQUE GLASS
- PB PLANTERBOX
- R 240L RECYCLING BIN
- SK SKYLIGHT
- ST STORAGE
- WT HOT WATER UNITS

**MATERIALS LEGEND:**

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- AW AWNING TO FUTURE DETAILS
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- MC METAL CLADDING
- MF METAL FENCING (TO FUTURE SELECTION)
- PS PRIVACY SCREEN (TO FUTURE SELECTION)
- P1x PAINT FINISH TYPE X
- RD ROLLER DOOR
- RP RIVER PEBBLES
- RW RENDERED WALL/SELECTED PAINT FINISH
- TC TIMBER CLADDING

HIDDEN LINE INDICATES EXISTING BUILDING TO BE DEMOLISHED  
HIDDEN LINE INDICATES EXISTING FLOOR LEVEL

APPROX NATURAL GROUND LINE @ BOUNDARY

ISSUE	DATE	DESCRIPTION
A	2020.12.18	DA LODGEMENT

CLIENT: **MACARTHUR PROJECTS**

ARCHITECT: **PBD ARCHITECTS**  
ABN 36 147 035 550  
 P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT: **PROPOSED SHOPTOP HOUSING**  
 1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
 DRAWING TITLE: **ELEVATION EAST & WEST**

SCALE: 1:100@A1 / 1:200@A3	DRAWING NO: <b>DA200</b>	ISSUE: <b>A</b>
PROJECT NO: 1816		



- GENERAL NOTES:**
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- LEGEND:**
- AW AWNING
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  - FHR FIRE HOSE REEL
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  - GC GARBAGE CHUTE
  - MB MAILBOX TO FUTURE DETAIL
  - OG OPAQUE GLASS
  - PB PLANTERBOX
  - R 240L RECYCLING BIN
  - SK SKYLIGHT
  - ST STORAGE
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  - RW RENDERED WALL/SELECTED PAINT FINISH
  - TC TIMBER CLADDING



3 NORTH ELEVATION  
1100@A1 / 1200@A3

ISSUE	DATE	DESCRIPTION
P1	2020.12.18	DDA LODGEMENT

CLIENT:  
**MACARTHUR PROJECTS**

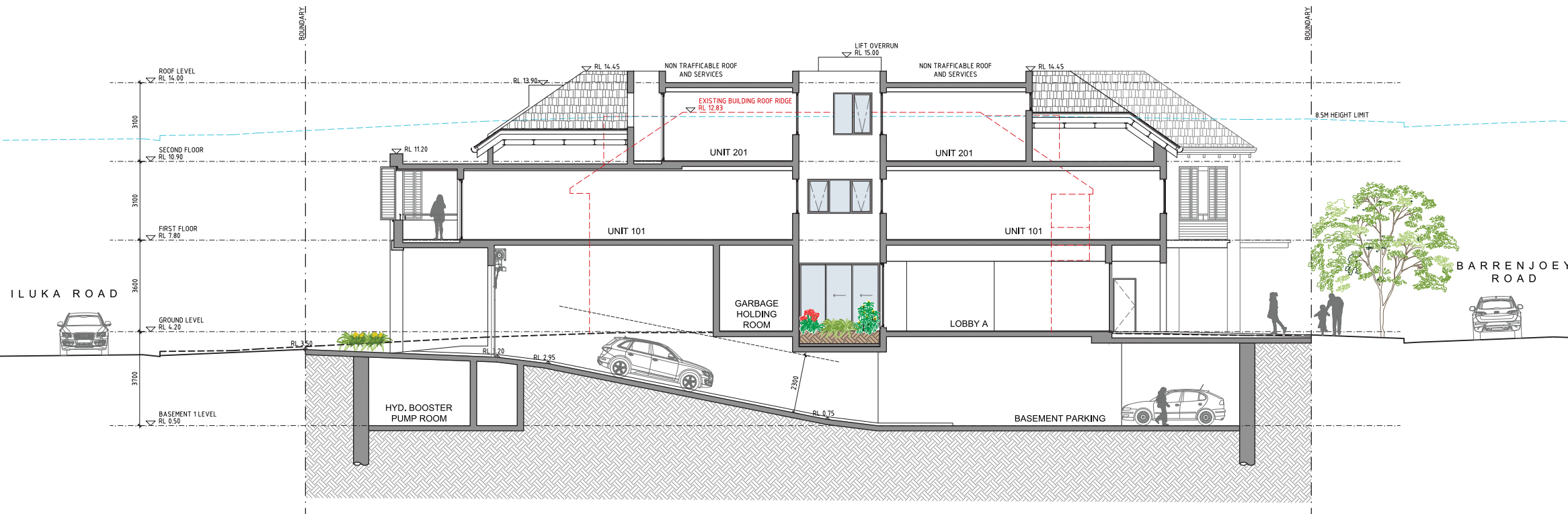
ARCHITECT:  
**PBD ARCHITECTS**  
ABN 36 147 035 550  
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Abion Street, Surry Hills NSW 2010

PROJECT:  
**PROPOSED SHOPTOP HOUSING**  
1105-1107 BARRENJOEY ROAD, PALM BEACH

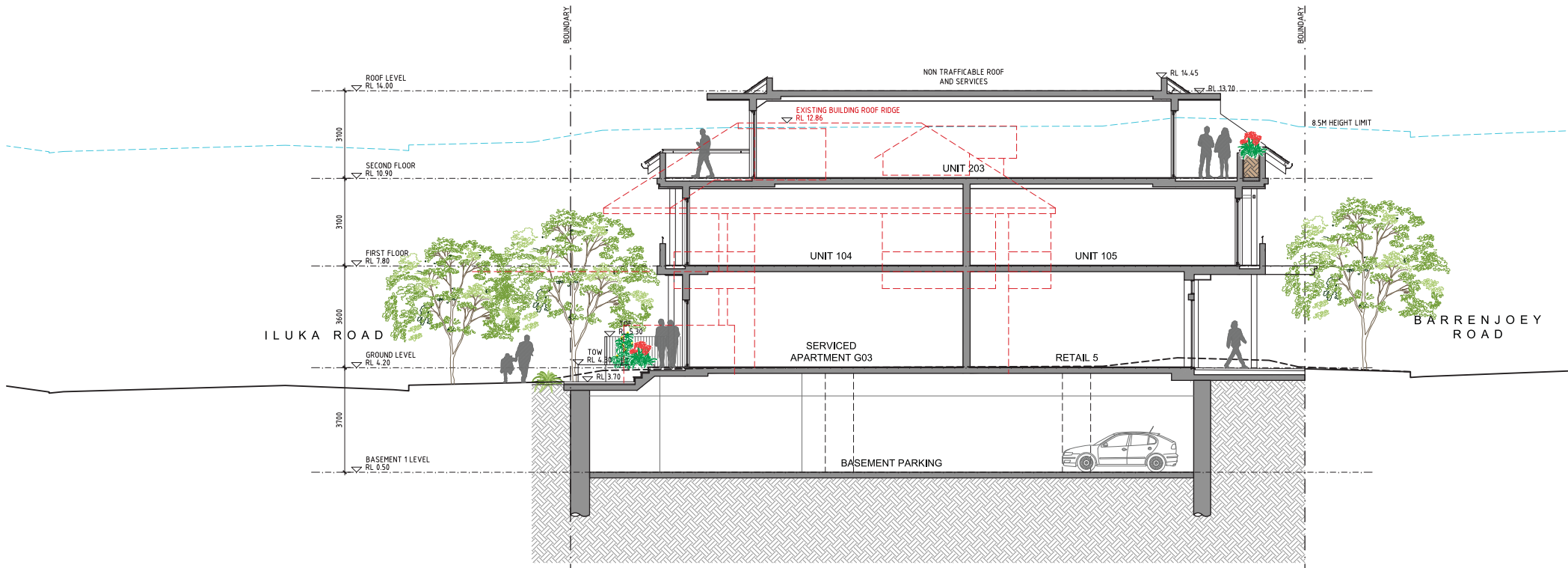
DECEMBER 2017  
DRAWING TITLE:  
**NORTH ELEVATION**

**0005532220 18 Dec 2020**  
Assessor: Robert Malindine  
Accreditation No. DMN12/1475  
Address: 1105-1107 Barrenjoey Road, Palm Beach, NSW, 2108  
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SCALE: 1:100@A1 / 1:200@A3	DRAWING NO: <b>DA201</b>	ISSUE: <b>A</b>
PROJECT NO: 1816		



SECTION A



SECTION B

- GENERAL NOTES:**
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- MATERIALS LEGEND:**
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ISSUE	DATE	DESCRIPTION
A	2020.12.18	DA LODGEMENT

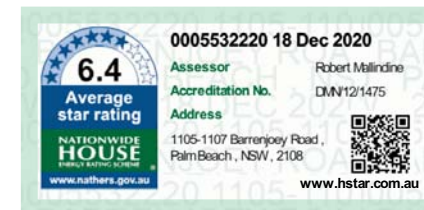
CLIENT:  
**MACARTHUR PROJECTS**

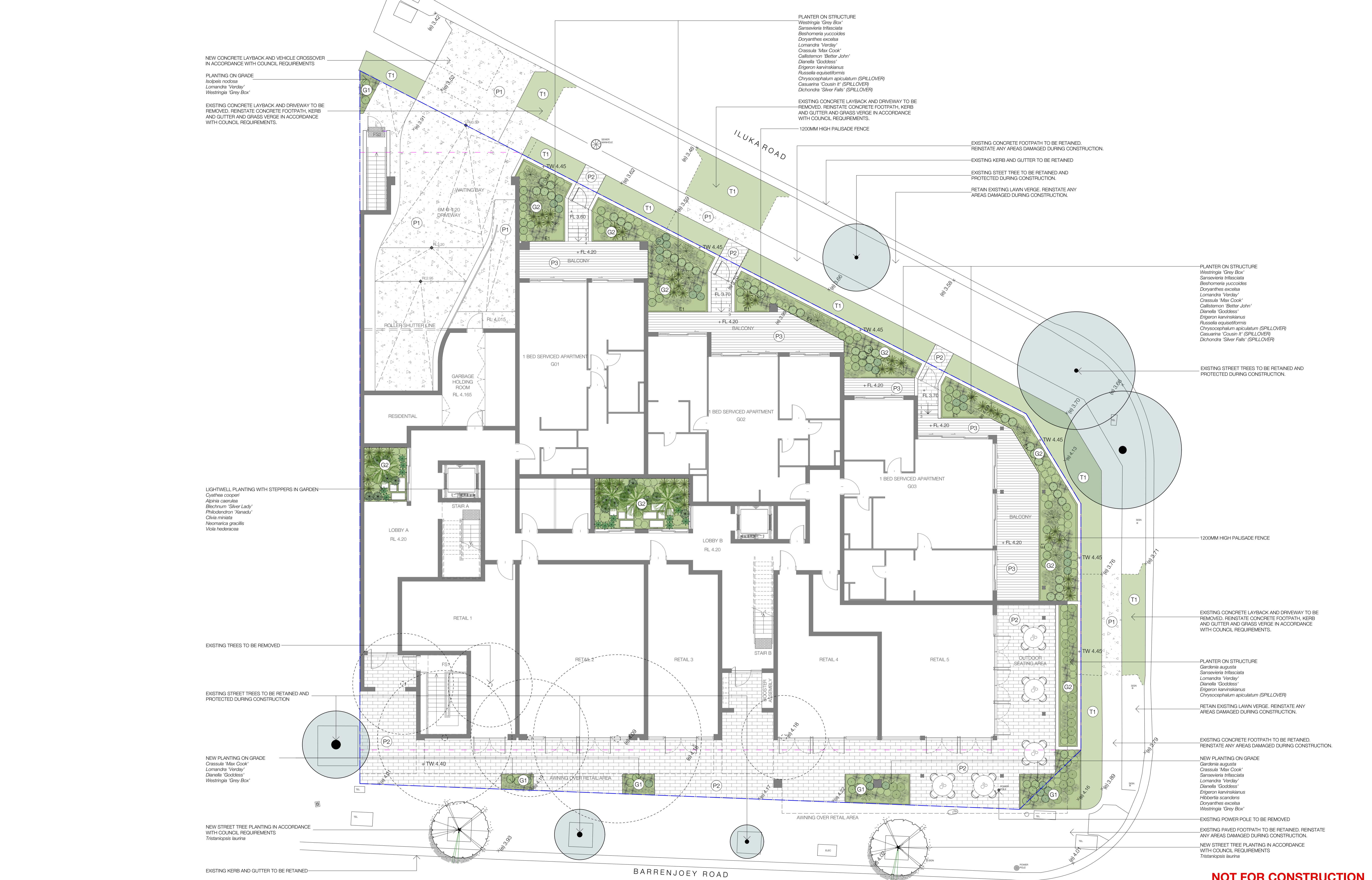
ARCHITECT:  
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P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au  
Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:  
**PROPOSED SHOPTOP HOUSING**  
1105-1107 BARRENJOEY ROAD, PALM BEACH

DECEMBER 2017  
DRAWING TITLE:  
**SECTIONS**

SCALE: 1:100@A1 / 1:200@A3	DRAWING NO: <b>DA300</b>	ISSUE: <b>A</b>
PROJECT NO: 1816		



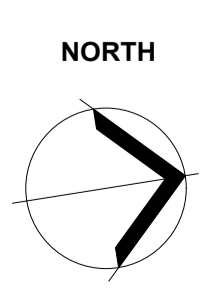


REV:	DATE:	DOCUMENT STATUS/ AMENDMENTS
01	24.11.20	For Review
02	07.12.20	For DA

REFER TO LA LP 04 FOR LEGEND, NOTES AND PLANT SCHEDULE

1:100 @ A1

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**black beetle**  
Landscape Architecture and Design

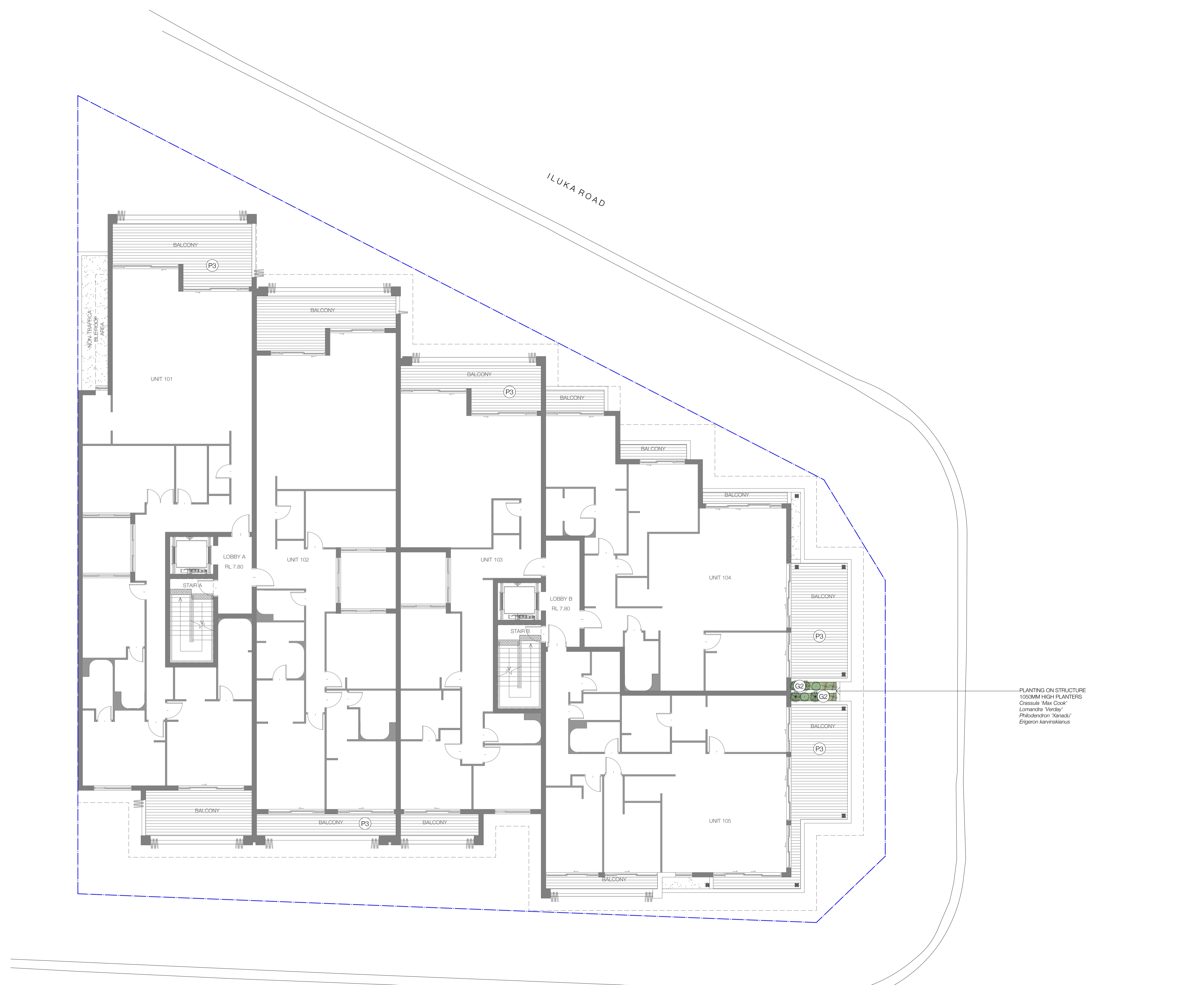
Black Beetle Pty Ltd  
Level 1, 1073 Pittwater Road, Collaroy NSW 2097  
Tel: 0422 104 416  
email: blackbeetle@blackbeetle.com.au

**PROJECT**  
Shoptop Housing Development  
1105-1107 Barrenjoey Road  
PALM BEACH, NSW

**DRAWING TITLE**  
Landscape Plan - Ground Floor

Drawn IK / GB L.Architect Authorised IK / GB	Client Macarthur Projects
Scale 1:100 @ A1	Status Development Application
JOB NUMBER BB 1277	DRAWING NUMBER / ISSUE LA LP 01/ 02

**NOT FOR CONSTRUCTION**

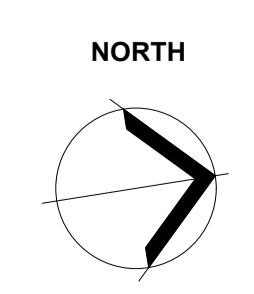


PLANTING ON STRUCTURE  
 1050MM HIGH PLANTERS  
 Grasses 'Maxi Clock'  
 Lomandra 'Verday'  
 Philodendron 'Xanadu'  
 Erigeron karvinskianus

**NOT FOR CONSTRUCTION**

REV:	DATE:	DOCUMENT STATUS/ AMENDMENTS
01	24.11.20	For Review
02	07.12.20	For DA

REFER TO LA LP 04 FOR LEGEND, NOTES AND PLANT SCHEDULE

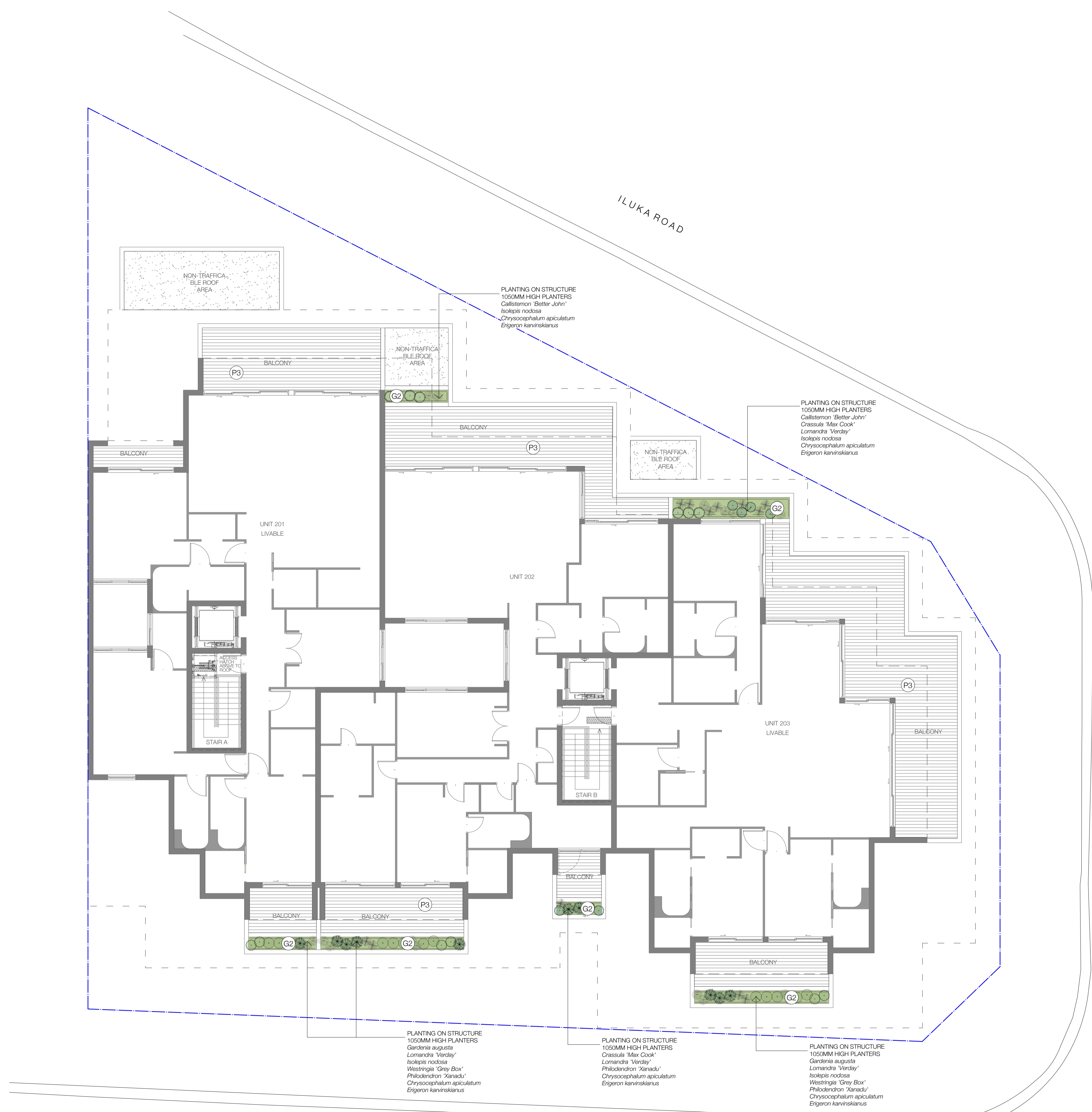


**black beetle**  
 Landscape Architecture and Design  
 Black Beetle Pty Ltd  
 Level 1, 1073 Pittwater Road, Collaroy NSW 2097  
 Tel: 0422 104 416  
 email: blackbeetle@blackbeetle.com.au

**PROJECT**  
 Shoptop Housing Development  
 1105-1107, Barrenjoey Road  
 PALM BEACH, NSW

**DRAWING TITLE**  
 Landscape Plan - Level 1

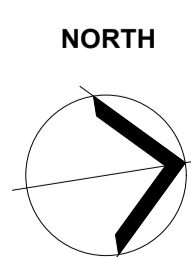
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L.Architect Authorised IK / GB	Status Development Application
Scale 1:100 @ A1	JOB NUMBER BB 1277
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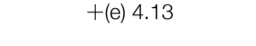
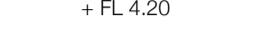
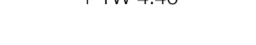
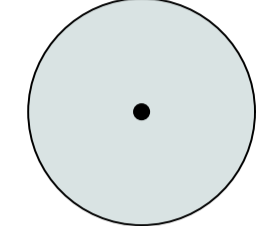
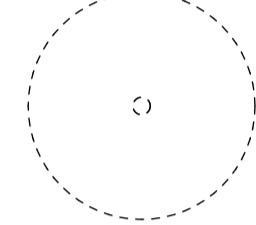

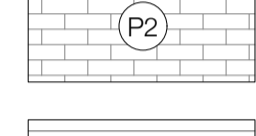


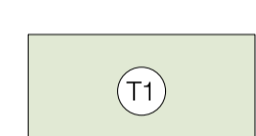
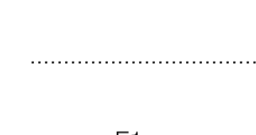

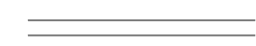

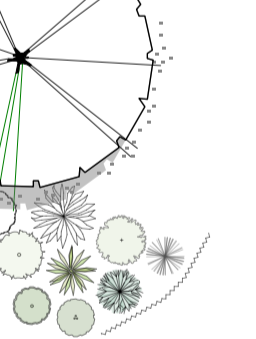
Black Beetle Pty Ltd  
Level 1, 1073 Pittwater Road, Collaroy NSW 2097  
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**PROJECT**  
Shoptop Housing Development  
1105-1107, Barrenjoey Road  
PALM BEACH, NSW

**DRAWING TITLE**  
Landscape Plan - Level 2

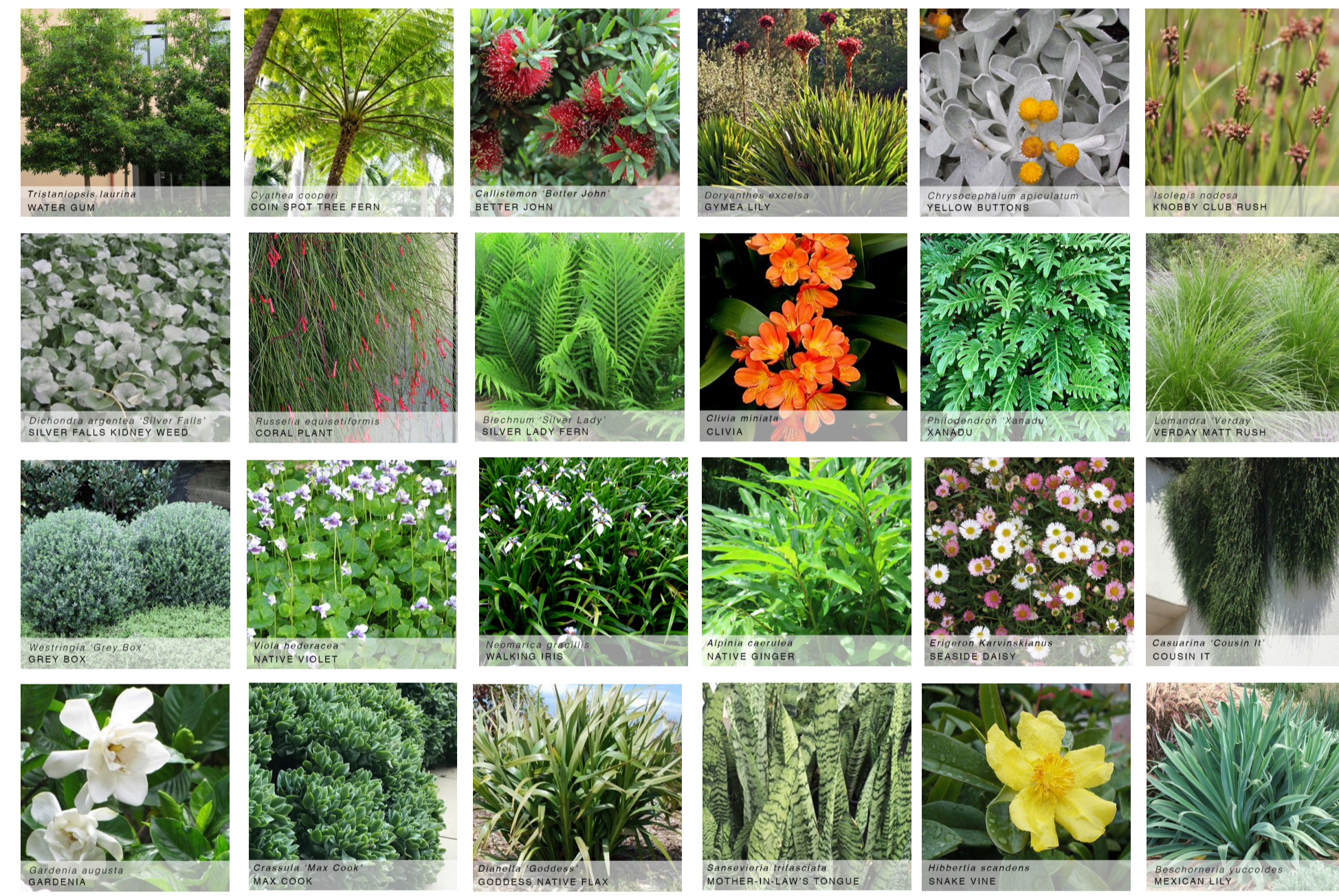
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L.Architect Authorised IK / GB	Status Development Application
Scale 1:100 @ A1	JOB NUMBER BB 1277
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**LEGEND**

	BOUNDARY
	BASEMENT LINE BELOW
	EXISTING LEVEL
	PROPOSED FINISHED LEVEL
	PROPOSED TOP OF WALL LEVEL
	EXISTING TREE TO BE RETAINED AND PROTECTED DURING CONSTRUCTION
	EXISTING TREE TO BE REMOVED
	P1 - PAVEMENT TYPE 1 - CONCRETE FOOTPATH / DRIVEWAY IN ACCORDANCE WITH COUNCIL REQUIREMENTS
	P2 - PAVEMENT TYPE 2 REFER TO ARCHITECTS DOCUMENTATION
	P3 - PAVEMENT TYPE 3 REFER TO ARCHITECTS DOCUMENTATION
	G1 - GARDEN PROFILE 1 - GARDEN ON GRADE
	G2 - GARDEN PROFILE 2 - GARDEN ON STRUCTURE
	T1 - TURF PROFILE 1 - TURF ON GRADE
	PALISADE FENCE AS NOTED
	E1 - EDGE TYPE 1 - (150MM HIGH) METAL EDGE
	RETAINING WALL. REFER TO ARCHITECTS DOCUMENTATION
	PROPOSED TREES / SHRUBS / GRASSES AND GROUNDCOVERS

**PLANT SCHEDULE**

BOTANICAL NAME	COMMON NAME	HEIGHT	POT SIZE	PLANT DENSITIES
<b>TREES</b>				
<i>Ocotea acuminata</i>	Coin Spot Tree Fern	5M	2-4M CTH	as shown
<i>Tristanopsis laurina</i>	Water Gum	12M	200L	as shown
<b>SHRUBS AND CLIMBERS</b>				
<i>Alpinia caerulea</i>	Native Ginger	2M	300MM	2/m2
<i>Beschoemia vuccoides</i>	Mexican Lily	1M	200MM	3/m2
<i>Blechnum 'Silver Lady'</i>	Silver Lady Fern	0.6M	200MM	3/m2
<i>Callistemon 'Better John'</i>	Better John	1M	300MM	3/m2
<i>Casuarina 'Cousin It'</i>	Cousin It	0.3M	200MM	3/m2
<i>Chrysocephalum apiculatum</i>	Yellow Buttons	0.3M	150MM	5/m2
<i>Clivia miniata</i>	Clivia	0.6M	200MM	4/m2
<i>Crassula 'Max Cook'</i>	Max Cook Jade Plant	1M	300MM	3/m2
<i>Dianella 'Goddess'</i>	Goddess Flax Lily	0.6M	150MM	5/m2
<i>Dichondra argentea 'Silver Falls'</i>	Silver Falls Kidney Weed	0.1M	150MM	7/m2
<i>Dorothy's excelsa</i>	Gymea Lily	1.5M	300MM	1/m2
<i>Ericaon karvinskianus</i>	Seaside Daisy	0.1M	150MM	7/m2
<i>Gardenia augusta</i>	Gardenia	1M	300MM	3/m2
<i>Hibbertia scandens</i>	Snake Vine	0.2M	150MM	5/m2
<i>Isoplexis nodosa</i>	Knobby Club Rush	0.6M	150MM	5/m2
<i>Lomandra 'Verdax'</i>	Verdax	0.6M	150MM	5/m2
<i>Neomarica gracilis</i>	Walking Iris	0.7M	150MM	5/m2
<i>Philodendron 'Xanadu'</i>	Xanadu Philodendron	0.8M	200MM	3/m2
<i>Russelia cousettiformis</i>	Coral Plant	1M	150MM	3/m2
<i>Sansevieria trifasciata</i>	Mother In Laws Tongue	1M	200MM	4/m2
<i>Viola hederacea</i>	Native Violet	0.1M	150MM	7/m2
<i>Westringia 'Grey Box'</i>	Grey Box Coastal Rosemary	0.5M	300MM	3/m2



**GENERAL NOTES**

- DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. NOTE ALL LANDSCAPE HARDWORKS INCLUDING PAVING, STEPS, RETAINING WALLS AND FENCES TO ARCHITECTS DOCUMENTATION AND DETAILS
- ALL PLANTING AREAS TO BE MULCHED, TYPICALLY 50MM DEPTH. ORGANIC MULCH TO CONFORM TO AS 4454-2012 COMPOST, SOIL CONDITIONERS AND MULCHES.
- SOILS TO CONFORM TO AS 4419-2018 SOILS FOR LANDSCAPING AND GARDENS USE. SOIL DEPTHS  
- ON GRADE 300MM  
- ON STRUCTURE 400MM - 1000MM
- ALL PLANTING AREAS TO HAVE DRIP IRRIGATION SYSTEM WITH BACK UP PROTECTION TO THE MAIN SUPPLY, TO ALL CURRENT SYDNEY WATERS REQUIREMENTS, RELEVANT AUSTRALIAN STANDARDS AND BASIX REQUIREMENTS.
- MAINTAIN ALL WORKS DURING THE CONTRACT PERIOD FOR 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION INCLUDING, BUT NOT LIMITED TO WATERING, WEEDING, RUBBISH REMOVAL, REPLACEMENT PLANTING, DISEASE AND PEST CONTROL, PRUNING, SOIL AND MULCH CONTROL REINSTATEMENT.
- GREEN WASTE REMOVAL - ALL GREEN WASTE GENERATED BY THE MAINTENANCE WORK SHALL BE CONTAINED WITHIN THE IMMEDIATE WORK AREA, AND SHALL NOT LEAK INTO ADJACENT AREAS, OR OUTSIDE THE SITE. ALL DEBRIS SHALL BE CONTAINED AND REMOVED FROM SITE TO AN APPROVED CERTIFIED TIPPING AND LEGAL RECYCLING DEPOT LOCATION USING SUITABLE CLOSED WASTE CONTAINERS AND VEHICLES.

**NOT FOR CONSTRUCTION**

REV:	DATE:	DOCUMENT STATUS/ AMENDMENTS
01	24.11.20	For Review
02	07.12.20	For DA

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<b>PROJECT</b> Shoptop Housing Development 1105-1107 Barrenjoey Road PALM BEACH, NSW	Drawn IK / GB L.Architect Authorised IK / GB	Client Macarthur Projects
	Scale 1:100 @ A1	Status Development Application
<b>DRAWING TITLE</b> Legend, Notes and Plant Schedule	DO NOT SCALE OFF THIS DRAWING - USE FIGURED DIMENSIONS ONLY - VERIFY ALL DIMENSIONS ON SITE - RESOLVE DISCREPANCIES WITH BLACK BEETLE BEFORE PROCEEDING. COPYRIGHT OF THIS DRAWING AND THE DESIGNER EXCLUDED REMAIN VESTED IN BLACK BEETLE	
JOB NUMBER BB 1277	DRAWING NUMBER / ISSUE LA LP 04/ 02	



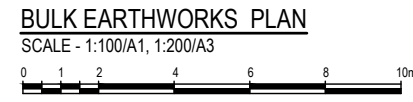
BARRENJOEY ROAD

ILUKA ROAD

**GENERAL EXCAVATION  
LEVEL EL 0.150**  
(BASED ON ASSUMED 350mm BELOW  
FINISHED FLOOR LEVEL - TO BE CONFIRMED)

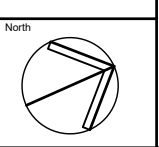
NOTE: BULK EXCAVATION LEVELS TO BE  
CONFIRMED AT CC STAGE DOCUMENTATION

ESTIMATED EXCAVATION VOLUME = 7350m<sup>3</sup>  
(BASED ON BULKING FACTOR OF 1.5)



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Issue	Description	Date	Drawn	Approved
A	ISSUED FOR DEVELOPMENT APPROVAL	04.02.21	SJ	BK



Client  
**MACARTHUR  
PROJECTS**

Architect  
**PBD  
ARCHITECTS**



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Project  
**PROPOSED MIXED USE  
DEVELOPMENT**  
No. 1105 - 1107  
BARRENJOEY ROAD  
PALM BEACH

Drawing Title <b>BULK EARTHWORKS PLAN</b>					
Drawn	Date	Scale	A1	Q.A. Check	Date
SJ	FEB 21	AS NOTED			
Designed	Project No.	Dwg. No.	Issue		
BK	CC180217	B1	A		