



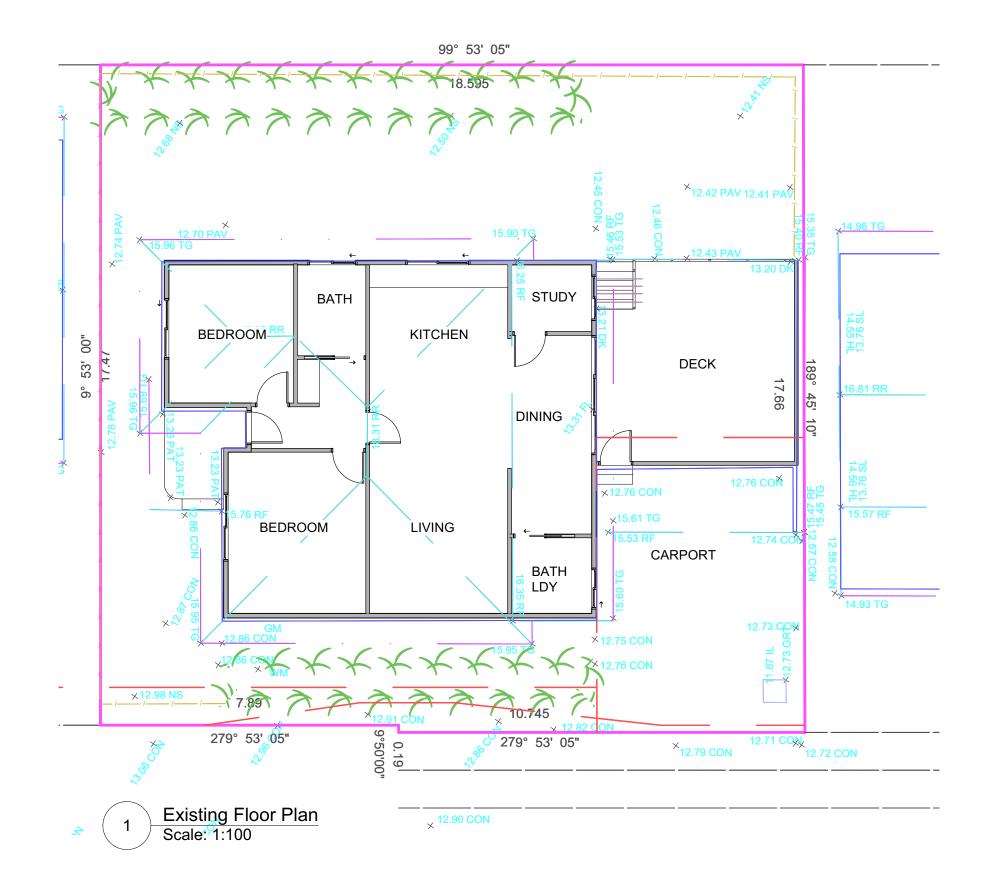
Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

ABN: 26 075 061 335 Copyright © JACARANDA TRADING COMPANY PTY LTD REVISION: DATE: REVISION NOTE:

A 3/08/21 Deck lowered to RL.12.80 with new stair access



CLIENT:	DRAWING:	DRAWING:		
Avril Kelly	Site Plan		RJ	A01
	PROJECT:		CHKD:	SCALE @ A3:
ADDRESS:	ALTERATION	s and additions		1:200
137 Fisher Road North Cromer	PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION:
137 FISHEL ROUGHNOHN CHOME!	FIS810	7	21/07/21	Α





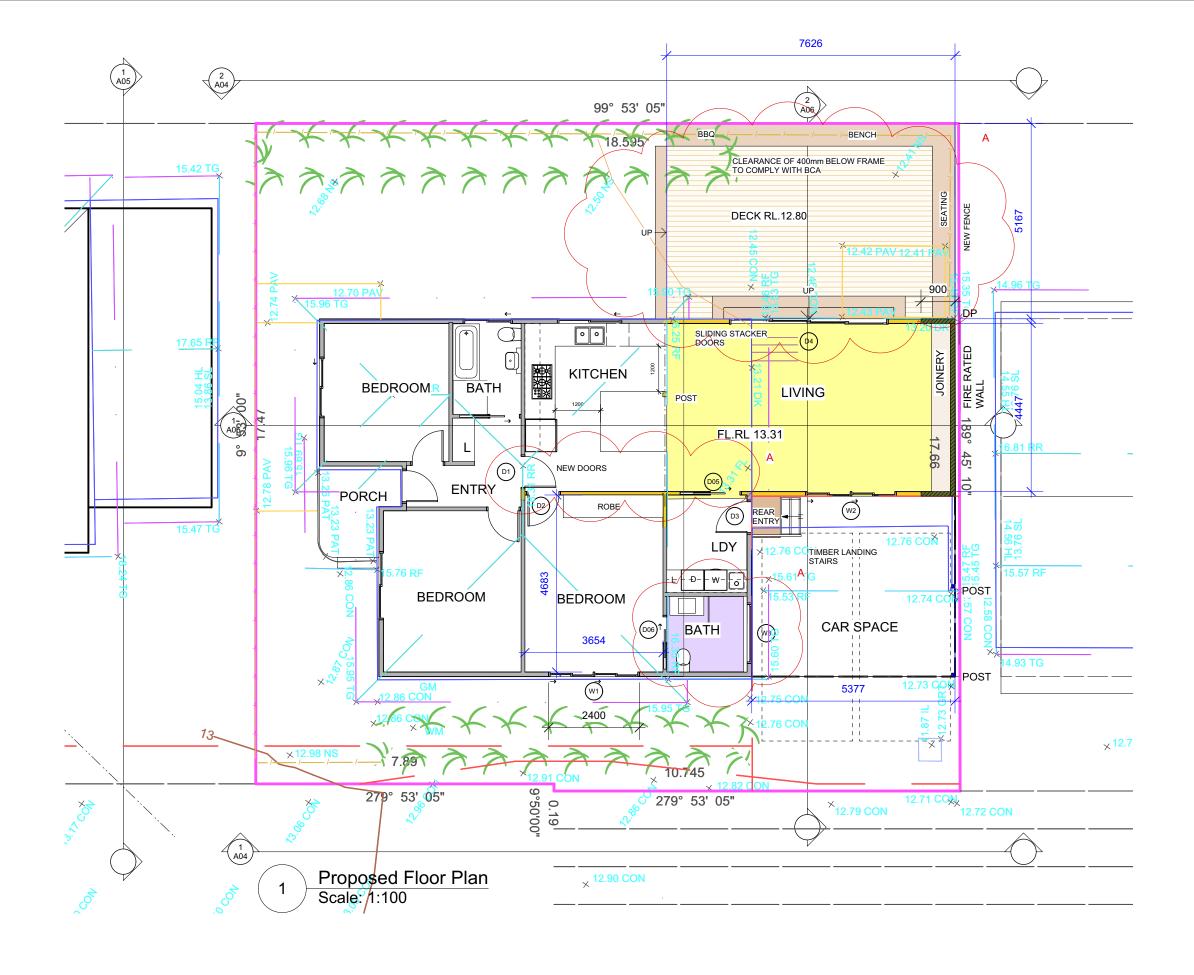
Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

ABN: 26 075 061 335
Copyright © JACARANDA TRADING COMPANY PTY LTD

REVISION: DATE: REVISION NOTE:



LIENT:	DRAWING:	DRAWN:	SHEET NO:
Avril Kelly	Existing Floor Plan PROJECT: ALTERATIONS AND ADDITIONS	RJ	A02
	PROJECT:	CHKD:	SCALE @ A3:
DDRESS:	ALTERATIONS AND ADDITIONS	RJ	1:100
37 Fisher Road North Cromer	PROJECT NO: ISSUE TYPE:	ISSUE DATE:	REVISION:
37 Tisher Road North Crother	FIS810 1	21/07/21	1





Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

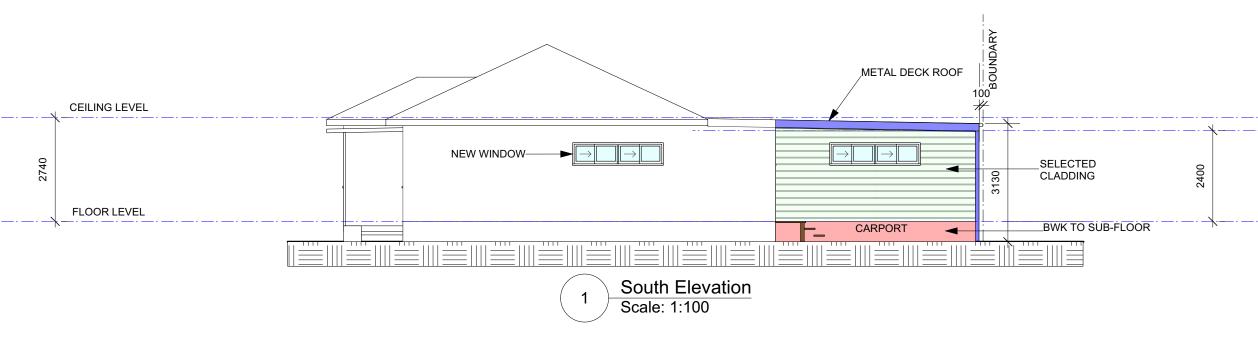
ABN: 26 075 061 335

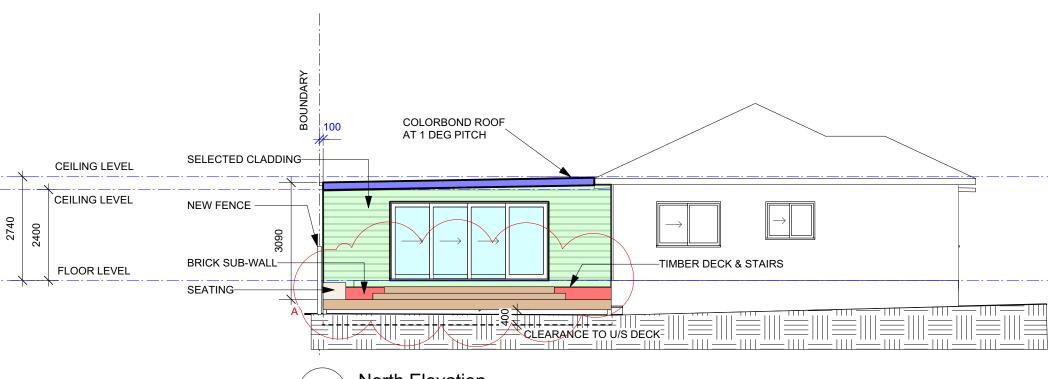
REVISION: DATE: REVISION NOTE:

A 3/08/21 Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom



CLIENT:	DRAWING:	DRAWN:	SHEET NO:
Avril Kelly	DRAWING: Proposed Floor Plan PROJECT: ALTERATIONS AND ADDITIONS PROJECT NO: ISSUE TYPE: FIS810 2	RJ	A03
	PROJECT:	CHKD:	SCALE @ A3:
NDDRESS:	alterations and additions	RJ	1:100
137 Fisher Road North Cromer	PROJECT NO: ISSUE TYPE:	ISSUE DATE:	REVISION:
13/ Hallet Rodd Hollif Clottlet	FIS810 2	21/07/21	А





North Elevation
Scale: 1:100



Inlet Design Studio

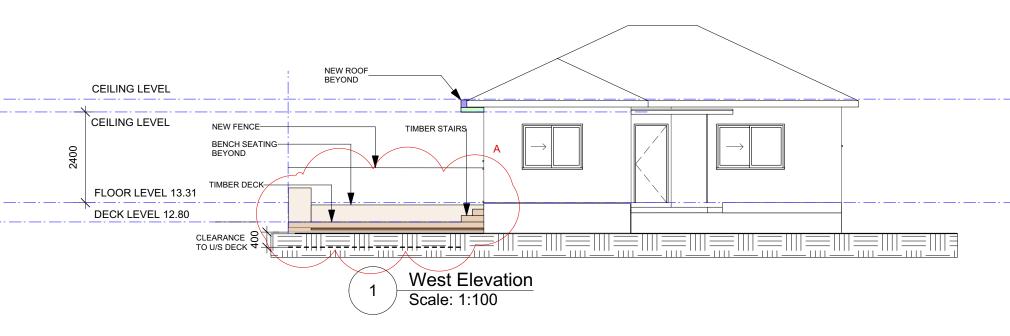
Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

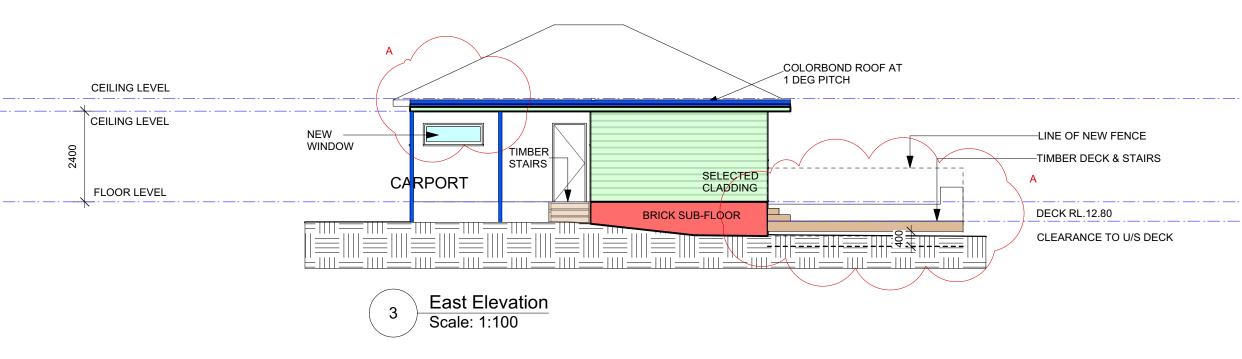
ABN: 26 075 061 335 Copyright © JACARANDA TRADING COMPANY PTY LTD REVISION: DATE: REVISION NOTE: A 3/08/21 Deck

3/08/21 Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom



CLIENT: Avril Kelly	DRAWING: South and Nort	h Elevations	DRAWN:	SHEET NO: A04
ADDRESS:	PROJECT: ALTERATIONS A	nd additions	CHKD:	SCALE @ A3: 1:100
137 Fisher Road North Cromer	PROJECT NO: FIS810	ISSUE TYPE:	ISSUE DATE: 21/07/21	revision:







Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

ABN: 26 075 061 335

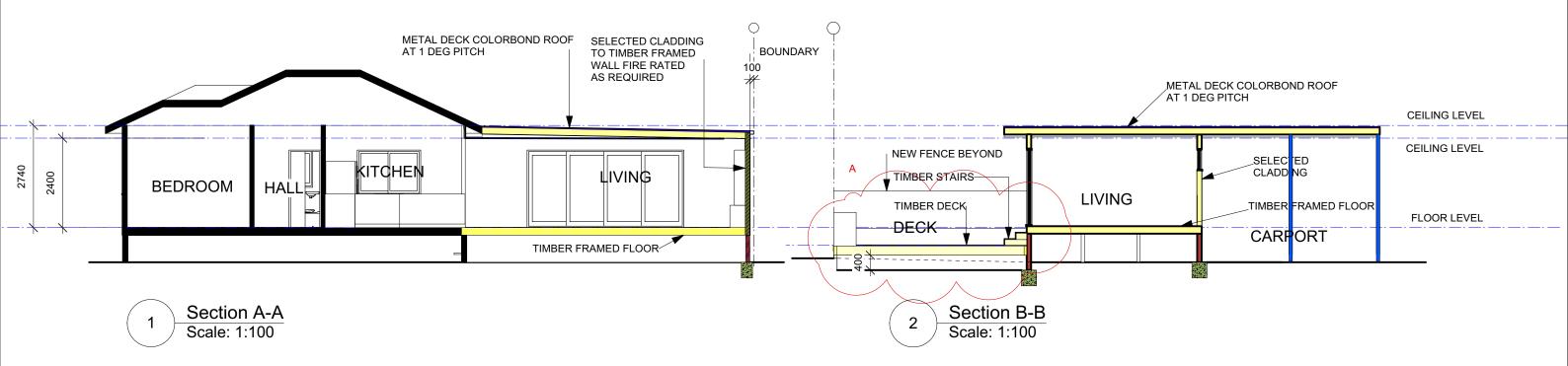
REVISION: DATE: REVISION NOTE:

A 3/08/21 Deck low

3/08/21 Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom



	DRAWING: East and West Ele		drawn: RJ	SHEET NO:
ADDRESS:	PROJECT: ALTERATIONS AND		CHKD:	SCALE @ A3: 1:100
137 Fisher Road North Cromer	PROJECT NO: FIS810	ISSUE TYPE:	ISSUE DATE: 21/07/21	revision:





Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

ABN: 26 075 061 335 Copyright © JACARANDA TRADING COMPANY PTY LTD revision: date

E: REVISION NOTE:

3/08/21 Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom



	Section A-A and E		drawn: RJ	SHEET NO:
ADDRESS:	PROJECT: ALTERATIONS AND		CHKD: RJ	SCALE @ A3: 1:100
137 Fisher Road North Cromer	PROJECT NO: FIS810	ISSUE TYPE: 5	ISSUE DATE: 21/07/21	revision:

WINDOWS												
Image	ID		Frame Height			Hardware	Manufacturer	Model	Screen	Egress	Glazing	Comments
\rightarrow \rightarrow	W1	SR	600	2400	0.79							
*	W2	SR	600	2400	0.79	A						
	W3	FS	600 [°]	1600	0.57							
DOORS	\wedge		\wedge	\wedge								
Image	ID	Туре	Frame Height	Frame Width	Leaf Height	Leaf Width	Thickness	Glazed Area	Hardware	Screen	Glazing	Comments
	D1	HL	2080	900				0				
	D2	HL	2080	900				0				
	D3	HL	2080	900				0				
→	D4	LP	2080	4200				6.44				
→	D05	CS	2080	862				0				
→	D06	CS	2080	762				0				
COMBINATION	I UNI	ITS										
Image	ID	Type	Frame Height	Frame Width	Glazed Area	Hardware	Manufacturer	Model	Screen	Egress	Glazing	Comments



Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

ABN: 26 075 061 335 Copyright © Jacaranda trading company Pty Ltd REVISION: DATE: REVISION NOTE:

A 3/08/21 W3 size change



	DRAWING: Window and Doo		drawn: RJ	SHEET NO:
	PROJECT: ALTERATIONS AND		CHKD: RJ	SCALE @ A3:
37 Fisher Road North Cromer	PROJECT NO: FIS810	ISSUE TYPE:	ISSUE DATE: 21/07/21	revision:



Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A426475

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 00/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 03, August 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



		Α	page 1 / 6	BASIX Certificate number: A426475
t	Project address			Glazing requirements
O.	Project name	Alts & Adds 137 Fisher Rd North		
	Street address	137 Fisher Road North Road Dee Why 2099		Windows and glazed door
rojec	Local Government Area	Northern Beaches Council		The applicant must install the
Q	Plan type and number	Deposited Plan 788171		Relevant overshadowing spec
U	Lot number	1 /		The following requirements mu
of	Section number			Each window or glazed door w have a U-value and a Solar He
	Project type			must be calculated in accordar
ption	Dwelling type	Separate dwelling house		Each window or glazed door w have a U-value and a Solar He must be calculated in accordan
ripi	Type of alteration and addition	My renovation work is valued at \$50,000 or rand does not include a pool (and/or spa).	nore,	only. Alternative systems with For projections described in m above the head of the window
Ö				Pergolas with polycarbonate ro
es				Pergolas with fixed battens mu shades a perpendicular window
				Windows and glazed do
				Window / door Orientation A

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Jacaranda Trading International Pty Ltd	
ABN (if applicable): 26075061335	

					apeca	
Windows and glazed doors						
The applicant must install the windows, glazed Relevant overshadowing specifications must be			he specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied	ed in relation to	each window and glazed door:			~	✓
Each window or glazed door with standard alun have a U-value and a Solar Heat Gain Coefficie must be calculated in accordance with National	nt (SHGC) no	greater than that listed in the table	below. Total system U-values and SHGCs		~	~
Each window or glazed door with improved fran have a U-value and a Solar Heat Gain Coefficie must be calculated in accordance with National only. Alternative systems with complying U-value	nt (SHGC) no Fenestration F	greater than that listed in the table Rating Council (NFRC) conditions.	below. Total system U-values and SHGCs		~	✓
For projections described in millimetres, the lea above the head of the window or glazed door at			ony or awning must be no more than 500 mm	✓	~	✓
Pergolas with polycarbonate roof or similar tran-	slucent materia	al must have a shading coefficient	of less than 0.35.		✓	~
Pergolas with fixed battens must have battens pshades a perpendicular window. The spacing be			h they are situated, unless the pergola also		~	~
Windows and glazed doors glazing re	quirement	s				
Window / door Orientation Area of oldershad glass inc. frame (m2)	dowing Sistance (m)	Shading device	Frame and glass type			
W1 S 1.08 0		eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W2 S 1.08 0		eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3 E 0.53 0		eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Planning, Industry & Environment

Glazing requ	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)		dowing Distance (m)	Shading device	Frame and glass type			
D4	N	6.44	0	0		standard aluminium, single pyrolytic low-e,			

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Planning, Industry & Environment

BASIX Certificate number: A426475

Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

external wall: framed (weatherboard, fibro, metal clad) ceiling: R2.24 (up), roof: foil backed blanket (55 mm) medium (solar absorptance 0.475 - 0.70) Planning, Industry & Environment

page 2 / 6 BASIX Certificate number: A426475

BASIX Certificate number: A426475

In these commitments, "applicant" means the person carrying out the development. Commitments identified with a "v" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "v" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a "\sigma" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Building Sustainability Index www.basix.nsw.gov.au Planning, Industry & Environment

page 6 / 6

Planning, Industry & Environment

Inlet Design Studio

Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au

ABN: 26 075 061 335 Copyright © JACARANDA TRADING COMPANY PTY LTD

3/08/21 Basix amended to show correct address



CLIENT:	DRAWING:		DRAWN:	SHEET NO:	
Avril Kelly	Basix Requirements		RJ	A08	
	PROJECT:	ECT:		SCALE @ A3:	
ADDRESS:	ALTERATIONS AND ADDITIONS		RJ	NTS	
137 Fisher Road North Cromer	PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION:	
	FIS810	6	21/07/21	Α	

1. PRELIMINARIES

These specifications shall be read with consideration for established ESD (Environmentally Sustainable Design) principles. Reduction of raw materials, use of reclaimed materials, and particular attention to product standards and specifications are paramount.

These specifications shall be adopted in addition to the standard acceptable codes and methods of constructi as applicable under the current Building Code of Australia (BCA) and as prescribed in all relevant Australian Standards. Where a more current Standard or Standards have superseded, or have been introduced in addition to, the specific Standards mentioned in this Specification, the Contractor shall refer to the most current Australian Standard(s) applicable.

1.1 Additional Work / Costs to be included

Certification of works in accordance with as required by all regulatory bodies;

NOTE: All statutory fees, bonds, etc, including Sydney Water, Local Government and the like, including all fees stated required for the CC, to be paid by the Owner. Owner Builder to manage co-ordination and notification of all

- Street traffic control and street protection measures as necessary and as required by the Council and other relevant authorities:
- Disconnection and protection of all services as required
- Provision of temporary builder's services as required during construction;
- Surveys by a qualified land surveyor as required and as necessary to facilitate and complete the works; Siltation barriers and stormwater/erosion management in accordance with the Sediment & Erosion Control Plan provided
- Co-ordination & facilitation of all nominated sub-contractors at the Owner's request

1.2 Dimensions of plans

Figured dimensions shall be taken in preference to those scaled off the plans. The Contractor shall verify all dimensions on site through survey of boundaries prior to commencement of ordering or construction of works and notify the Principal Designer of any discrepancy

1.3 Contractor / Owner Builder responsibilities

- The Contractor shall:
- 1.3.1 Comply with all relevant building codes and regulations
- 1.3.2 Comply with Council regulations as per the approved DA or CDC
- 1.3.3 Inform the Owner or Designer of any discrepancies within the plans or Conditions of Consent.
- 1.3.4 Carry out the work in accordance with the contract drawings and Specifications.
- 1.3.5 Shall ensure that work done by others, is maintained in "as new" condition until completion of the works.
- 1.3.6 Where "approved", "as approved" or "as selected" is mentioned, seek approval from the Owner or their nominated representative (defined in Contract) before materials are ordered or work begins
- 1.3.7 Provide all the required Warranties and Insurances as required under the Home Building Act 1989, including the Builders All Risk Insurance for Owner supplied items once delivered to site.
- 1.3.8 Generally make good all retained building components, surfaces, etc, affected by the works and prepare all surfaces as required for final finishes.
- 1.3.9 Coordinate site inspections with nominated PCA.

2 SITE PREPARATION AND EXCAVATION

- 2.1 Site preparation
- area of works only.
- 2.1.2 Provide a secure site in accordance with the Authorities' requirements.
- 1.1.1 Install and maintain silt and sedimentation management measures as required by the Conditions of Consent.

- 2.2.1 All work to conform with AS2601-2001, including the proper methods of disposal of asbestos or other hazardous material to comply with Work Cover regulations and be disposed of in a legal manner
- 2.2.2 Prepare a Hazardous substances management plan to AS 2601 clause 1.6. prior to demolition where required. 9.0.2 New flat roof material to be Lysaght KlipLok (or similar) suitable for 1° fall
- 2.2.3 Demolished materials shall be re-used or recycled off-site where practicable and at no time shall be disposed of without scrutiny
- 2.2.4 Demolition and waste recycling shall follow the guidelines outlined in the best practice' standards published by the Waste Wise Construction Program.

2.3 Excavation / Fill

- 2.3.1 Excavation for slabs, footings and services shall be limited to minimise natural ground disturbance over the
- 2.3.2 All fill to AS 3798 clause 4.4 including inorganic, non-perishable material suitably graded and capable of compaction to the documented density. (where noted in the engineering specification)

3. CONCRETING

- 3.0.1 All work in accordance with the Australian Standards AS3600 (Concrete Structure), AS1379 (Ready Mixed Concrete), AS 2870 (Residential slabs and Footings) and any other relevant Standard. All reinforcement shall be specified and certified by the consulting Engineer.
- 3.0.2 All concrete used in-situ for slabs and footings, including Council crossovers, laybacks and kerbs, shall be "Green 3 Star" concrete as supplied by Boral.
- 3.0.4 Any excess material spillage or splashing shall be cleaned and appropriately removed by the contractor whilst 11.0.1 All building debris and dead vegetation shall be removed from site at the Contractor's cost and all trenches back-filled in uncured, and any subsequent damage to material shall be the responsibility of the Contractor.
- 3.0.5 New RC slabs to be finished as required to achieve the finishes and levels shown in the drawings, including matching existing finished levels where necessary.

4.TERMITE PROTECTION

- (concrete structures) and AS3660 (termite management) to create a termite barrier.
- 4.1.2 In addition to the slab as termite barrier, provide the following non-chemical termite protection in accordance with AS3660 on (termite management), by appropriately trained and licensed installers:
- 4.1.3 Install the termite barrier systems in various parts of the buildings as required to achieve a complete termite barrier, generally in perimeter walls, around slab penetrations, along construction/control joints and at building step-downs/retaining walls, all in accordance 12.4 Ensure all exposed steel is hot-dipped then galvanized and painted. It is recommended that all galvanized beams and with manufacturer's instructions. ABCB National Certification and AS3660.
- 4.1.4 The Contractor is responsible for ensuring that the physical termite barriers used are fully protected during the carrying out of the 12.5 All steel reinforcement used in the works shall comply with Australian Standards including AS 4671 (steel reinforcing works and can be fully Certified with a manufacturer's Warranty at the completion of the works

5. TIMBER PRODUCTS, FINISHES & TREATMENT

- 5.0.1 General: Provide timber products with finishes and treatments including for durability and carrying appropriate certification for the finishing applications.
- 5.0.2. General: Provide timbers having natural durability appropriate to the conditions of use, or preservative-treated timber of equivalent durability
- Natural durability class: To AS 5604.
- 5.0.3. Hardwood timber As selected by Owner
- 5.0.4. All work to conform with Australian Standards, including AS1684 (residential timber framing), AS1720.1 (timber structures) and all relevant Australian Standards where they apply.
- 5.0.5. Stopping of clear-finished timbers will match the selected species or most suitable darker alternative. The stopping will match any general knots and natural deviations.

- 5.1 .1All work to conform with Australian Standards, including AS1684 (residential timber framing), AS1720.1 (timber structures) and all relevant Australian Standards where they apply.
- 5.1.2 Engineered wood products are to be used structurally throughout the works in preference to steel beams and instead of solid hardwood lengths
- 5.2 Roof trusses, wall frames, beams and rafters
- 5.2.1 New timber roof trusses shall be Carter Holt Harvey LASER Frame TERMINATOR Blue. Where engineered timber is required to meet AS1687, or the structural engineers design specification, use HYSPAN LVL beams as the first preference. All new posts and roof framing to be termite treated.

6 FLECTRICAL

- 6.0.1 All electrical work to comply with Australian Standards incl. AS3000 and AS3018.
- 6.0.2 Lighting and electrical layouts to be reviewed and discussed with Owner prior to final installation.
- 6.0.3 Inspect the existing meter board and upgrade safety switching if required.
- 6.0.4 Generally install and position electrical switches/plates to match existing.
- 6.0.5 Owner to supply light fittings incl. bulbs, Contractor to install.

7.0 PLUMBING & DRAINAGE

- 7.0.1 All work and materials to AS3500.1.2, AS3500.2.2, AS3500.4.2 and AS2179 installed by licensed tradespersons and in accordance with all regulations
- 7.0.2 Provide protection against "water hammer" in plumbing as approved.
- 7.0.3 Connect all new guttering to existing stormwater lines via new matching downpipes
- 7.0.4 Provide sub-soil drainage lines behind retaining walls as required and connect to the existing stormwater provisions.
 7.0.5 All stormwater runoff to agricultural drains shall be filtered with appropriate means with the aim of maintaining stormwater quality
- 2.1.1Site clearing shall be carried out by the Contractor prior to the commencement of construction and applies to the All stormwater shall be prevented from carrying excessive silt and sediment into the mains system.

8 MECHANICAL VENTILATION

8.1 All mechanical ventilation and air conditioning to comply withh AS 1668.2

- 9.0.1 Generally, all work carried out shall comply with all relevant Australian Standards, including AS1397, AS1445, AS2179, AS2049 and AS3500.
- 9.0.3 New pitched roof material >5° to be Lysaght CustomOrb (or similar)xx4x4 9.0.4 Owner to select roof colour.

10. PAINTING

- All painting to comply with Australian Standards including AS2311 and AS3750 and must be in accordance with the Australian Ecolabel Program's Good Environmental Choice Australia (GECA) standards, as outlined in their publication entitled 'Architectural and Protective Coatings'
- All paint specifications to Resene Low VOC standards (including Resene recommended surface preparation) or approved equivalent. 10.0.1 Apply new paint or appropriate surface coating to all new works externally, including areas where making good existing surfaces 18.2 Where nominated in plans, rendered external masonry walls shall be painted with an approved proprietary render will necessitate new paint, unless pre-finished surface (such as Colorbond) is supplied.
- 10.0.2 Contractor to consult with Owner prior to purchasing paint to confirm areas and surfaces to be painted
- 10.0.3 Colour schedule to be provided upon request of the Contractor who will sample test all schemes prior to implementation as
- 10.0.4 All new external cement render to be finished with selected membrane paint.
- 10.0.5 All finishes applied as recommended by and strictly in accordance with the manufacturer's recommendations

- accordance with the consulting structural Engineer's specification and/or instructions.
- 11.0.2 The Contractor will maintain a clean and dry site throughout the construction period where practicable, with regular cleaning of Sub-Contractor waste and rubbish
- 11.0.3 The Contractor is to arrange final cleaning of works and site to the satisfaction of the the Owner

12. STRUCTURAL STEEL General Requirements

- 4.1.1 The Contractor shall construct the floor slabs and footings in accordance with AS2870 (residential slabs and footings) or AS 3600 12.1 Fabrication and erection of steel shall comply with Australian Standards including AS1252 (steel bolts, etc), AS1554 (structural steel welding), AS3750 (paints for steel), AS4100 (steel structures), AS4680 (hot-dip galvanizing) and other relevant Australian Standards where they apply.
 - 12.3 Generally, all structural steel beams used shall be LiteSteel beams coated with AZ+ corrosion protection, as specified by the consulting structural engineer and erected only by approved or licensed trade
 - other expressed structural elements are finished with enamel paint.
 - materials) or AS 4672 (pre-stressed steel). It shall be cut and bent in accordance with AS 3600 (concrete structures) or AS 2870 (slabs and footings).

13. WINDOWS AND GLAZED DOORS

- 13.1 Window and door selection as selected by owner, to comply with the BASIX certificate
- 13.2 Selection and installation: To AS 2047.
- 13.3 For smoke and heat venting, see AS 2665 which is cited in the BCA.
- 13.4 Glass type and thickness: To AS 1288, where no glass type or thickness is nominated 13.5 For Glass type and thickness refer to Table 4.1 AS 1288 and to AS/NZS 4667.
- 13.6 Glass thickness may be governed by human safety and other requirements see AS 1288 Section 5. The commonly available thicknesses of various glasses are shown on the wind pressure figures of AS 1288, Section 4.
- 13.7 In other cases the determination of thickness is usually within the competence of the glazing contractor Where thickness is determined by loading from wind actions, the 'design wind pressure' needs to be known in order to interpret
- the figures and tables of glass sizes and thicknesses in AS 1288.
- 13.8 Design wind pressure: To AS/NZS 1170.2 or AS 4055 as appropriate
- 13.9 Materials and installation: To AS 1288.
- 13.10 Quality requirements for cut-to-size and processed glass: To AS/NZS 4667.
- 13.11 Terminology for work on glass: To AS/NZS 4668.

14 METALWORK General Requirements

- 14.1 All work shall comply with Australian Standards, including AS1163 (steel hollow sections), AS3679 (hot rolled steel) AS1231 (anodised aluminium), AS3715 (powder-coated aluminium), AS1627 (metal finishing) AS2047 (windows) and AS1664 (aluminium structures), AS1554 (welding) and all relevant Australian Standards where they apply
- 14.2 Construction detail as required shall be provided within the relevant drawing and only modified with the approval of either the Owner or Principal Designer. All steel sections to be approved by the consulting structural engineer
- 14.3 All external stainless steel components shall be 316 external marine grade. Where stainless steel components aren't'used ensure all other exposed steel is hot-dipped then galvanized and enamel painted.

15 MASONRY General Requirements

15.1 Generally, all work to comply with Australian Standards, including AS3700 (masonry construction), AS1316 (masonry cement), AS2904 (damp proof courses) and all relevant Australian Standards where they apply.

16 THERMAL INSULATION

- 16.1 All thermal insulation shall comply with Australian Standards, including AS4859.1 (thermal insulation materials), AS3999 (installation of bulk insulation), AS4200.1 (reflective foil, etc), AS4426 (insulation of pipework, ducts, etc) and all relevant Australian Standards where they apply.
- 16.2 Install insulation in walls, roofs and ceilings as detailed in the plans and ensure that all insulation complies with BASIX and the current requirements, and is in accordance with the Australian Ecolabel Program's Good Environmental Choice Australia (GECA) standards, as outlined in their publication entitled 'Insulation'
- 16.3 Thermal insulation / lagging shall be fixed to all hot water plumbing.
- 17 Polystyrene / insulated cladding system (Where applicable)
- 17.1 Where shown in the plans as painted rendered EPS cladding, provide 100mm thick expanded polystyrene board insulation fixed to stud walls, rendered and coloured as specified by owner
- 17.2 The EPS cladding system used shall be Uni-TWS supplied by Unitex, or a similar approved system, and installed strictly as per the manufacturer's details by appropriately trained & skilled trades people
- 17.3 The rendering system used shall incorporate all items recommended by the manufacturer for correct installation, including collared fixings; mesh reinforcing at joins, corners, etc; water-based polymer render for fixing the mesh; reinforcing corner/edge/sill reveals; expansion joint sealant (with covering expansion joint profiles); lightweight high impact cement-based render (applied 10 min. thick) such as Unitex High Fibre Render; a selected coloured top-coat such as the Unitex Décor Range and a final protective membrane coat such as Uniflex Membrane.

18 EXTERNAL WALL LININGS / TEXTURE COATING

- 18.1 All external wall linings and coatings shall comply with all relevant Australian Standards, including AS3972 (cement), AS1672.1 (limes), AS2758.1 (aggregates), AS1478 (admixtures), AS4548 (texture coatings) and AS1580 (paints, etc).
- 18.4 All selected finish colours to be pre-approved by supplying sample boards in nominated colours, prior to application on

- 19.1 Demolition of existing structur and/or alterations to the existing structure to comply with AS 4361.2 Guid to lead paint
- 19.2 Outdoor lighting to comply with AS 4282:1997
- 19.3 Pruning of amenity trees to comply with AS 4373-2007
- 19.4 Tree protection measures where relevant on the development site to comply with AS 4970-2009
- 19.5 Off-street parking to comply with AS/NZS 2890.1:2004, and Council regulations



Inlet Design Studio

Newport, NSW, 2106 E robyn@inletdesign.com.au

ABN: 26 075 061 335

REVISION: DATE:



SHEET NO GENERAL SPECIFICATION RJA09 Avril Kelly CHKD SCALE @ A3 ALTERATIONS AND ADDITIONS RJ NTS ADDRESS: PROJECT NO ISSUE DATE: REVISION 137 Fisher Road North Cromer FIS810 6 21/07/21