

1 Site Plan
Scale: 1:200

CALCULATIONS

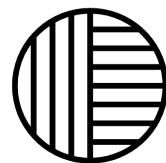
SITE AREA 327.2msq

EXISTING FLOOR AREA 93.6msq
EXISTING ROOFED DECK 29msq

PROPOSED ADDITION 36.2msq
TOTAL FLOOR AREA 124msq

PROPOSED DECK 25.7msq
CARPORT 25.7msq

LANDSCAPE AREA 140msq



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REVISION: A DATE: 3/08/21 REVISION NOTE: Deck lowered to RL.12.80 with new stair access



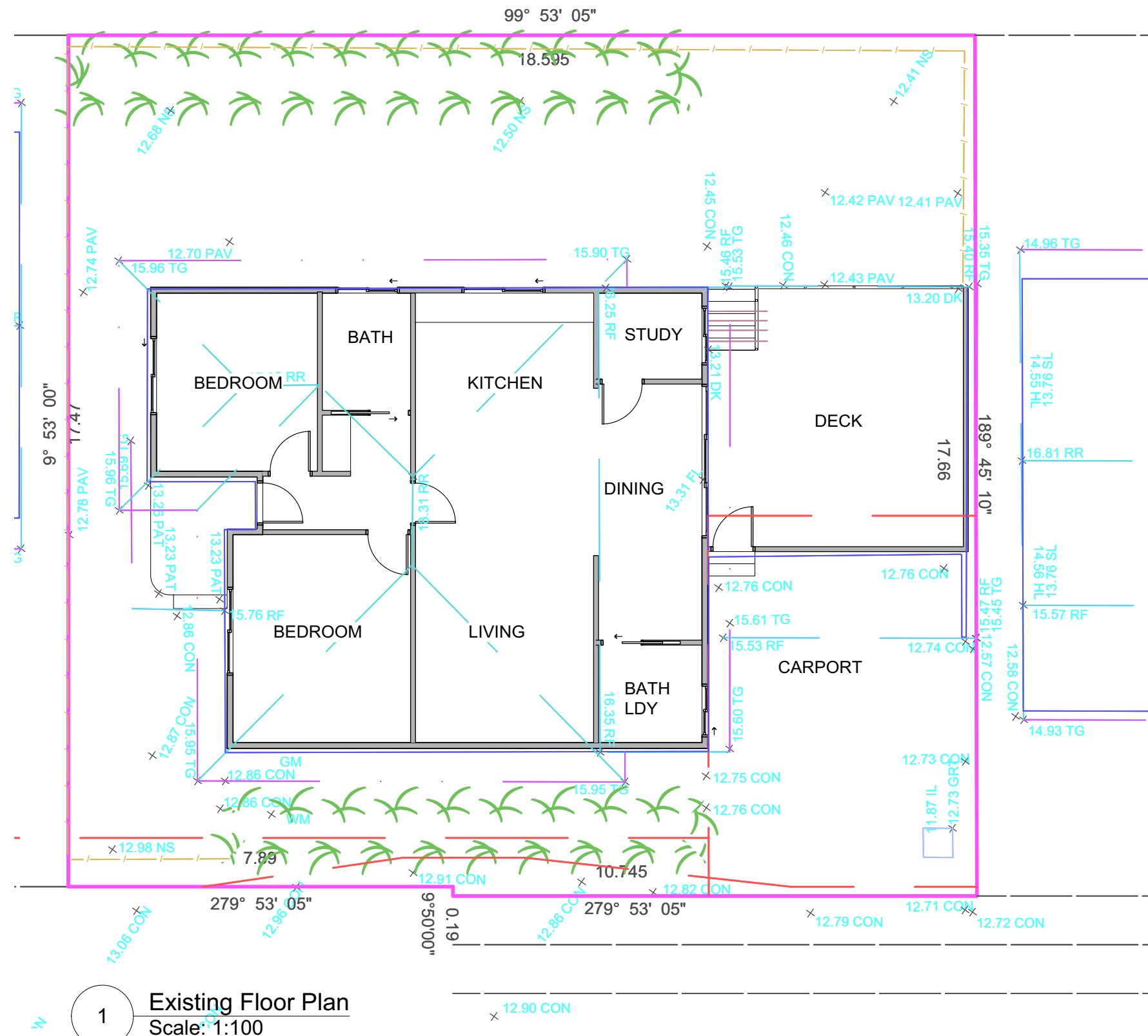
CLIENT:
Avril Kelly

ADDRESS:
137 Fisher Road North Cromer

DRAWING:
Site Plan
PROJECT:
ALTERATIONS AND ADDITIONS

PROJECT NO: FIS810
ISSUE TYPE: 7

DRAWN: RJ
CHKD: SCALE @ A3: 1:200
ISSUE DATE: 21/07/21
REVISION: A



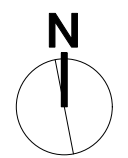
1 Existing Floor Plan
Scale: 1:100



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REVISION: DATE: REVISION NOTE:



CLIENT:
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ADDRESS:
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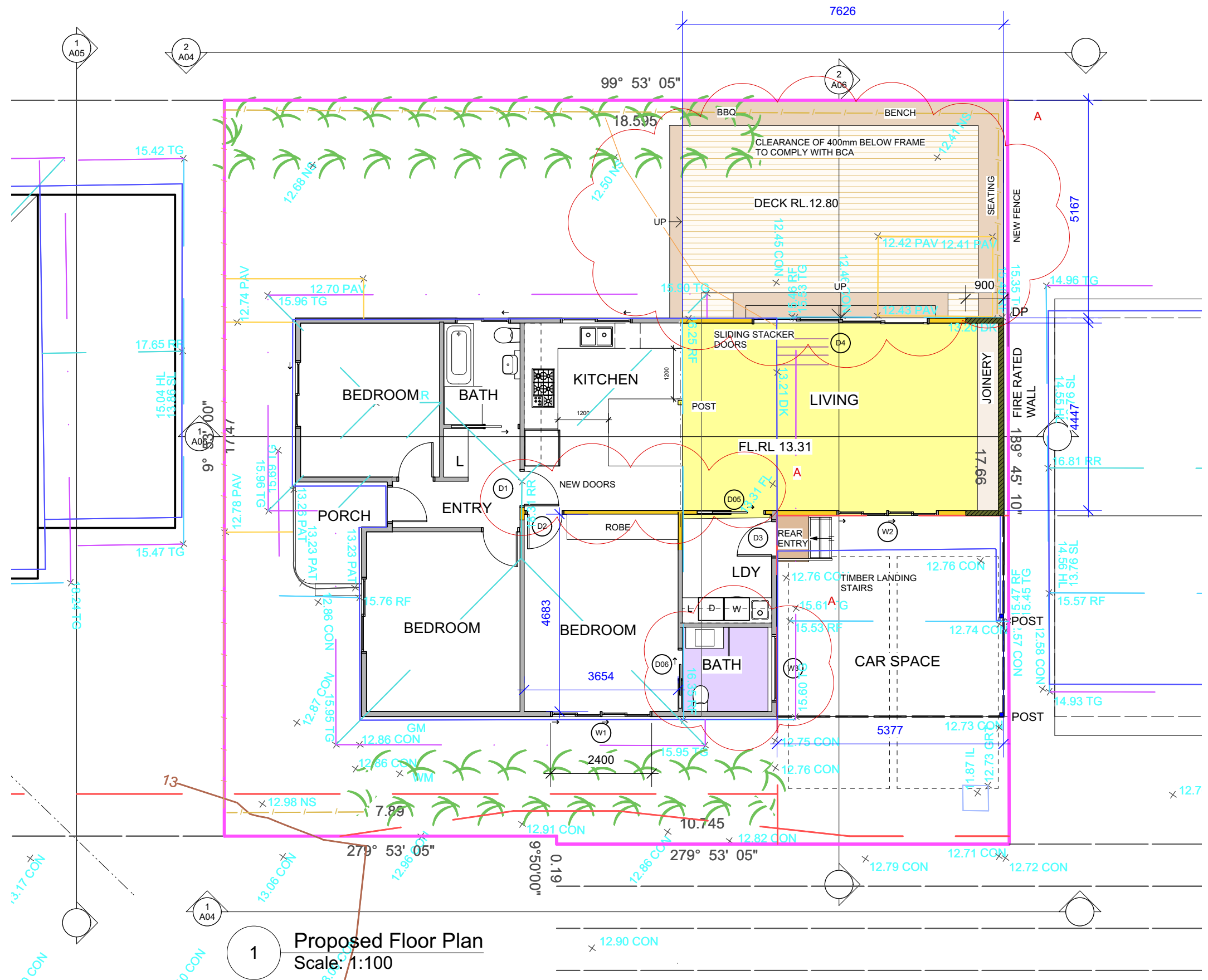
DRAWING:
Existing Floor Plan

PROJECT:
ALTERATIONS AND ADDITIONS

PROJECT NO:
FIS810

ISSUE TYPE:
1

DRAWN: RJ	SHEET NO: A02
CHKD: RJ	SCALE @ A3: 1:100
ISSUE DATE: 21/07/21	REVISION:

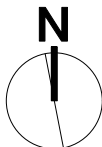


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REVISION: A DATE: 3/08/21 REVISION NOTE: Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom

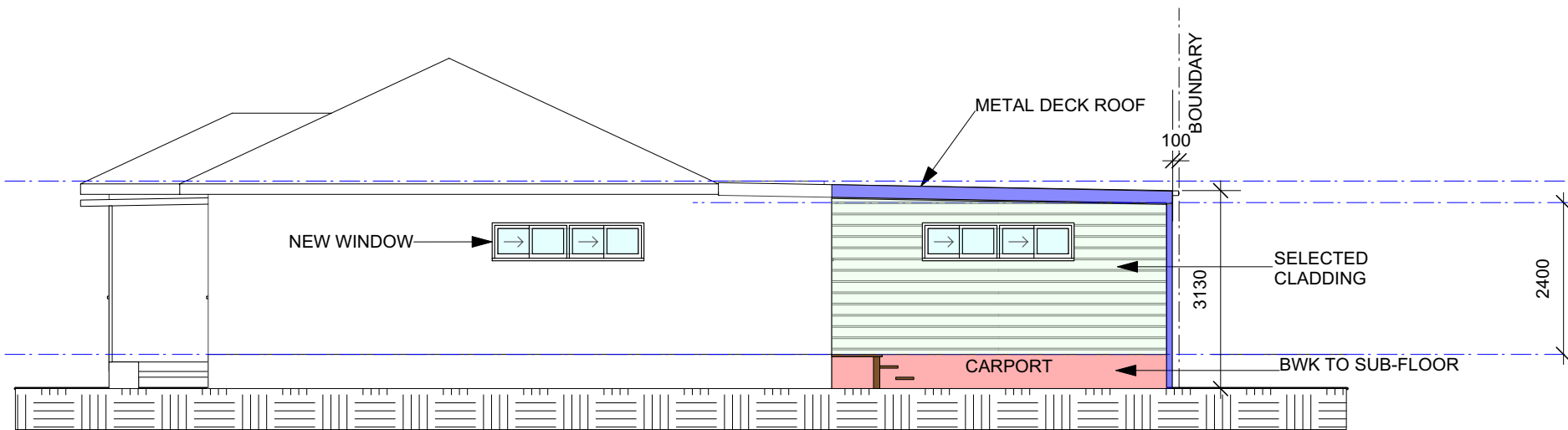


CLIENT: Avril Kelly
ADDRESS: 137 Fisher Road North Cromer

DRAWING: Proposed Floor Plan
PROJECT: ALTERATIONS AND ADDITIONS
PROJECT NO: FIS810
ISSUE TYPE: 2

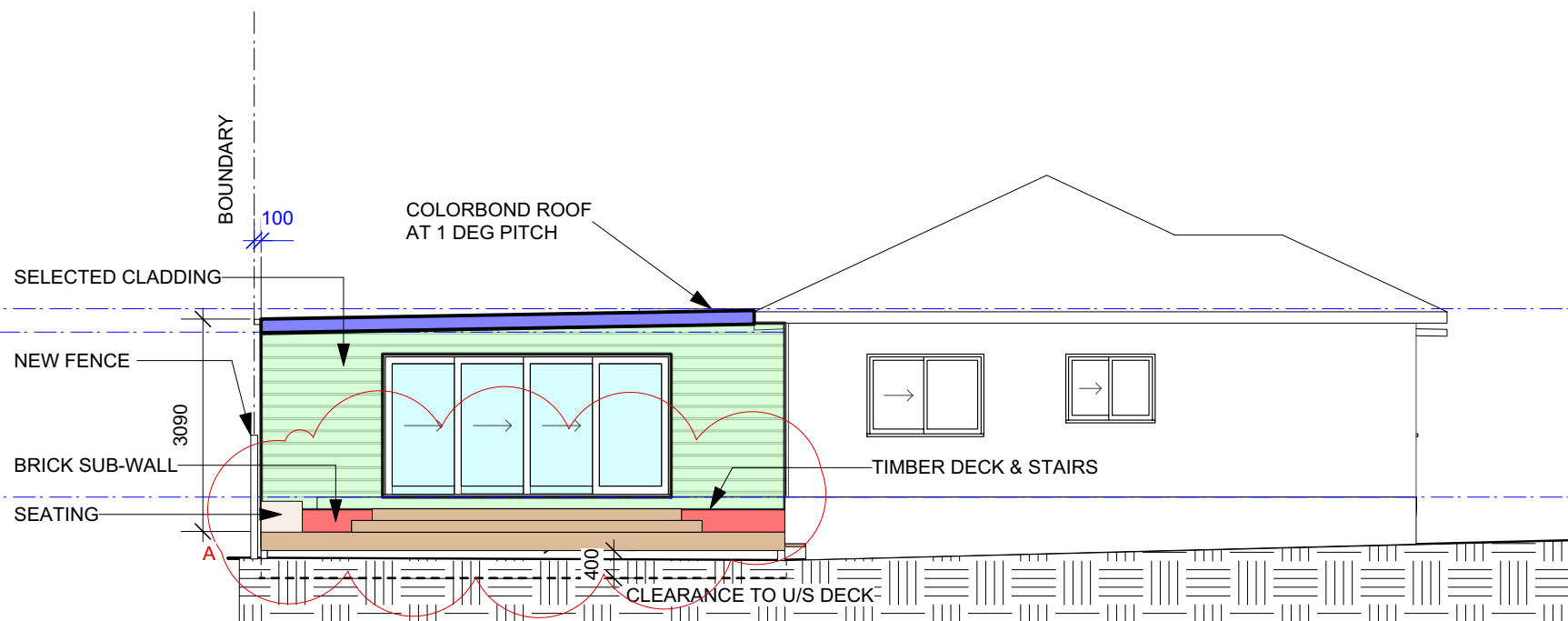
DRAWN: RJ
CHKD: RJ
ISSUE DATE: 21/07/21
SHEET NO: A03
SCALE @ A3: 1:100
REVISION: A

CEILING LEVEL
2740
FLOOR LEVEL



1 South Elevation
Scale: 1:100

CEILING LEVEL
2740
CEILING LEVEL
2400
FLOOR LEVEL



2 North Elevation
Scale: 1:100



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REVISION: A DATE: 3/08/21 REVISION NOTE: Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom



CLIENT:
Avril Kelly

ADDRESS:
137 Fisher Road North Cromer

DRAWING:
South and North Elevations

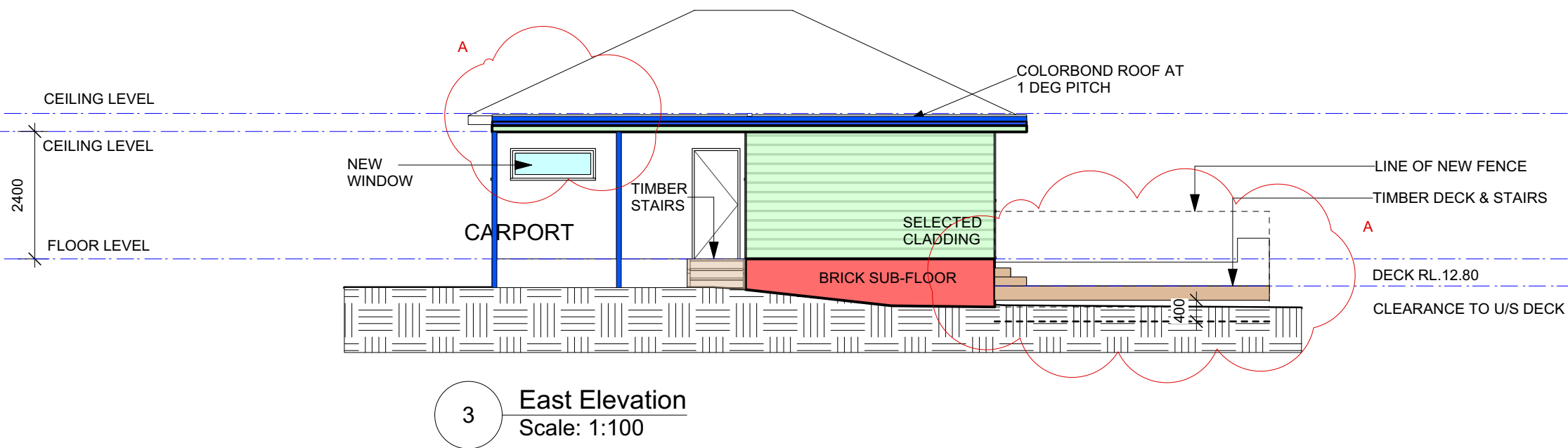
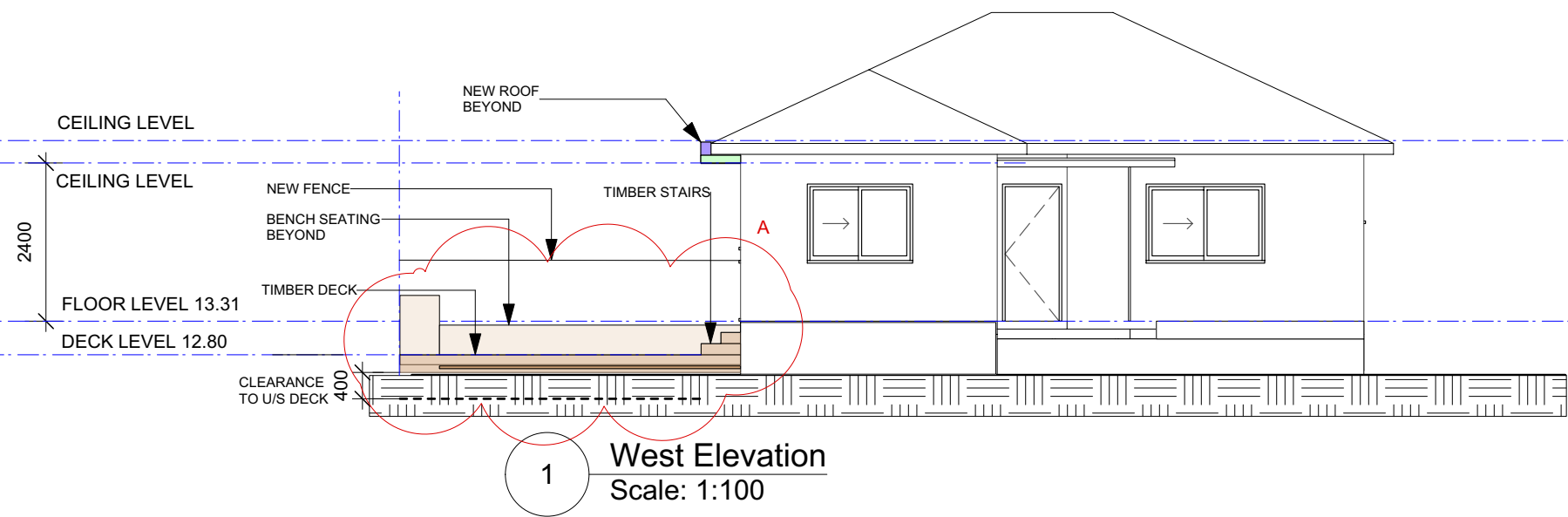
PROJECT:
ALTERATIONS AND ADDITIONS

PROJECT NO: FIS810
ISSUE TYPE: 3

DRAWN: RJ
SHEET NO: A04

CHKD: RJ
SCALE @ A3: 1:100

ISSUE DATE: 21/07/21
REVISION: A



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REVISION: A DATE: 3/08/21 REVISION NOTE: Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom



CLIENT:
Avril Kelly

ADDRESS:
137 Fisher Road North Cromer

DRAWING:
East and West Elevations

PROJECT:
ALTERATIONS AND ADDITIONS

PROJECT NO:
FIS810

ISSUE TYPE:
4

DRAWN:
RJ

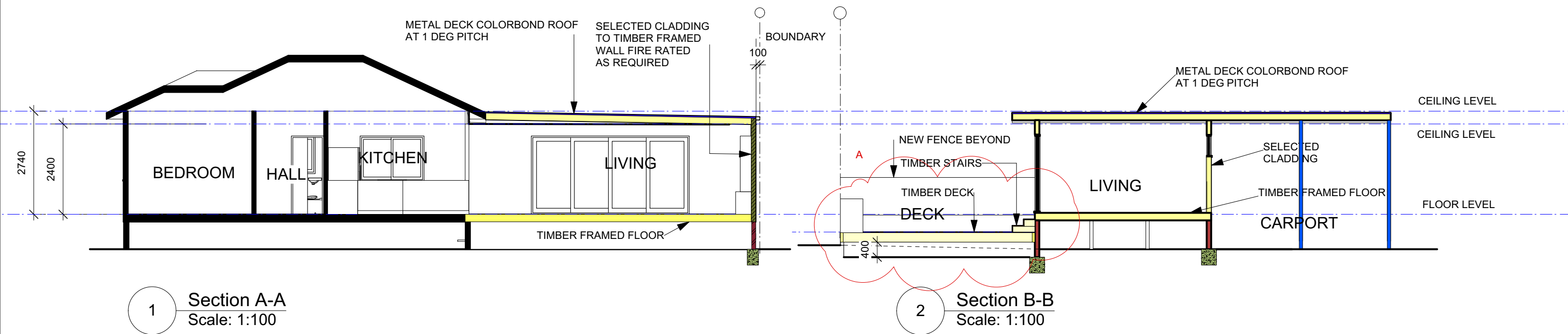
SHEET NO:
A05

CHKD:
RJ

SCALE @ A3:
1:100

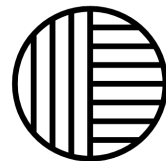
ISSUE DATE:
21/07/21

REVISION:
A



1 Section A-A
Scale: 1:100

2 Section B-B
Scale: 1:100



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REVISION: A DATE: 3/08/21 REVISION NOTE: Deck lowered to RL.12.80, internal wall relocated, resized window W3 and reconfiguration of new Bathroom



CLIENT:
Avril Kelly

ADDRESS:
137 Fisher Road North Cromer

DRAWING:
Section A-A and B-B




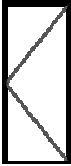
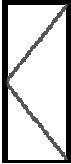
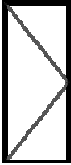
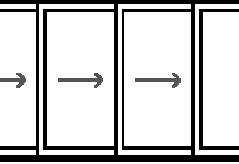
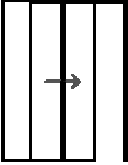
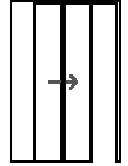
PROJECT:
ALTERATIONS AND ADDITIONS

PROJECT NO: FIS810
ISSUE TYPE: 5

DRAWN: RJ
SHEET NO: A06

CHKD: RJ
SCALE @ A3: 1:100

ISSUE DATE: 21/07/21
REVISION: A

WINDOWS												
Image	ID	Type	Frame Height	Frame Width	Glazed Area	Hardware	Manufacturer	Model	Screen	Egress	Glazing	Comments
	W1	SR	600	2400	0.79							
	W2	SR	600	2400	0.79							
	W3	FS	600	1600	0.57							
DOORS												
Image	ID	Type	Frame Height	Frame Width	Leaf Height	Leaf Width	Thickness	Glazed Area	Hardware	Screen	Glazing	Comments
	D1	HL	2080	900				0				
	D2	HL	2080	900				0				
	D3	HL	2080	900				0				
	D4	LP	2080	4200				6.44				
	D05	CS	2080	862				0				
	D06	CS	2080	762				0				
COMBINATION UNITS												
Image	ID	Type	Frame Height	Frame Width	Glazed Area	Hardware	Manufacturer	Model	Screen	Egress	Glazing	Comments

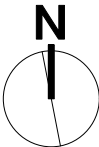


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REVISION: A DATE: 3/08/21 REVISION NOTE: W3 size change



CLIENT:
Avril Kelly

ADDRESS:
137 Fisher Road North Cromer

DRAWING:
Window and Door Schedule

PROJECT:
ALTERATIONS AND ADDITIONS

PROJECT NO: FIS810 ISSUE TYPE: 6

DRAWN: RJ SHEET NO: A07

CHKD: RJ SCALE @ A3: NTS

ISSUE DATE: 21/07/21 REVISION: A

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 03, August 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Alts & Adds 137 Fisher Rd North
Street address	137 Fisher Road North Road Dee Why 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 788171
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).


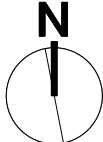
Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Jacaranda Trading International Pty Ltd
ABN (if applicable): 26075061335

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type		
W1	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W2	S	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W3	E	0.53	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)		Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)		medium (solar absorptance 0.475 - 0.70)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

 <div>Inlet Design Studio Newport, NSW, 2106, P 0415647351 E robyn@inletdesign.com.au ABN: 26 075 061 335 Copyright © JACARANDA TRADING COMPANY PTY LTD</div>	REVISION: A DATE: 3/08/21 REVISION NOTE: Basix amended to show correct address		CLIENT: Avril Kelly	DRAWING: Basix Requirements	DRAWN: RJ	SHEET NO: A08
	ADDRESS: 137 Fisher Road North Cromer		PROJECT: ALTERATIONS AND ADDITIONS	CHKD: RJ	SCALE @ A3: NTS	
			PROJECT NO: FIS810	ISSUE TYPE: 6	ISSUE DATE: 21/07/21	REVISION: A

