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**From:** George Youhanna  
**Sent:** 20/06/2025 12:53:12 PM  
**To:** Council Northernbeaches Mailbox  
**Subject:** TRIMMED: Submission to DA2025/0587 - 66 Carrington Parade, Curl Curl  
**Attachments:** Submission 66 Carrington Road, Curl Curl 20 June 2025.pdf;

Dear NBC

Please see attached submission on behalf of the owners of 68 Carrington Parade, Curl Curl.

Kind regards,  
George

**George Youhanna**  
Principal  
*BTP, Grad Cert Urb Des, Grad Dip Law, MPIA*



M [REDACTED]  
E [REDACTED]  
W [www.blueskyurban.com.au](http://www.blueskyurban.com.au)



20 June 2025

Chief Executive Officer  
Northern Beaches Council  
PO Box 82  
Manly NSW 1655

Attn: Claire Ryan

**RE: OBJECTION TO DA2025/0587 – 66 CARRINGTON PARADE, CURL CURL  
ALTERATIONS & ADDITIONS TO A DWELLING HOUSE INCLUDING A ROOF  
TERRACE AND SPA**

Dear Ms Ryan

This submission is made on behalf of the owners of 68 Carrington Parade, Curl Curl, Richard and Wahida Bridgen, being the adjoining property to the north of the site. This submission identifies significant view loss impacts from the proposed alterations and additions, as well as privacy and amenity impacts from the roof terrace and spa.

As set out in this submission, view loss impacts can be largely avoided with only minor amendments to the proposed development.

**1. BACKGROUND**

The existing dwelling at 68 Carrington Parade is a single storey dwelling with a basement level garage. The dwelling is a modest two bedroom cottage with a pitched roof and enjoys direct South Curl Curl beach views from the eastern and southern windows.

The site has the benefit of DA2023/1575 for the construction of a two storey dwelling house with a basement parking level. However, a review of the history of DA2023/1575 reveals that the development that was ultimately approved was significantly modified at Council's request in order to retain a view from a single small window on the southern façade of 69 Carrington Parade.

A condition of consent applied to DA2023/1575 requires that the overall height of the building is to be reduced by a further 0.7m, with an adverse impact on the amenity of the approved dwelling due to floor to ceiling heights being reduced to less than 2.7m, despite the dwelling being well below the 8.5m height limit. The extent and impact of the modifications required by Council are such that the owners have no intention of constructing the approved dwelling.

As evidenced by the assessment of DA2023/1575, Council has previously ensured that development in the immediate area is sensitively designed in order to maintain the sharing of views, particularly water and beach views.

## **2. VIEW IMPACT**

Existing views available from 68 Carrington Parade include South Curl Curl beach and Surf Club, the South Curl Curl ocean pool, Manly headland and coastal views as shown in the following photographs:



**Figure 1 - View from bedroom 2**

The proposed development includes a 600mm high masonry planter box (at RL12.87) that extends from the northern side boundary on a nil setback, across the front of the existing terrace. The effect of the planter box, even if limited to very low planting would

be to have a devastating impact on the views available from both the master bedroom and the bedroom 2 window.

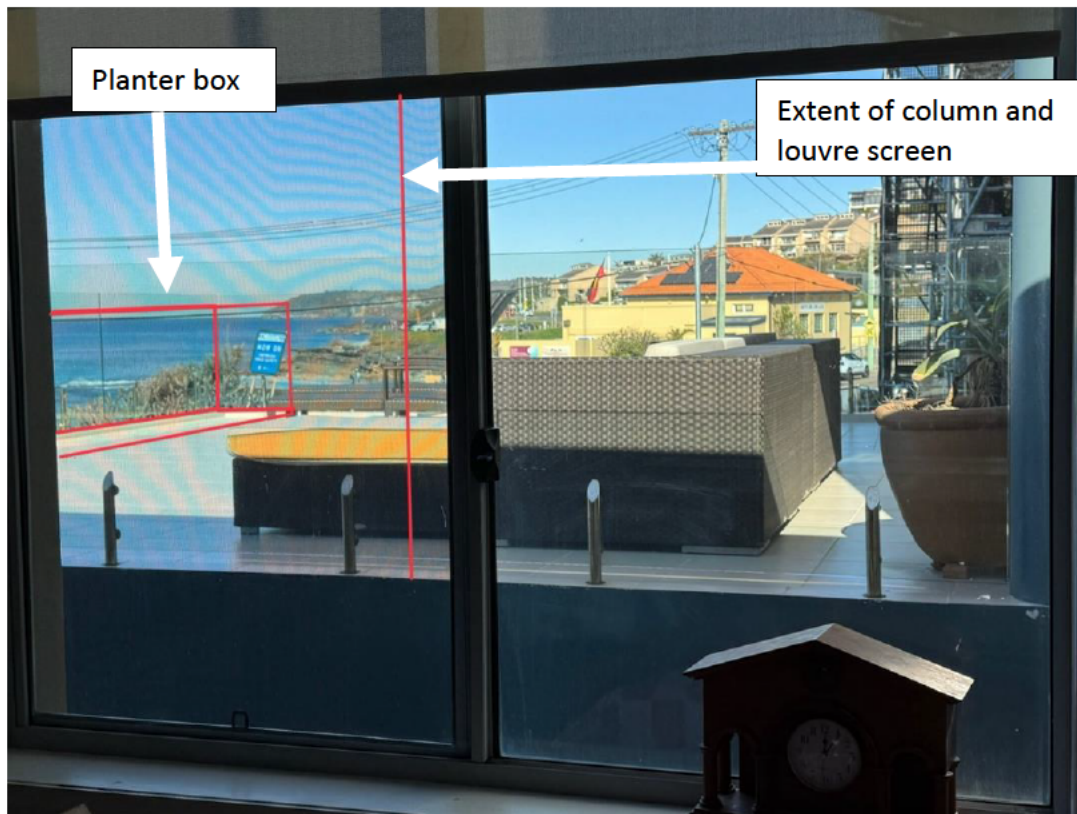
It is also proposed to install a louvre screen and masonry column to the northern side of the terrace opposite the bedroom 2 window, which would completely obscure views from this window towards the iconic South Curl Curl Surf Club in the foreground and the Manly headland in the background.



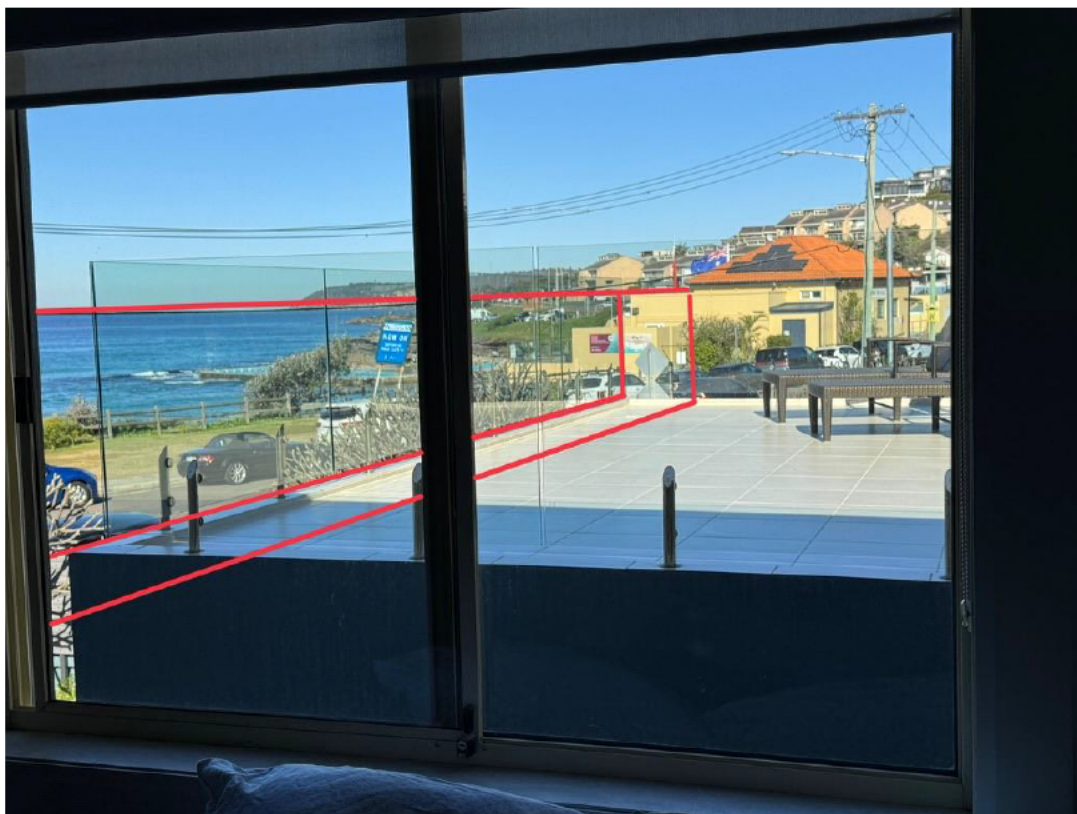
**Figure 2 - Extract from 3D rendering in plan DA19**

The effect of the column and louvre screen, together with the masonry planter box replacing a frameless glass balustrade is identified in the following marked up photograph:





**Figure 3 – Bedroom 2 mark-up depicting the view loss from the planter box and column/louvre screen**



**Figure 4 – Master bedroom view mark-up depicting the view loss from the planter box**

The proposed development would clearly have a devastating impact on the views available from the master bedroom and bedroom 2 windows. The view loss is appropriately defined as “devastating”. The impact on the master bedroom view results in completely obscuring the beach, surf, ocean pool and land/water interface views. In relation to bedroom 2, the proposal would retain only a sliver of view, which would be highly susceptible to also being obscured, which would result in the complete loss of highly valued beach and land/water interface views.

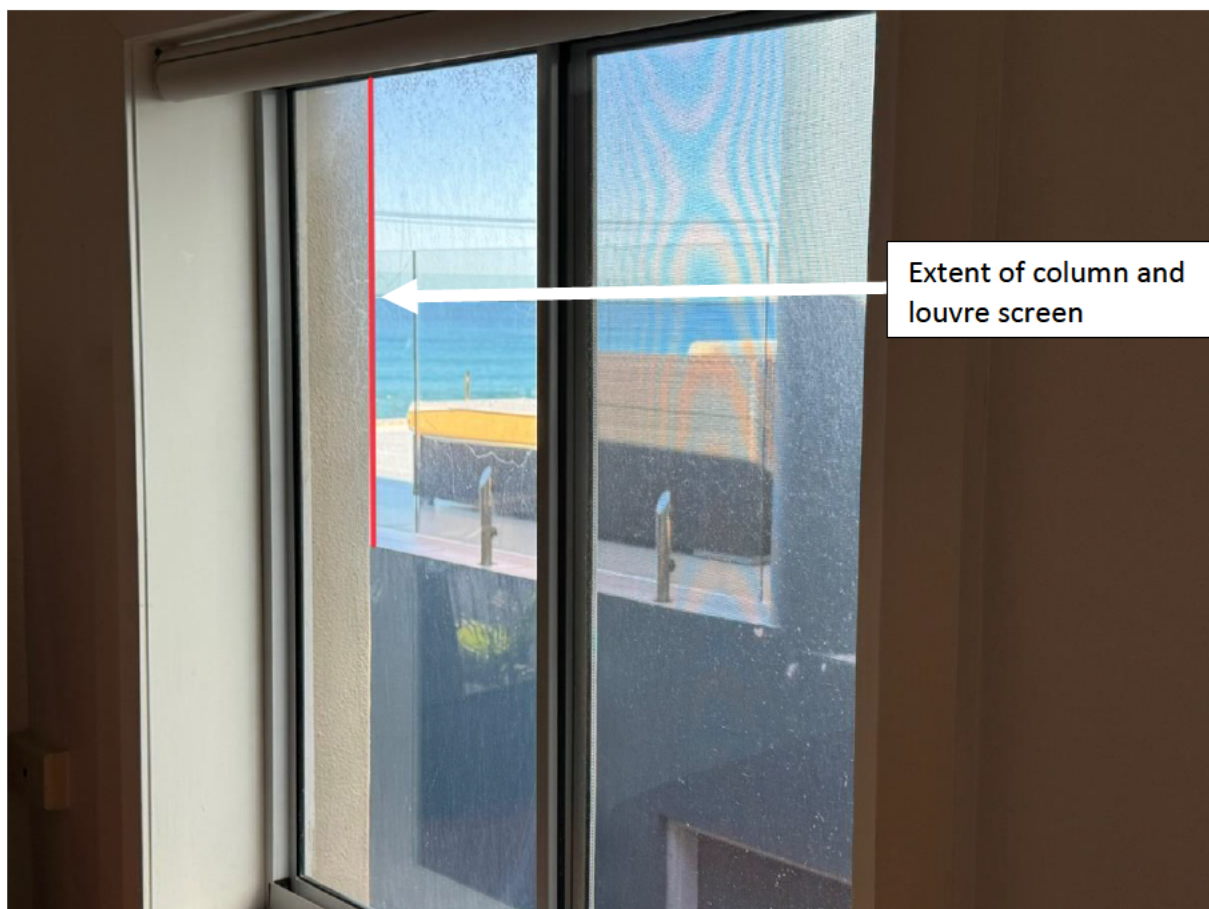
However, a more skilful and sensitive design can readily be achieved by simply replacing the masonry planter box with a glass balustrade (as currently exists), and by deleting the proposed column and louvres, forward of the existing circular column, utilising a cantilevered balcony design for the northern end of the first floor balcony. This approach is entirely consistent with the view loss planning principle in *Tenacity*, in terms of achieving reasonable view sharing through the use of a more skilful design.

Given that the proposed development obtains direct and unobstructed views from the ground floor, first floor and roof terrace, it is entirely reasonable to retain prized beach and ocean pool views, land/water interface views and iconic surf club views from the dwelling at 68 Carrington Parade where this can be achieved with only minor design revisions.



**Figure 5 – Master bedroom view mark-up depicting the view loss from the planter box**

The proposed column and louvre screen would also result in the complete loss of water and beach views from the living room at the rear of the dwelling at 68 Carrington Parade. The existing views are shown in the photo below, and the red line mark-up indicates that the entire view would be blocked by the column and louvre screen:

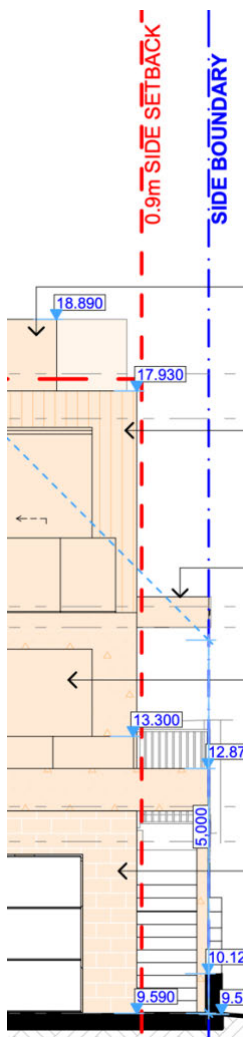


**Figure 6 – Rear living room mark-up depicting the view loss from the column/louvre screen**

The view from this living room is highly valued and the complete loss of the water and beach view is objectively described as devastating. As discussed in relation to the loss of the view from the master bedroom and bedroom 2, a more skilful design would retain this highly valuable view with only minor design revisions. In fact, the design revisions identified in relation to the master bedroom and bedroom 2 would also ensure that the living room view is retained. This approach is also entirely consistent with the view loss planning principle in *Tenacity*, in terms of achieving reasonable view sharing through the use of a more skilful design.

It is also brought to Council's attention that the proposal includes a suspended planter box, columns, a beam, an elevated slab and a 13.0m long section of roof, all located on a nil setback to the northern side boundary, contrary to the 900mm minimum side setback control, as apparent on the plans, elevations and 3D rendering.





**Figure 7 – Extract from East Elevation, plan DA12, depicting structures on a nil side setback**

### 3. ROOF TERRACE

The proposal includes a large roof terrace which is in part above the 8.5m height limit, and also in breach of the building envelope control. The roof terrace would have an adverse privacy impact on the rear yard of 68 Carrington Parade, in terms of both aural and visual privacy.

Roof terraces are uncharacteristic in the area and would likely result in aural and visual privacy impacts to surrounding dwellings, in addition to potential noise nuisance from users of the terrace and spa, due to the close proximity of other dwellings and private open spaces. Filtration and heating equipment and operating noises associated with spas (air intake, pumps, etc) should also be considered by Council, as the plans currently do not indicate where such equipment will be located. Heat pumps, filtration and other equipment has the potential to cause a significant noise nuisance to adjoining dwellings.

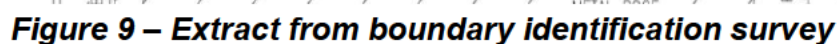
The roof terrace would also overlook the adjoining dwellings in the residential flat building to the south.



***Figure 8 – Relationship of roof level to rear yard of No.68 Carrington Parade***

The proposed roof terrace is unnecessary in terms of private open space, and is not located directly off a living area within the dwelling. It is recommended that the roof terrace is deleted from the proposal in its entirety. Should Council be minded to approve the roof terrace despite the identified issues, it should be significantly reduced in size, with greater side setbacks, no breaches of the height limit or building envelope control and well considered privacy screening to retain privacy to the rear yard of 68 Carrington Parade. Spa equipment should be appropriately located to avoid any noise nuisance or visual impact to neighbouring dwellings.

In the context of proposed development on a nil northern side boundary setback, it is brought to Council's attention that paving and stairs in the northern side setback area are in part encroaching beyond the northern side boundary, as depicted in this extract from a boundary identification survey:



## 5. CONCLUSION

Yours sincerely,

George Youhanna  
Principal

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