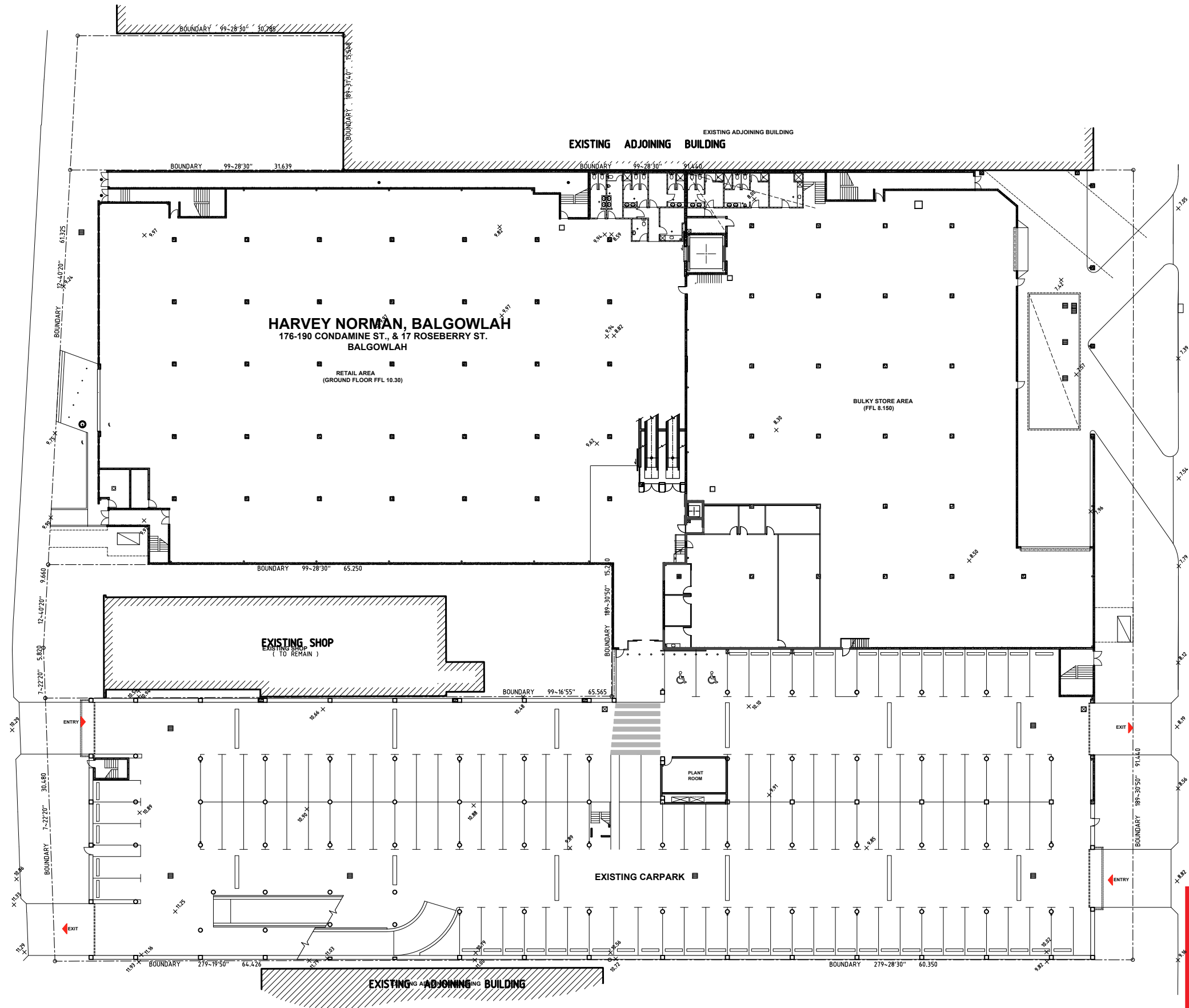


CONDAMINE STREET



ROSEBERRY STREET



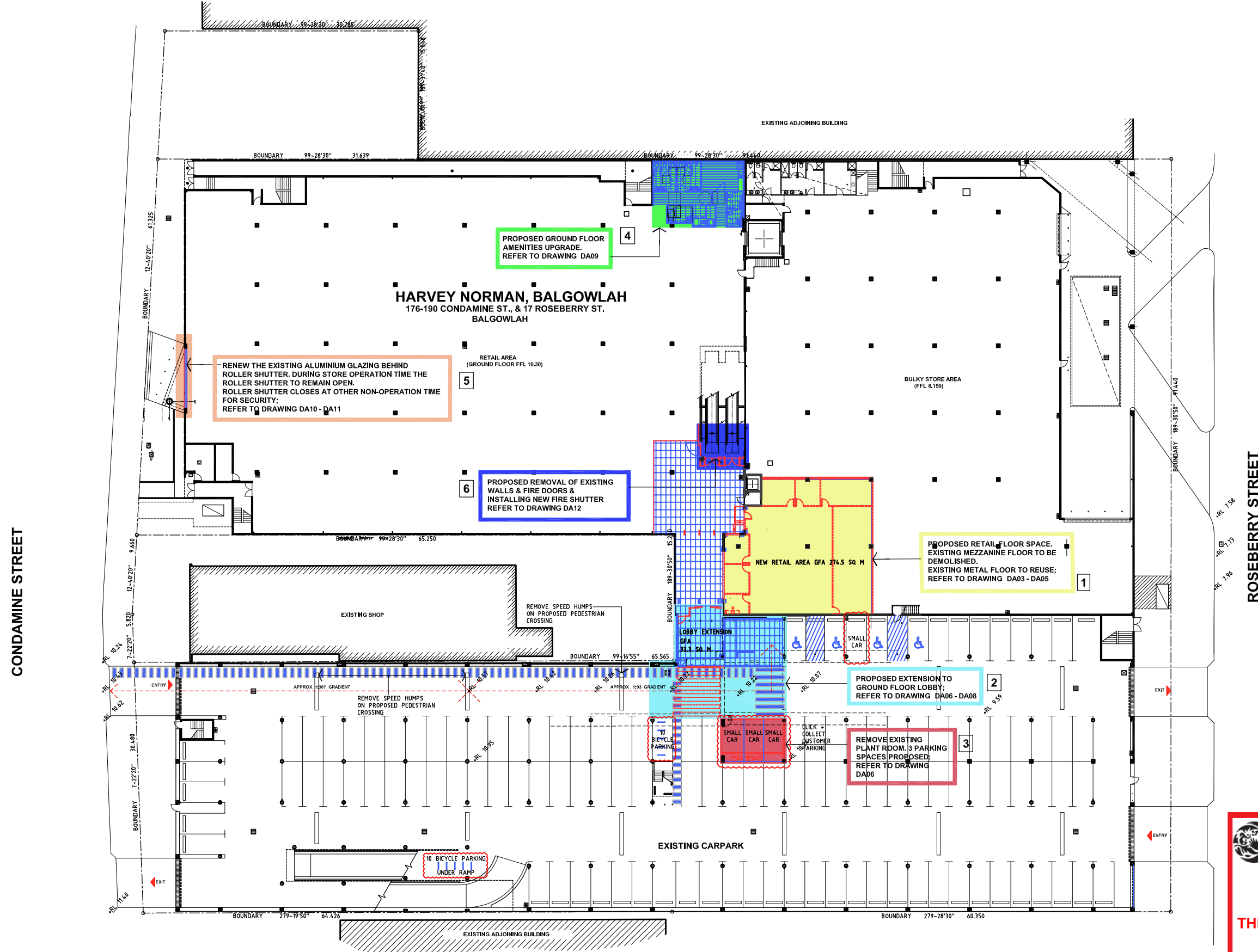
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1013

1 EXISTING PLAN - GROUND FLOOR
SCALE 1:500 @ A3



WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



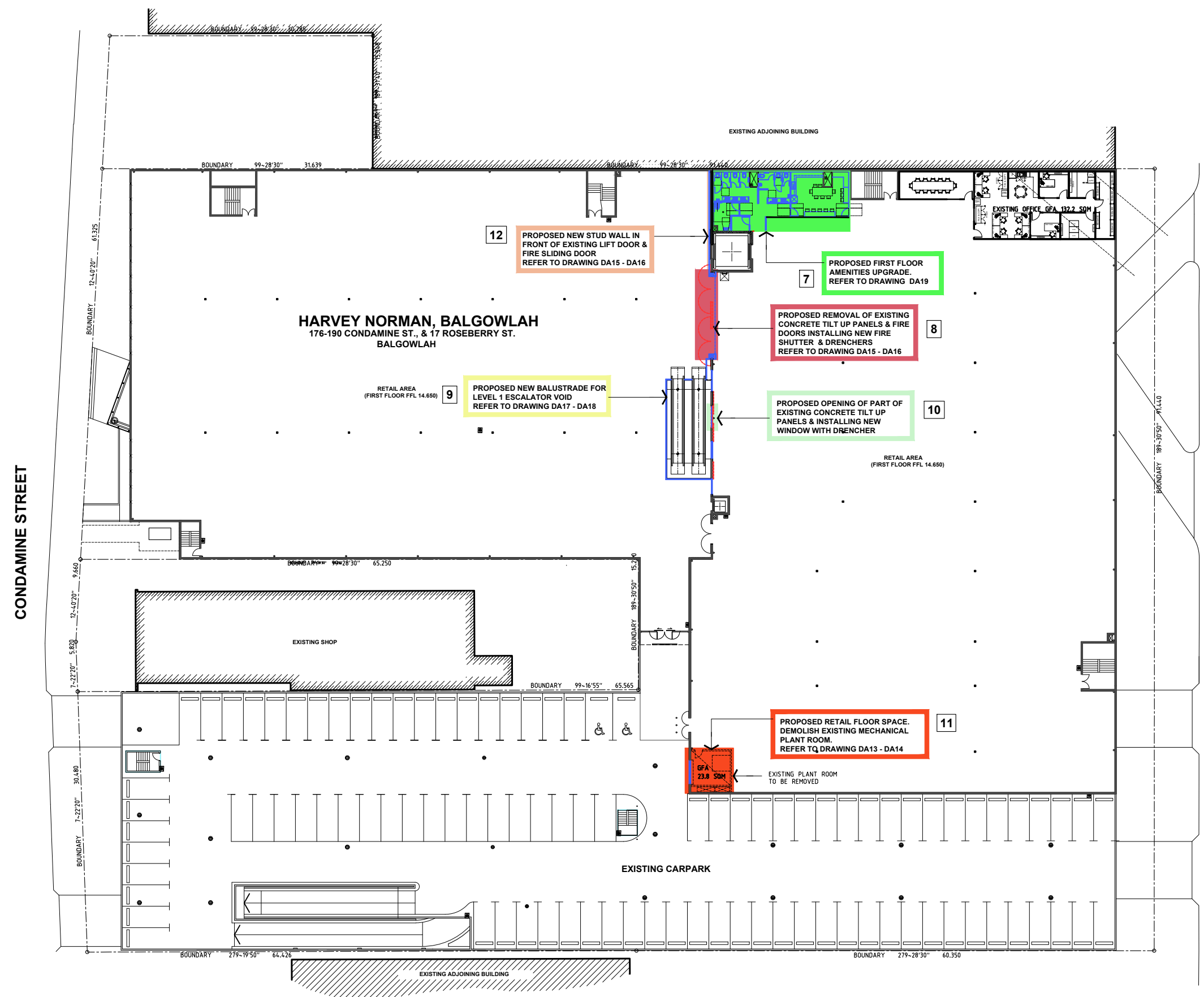
1 OVERALL SITE - GROUND
SCALE 1:500 @ A3

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DA2021/1013

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



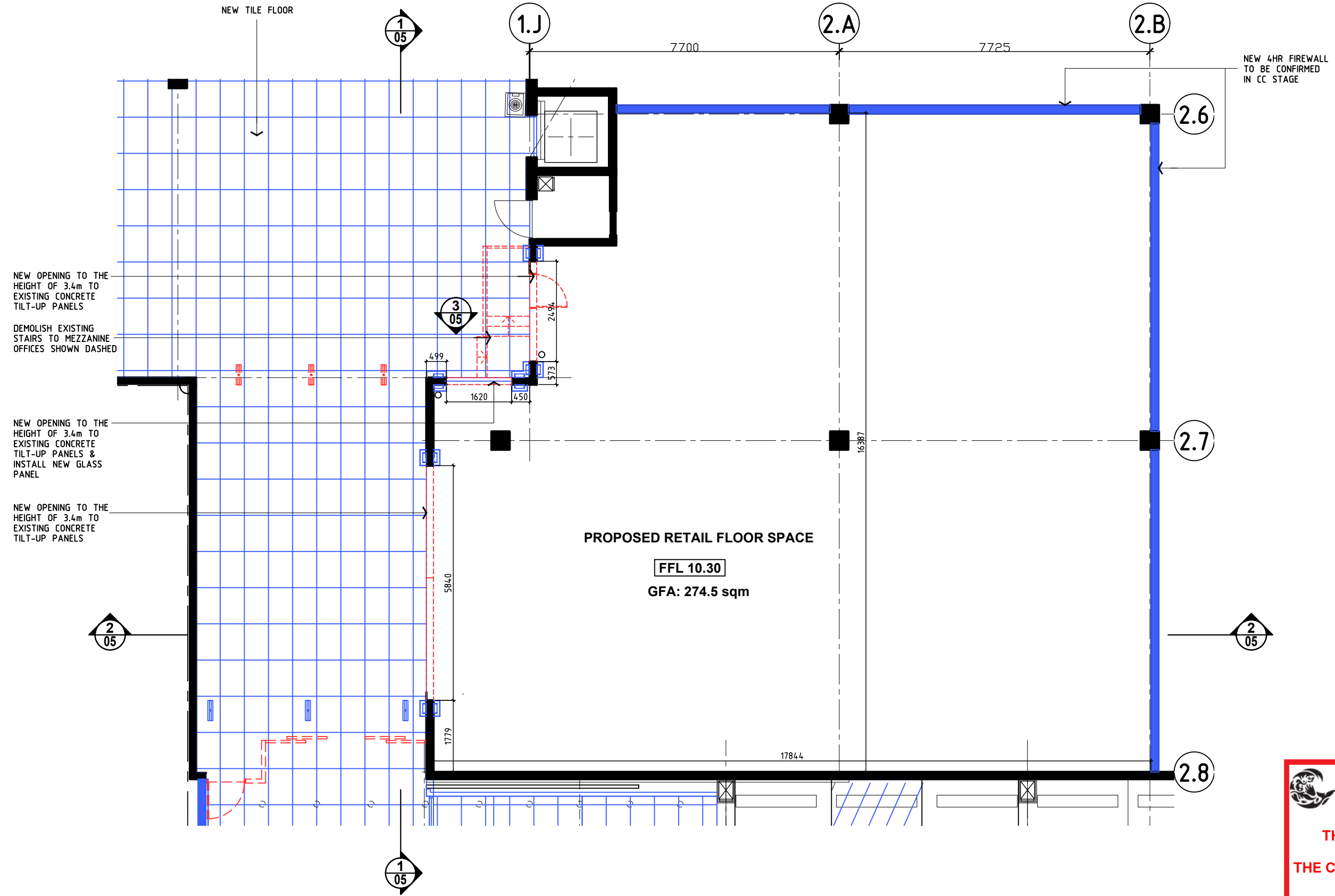
1 OVERALL SITE - LEVEL 1
SCALE 1:500 @ A3

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WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



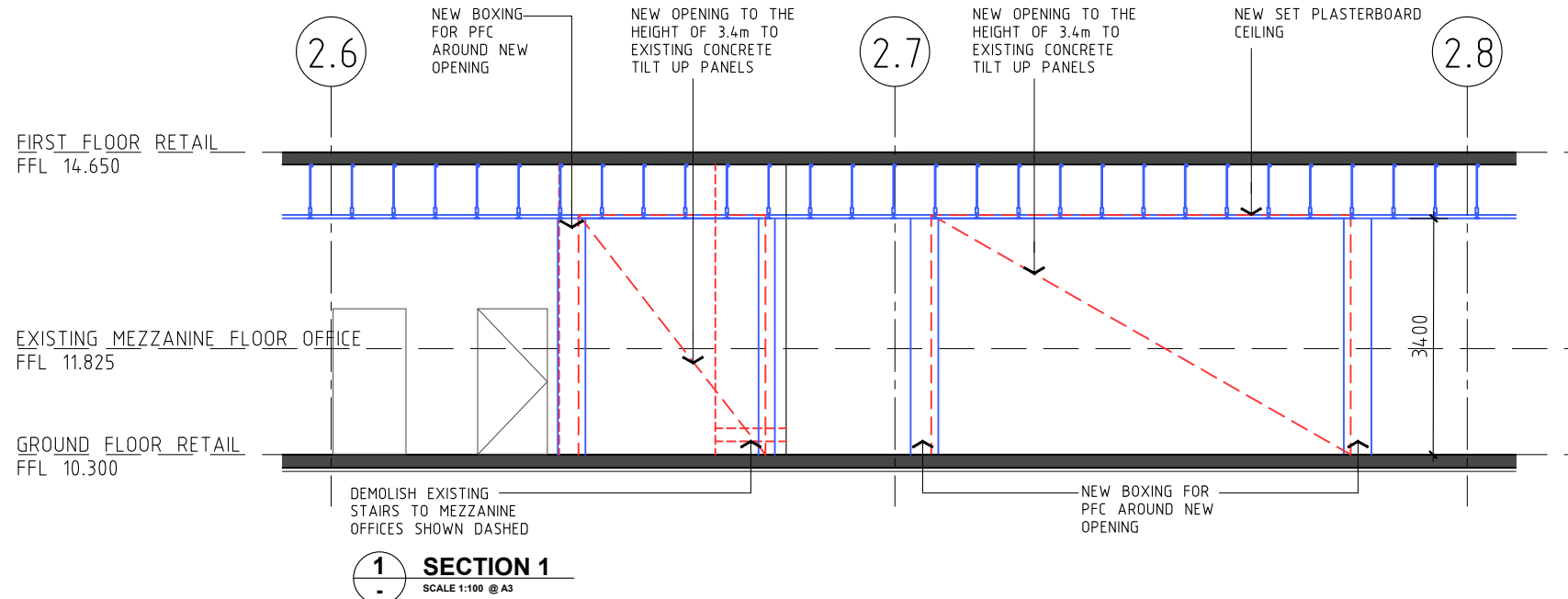
1 PROPOSED GROUND RETAIL SPACE - PLAN
SCALE 1:100 @ A3

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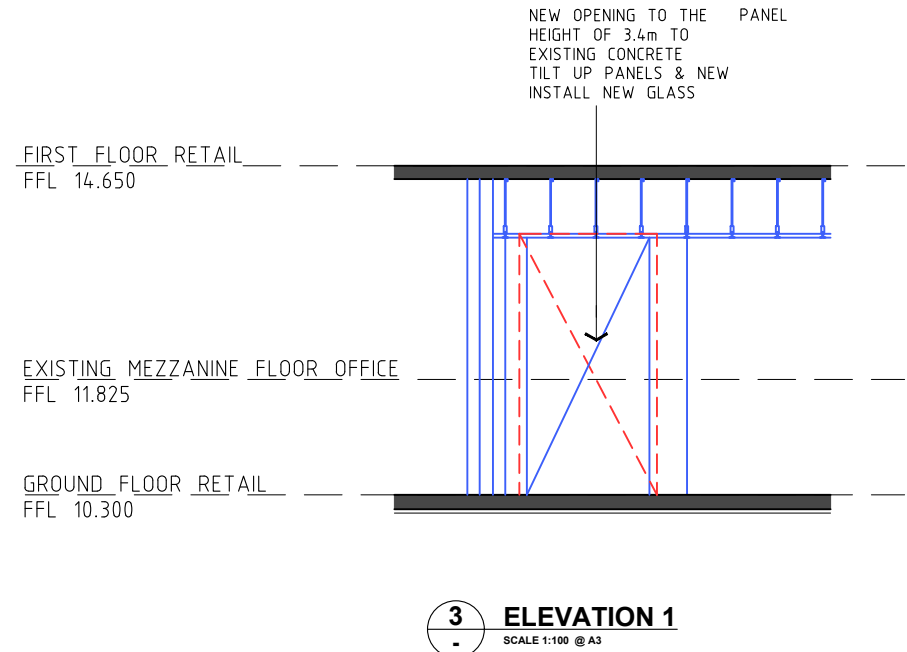
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1013

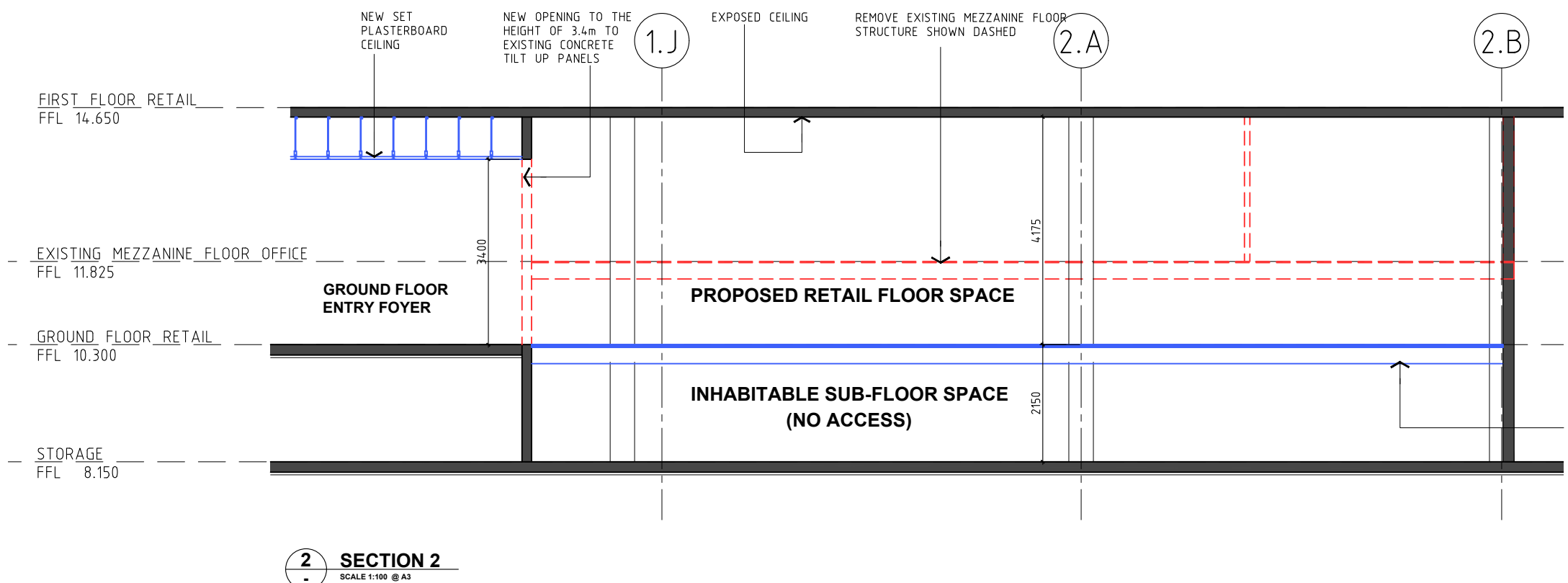
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 SECTION 1
SCALE 1:100 @ A3



3 ELEVATION 1
SCALE 1:100 @ A3



2 SECTION 2
SCALE 1:100 @ A3

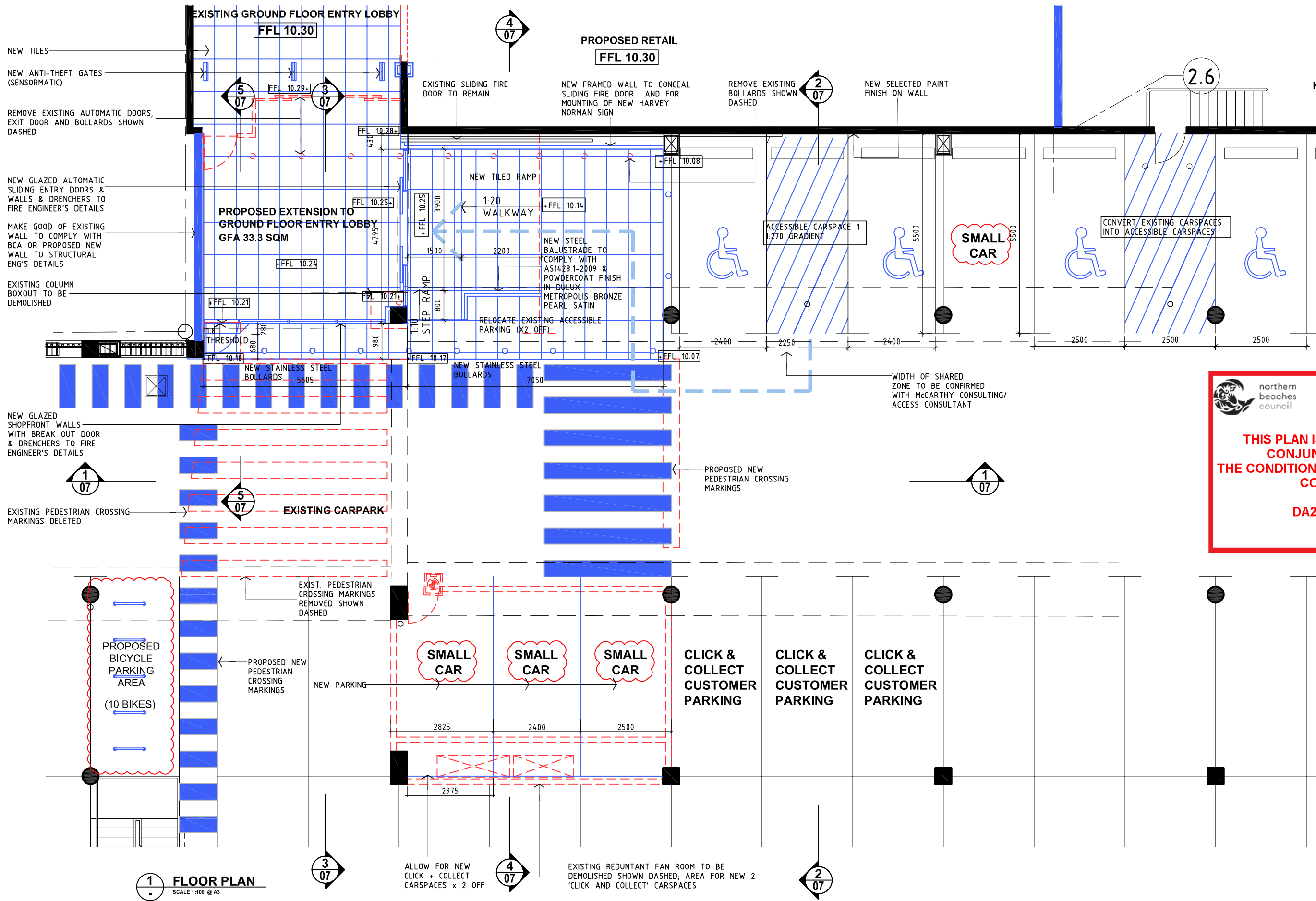
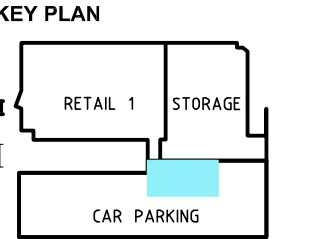
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REMOVE FLOOR STRUCTURE OF EXISTING MEZZANINE OFFICE AND REUSE STEEL PLATFORM FLOORING AS MUCH AS POSSIBLE. AT FFL 10.30 (SSL 10.25 TBC ON SITE)

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



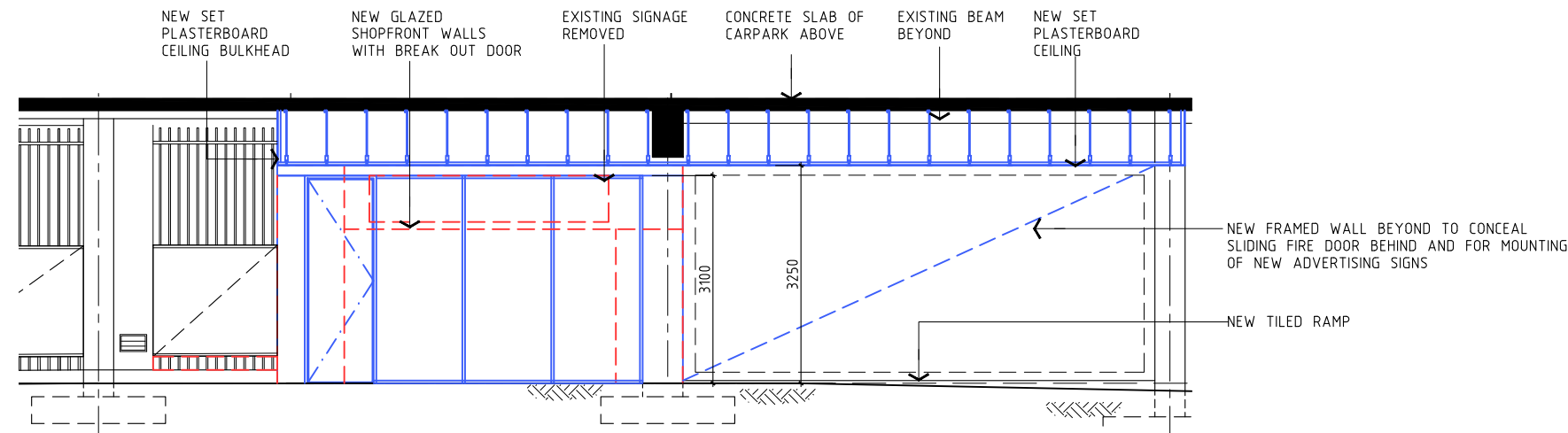
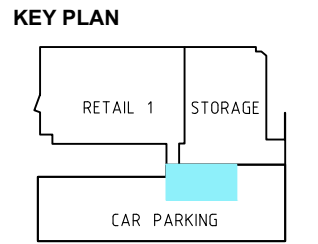
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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

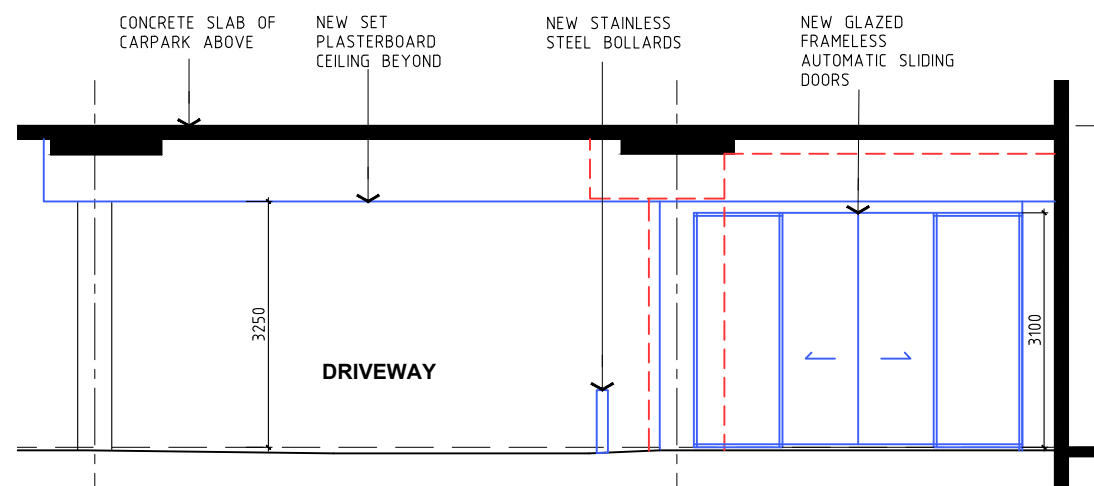
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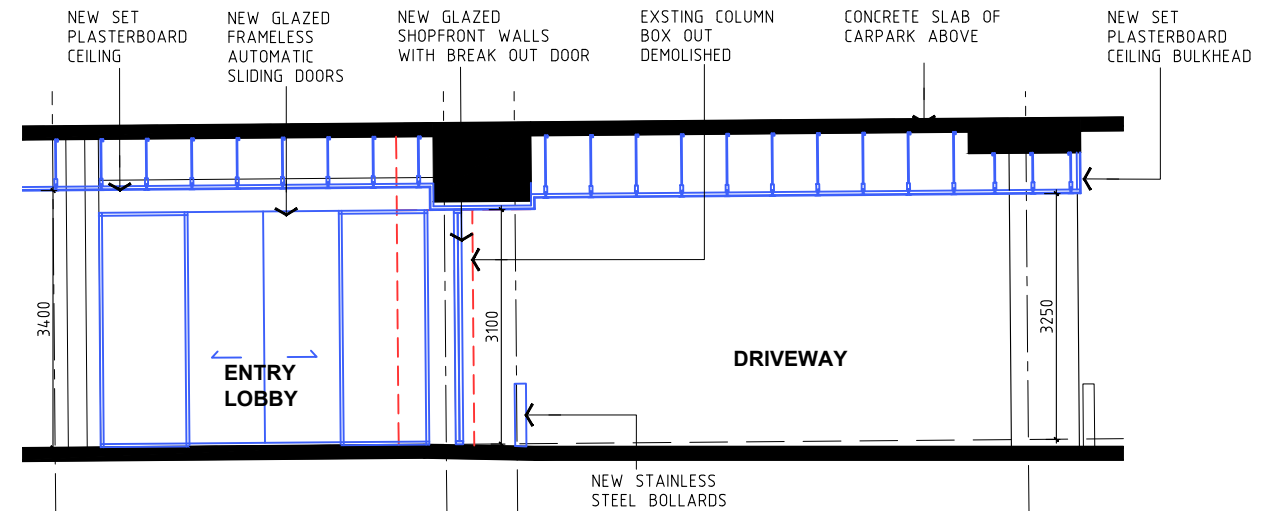
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



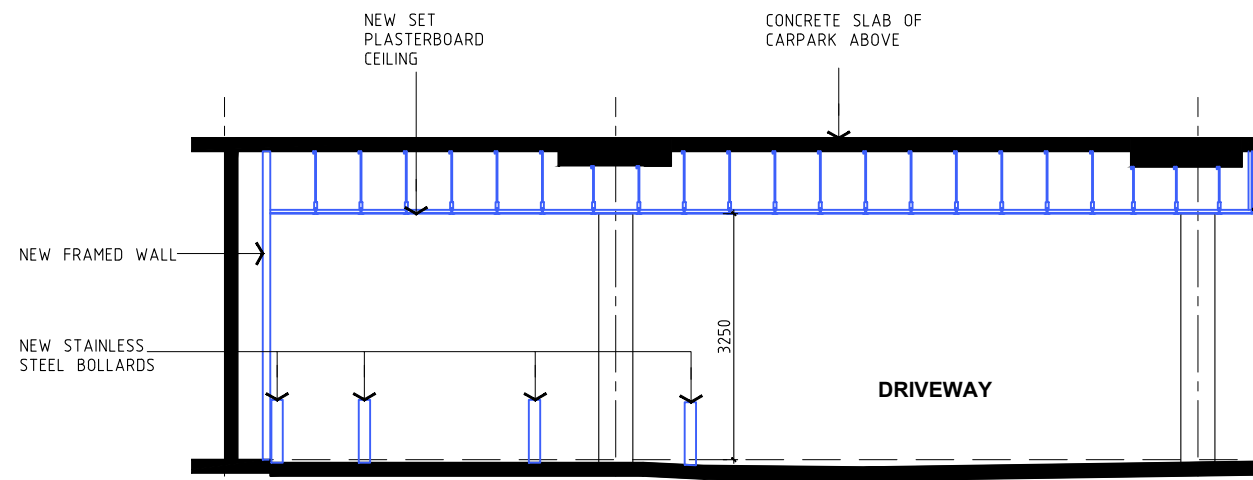
1 ELEVATION 1 (AS VIEWED FROM CARPARK)
SCALE 1:100 @ A3



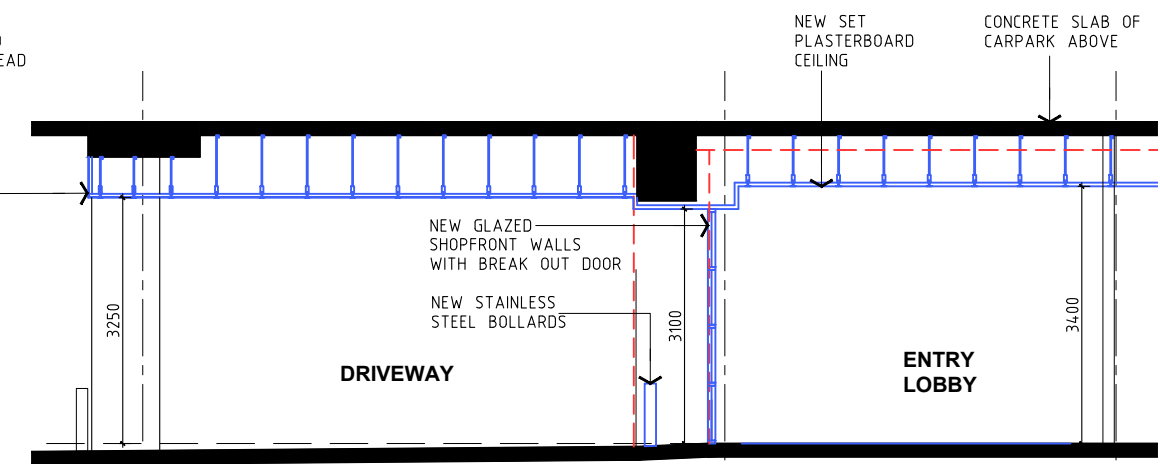
2 ELEVATION 2
SCALE 1:100 @ A3



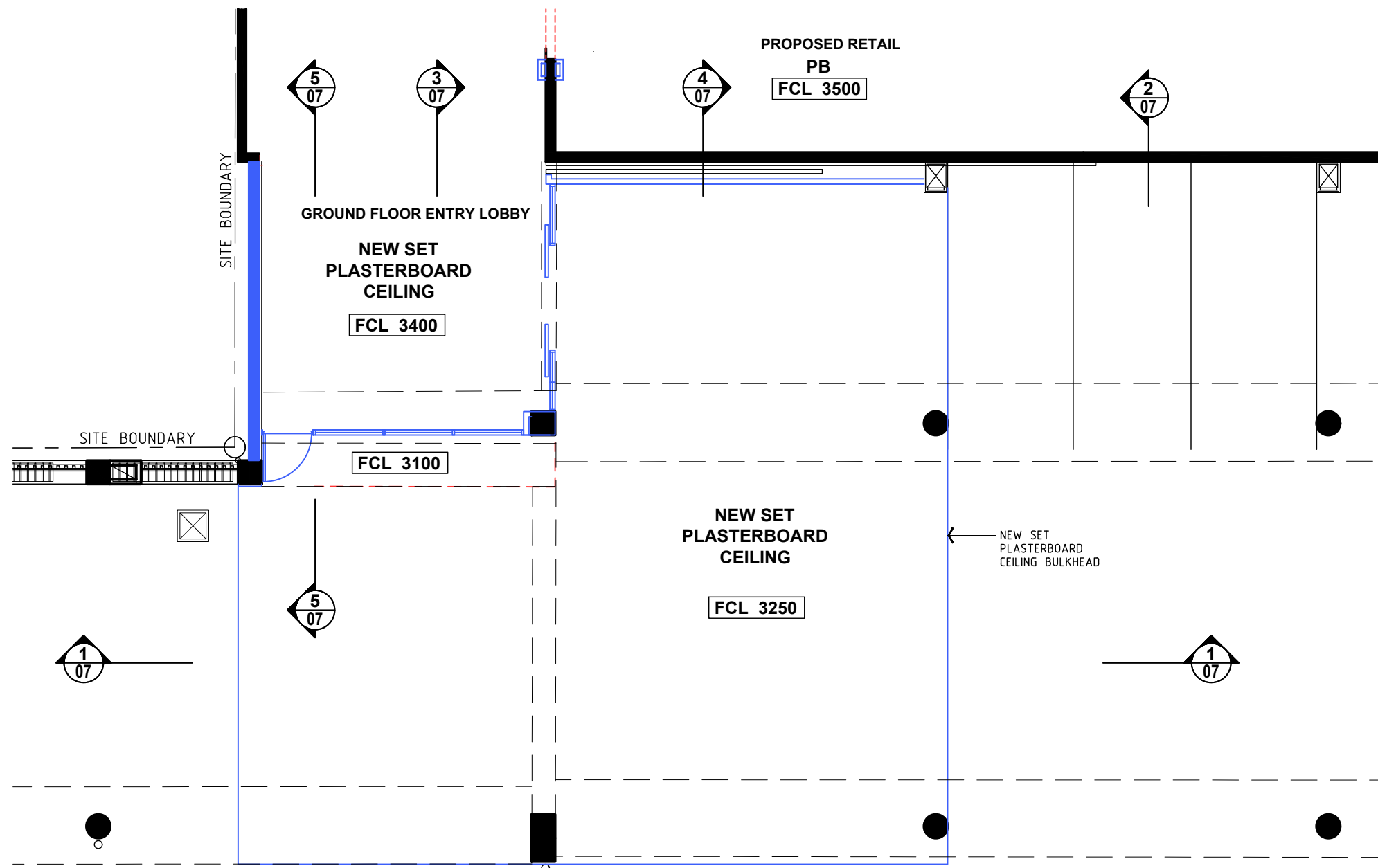
3 SECTION 3
SCALE 1:100 @ A3



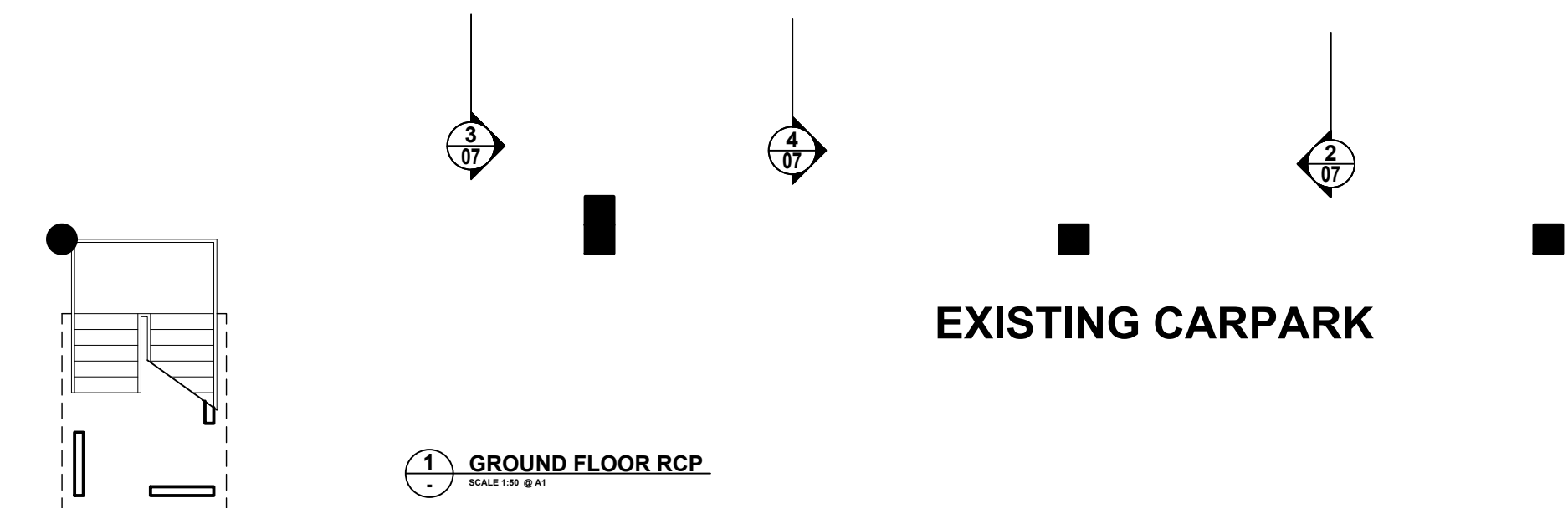
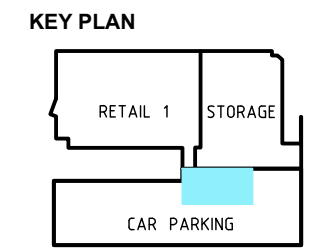
4 SECTION 4
SCALE 1:100 @ A3



5 SECTION 5
SCALE 1:100 @ A3




WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 GROUND FLOOR RCP
SCALE 1:50 @A1

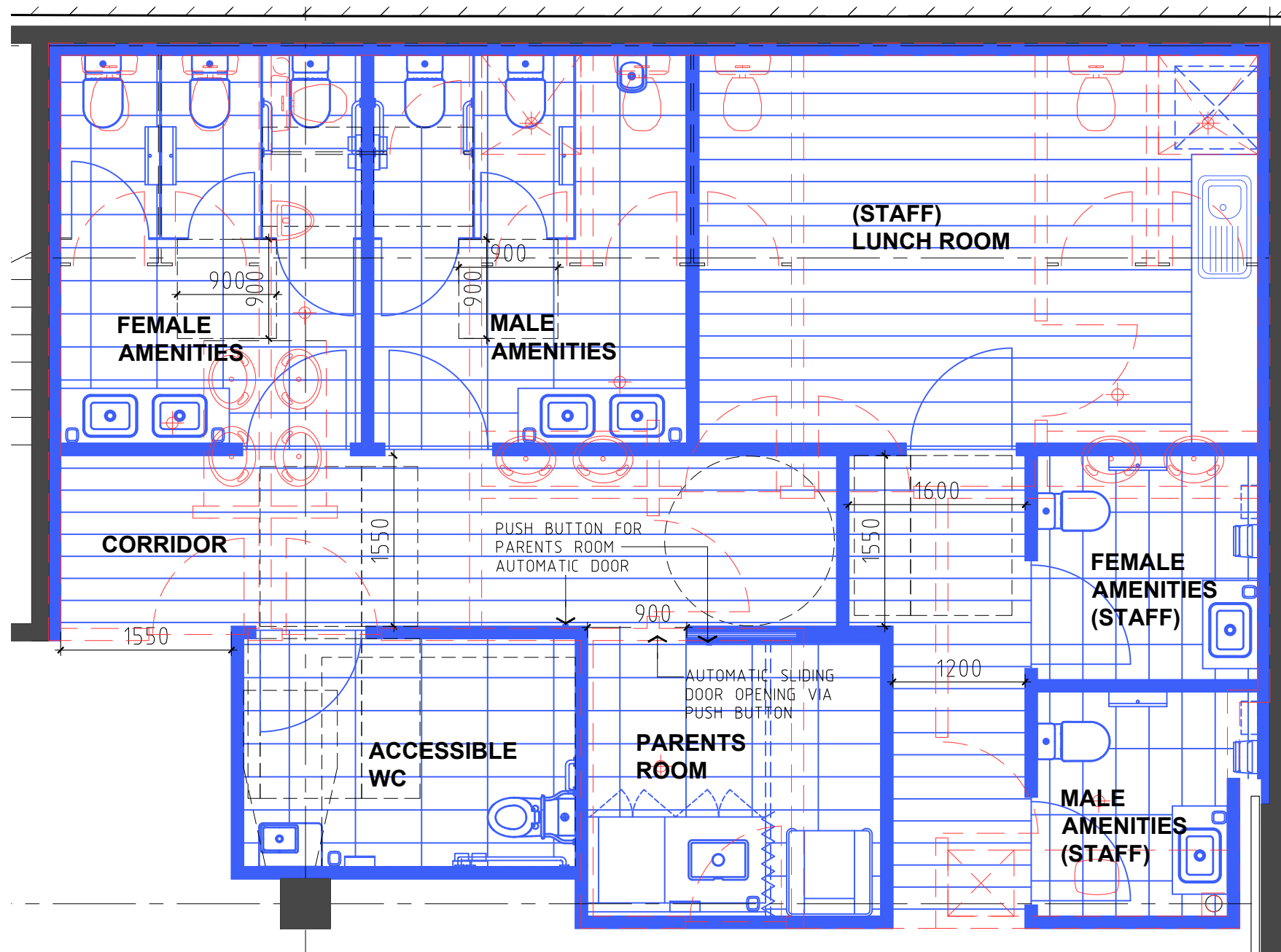
EXISTING CARPARK



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WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

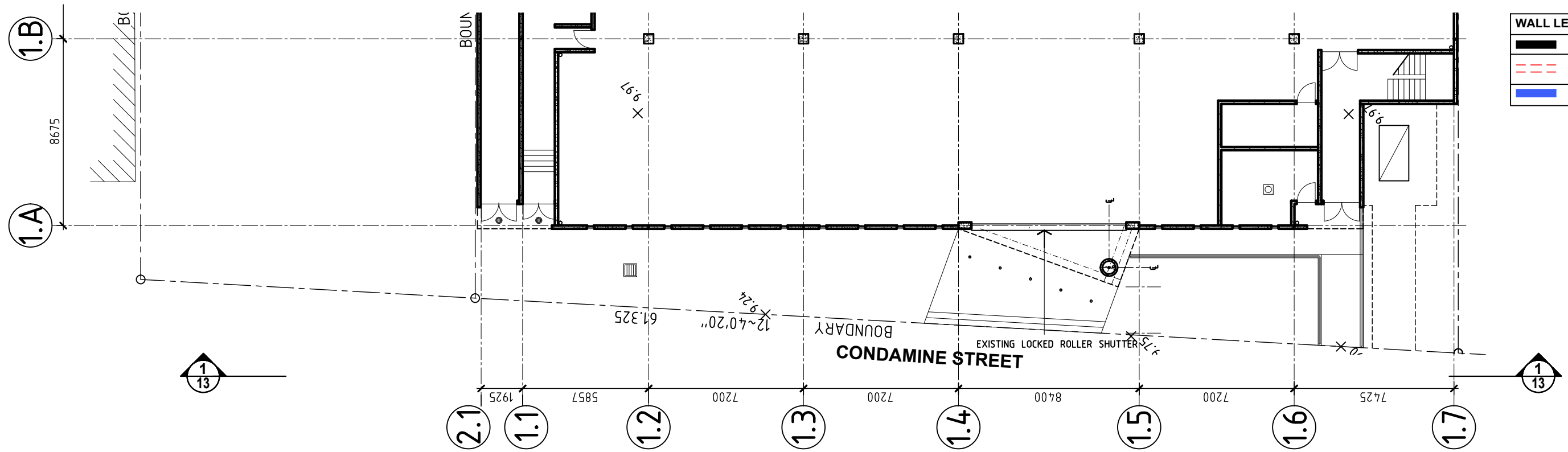


1 GROUND AMENITIES UPGRADE - PLAN
SCALE 1:50 @ A3

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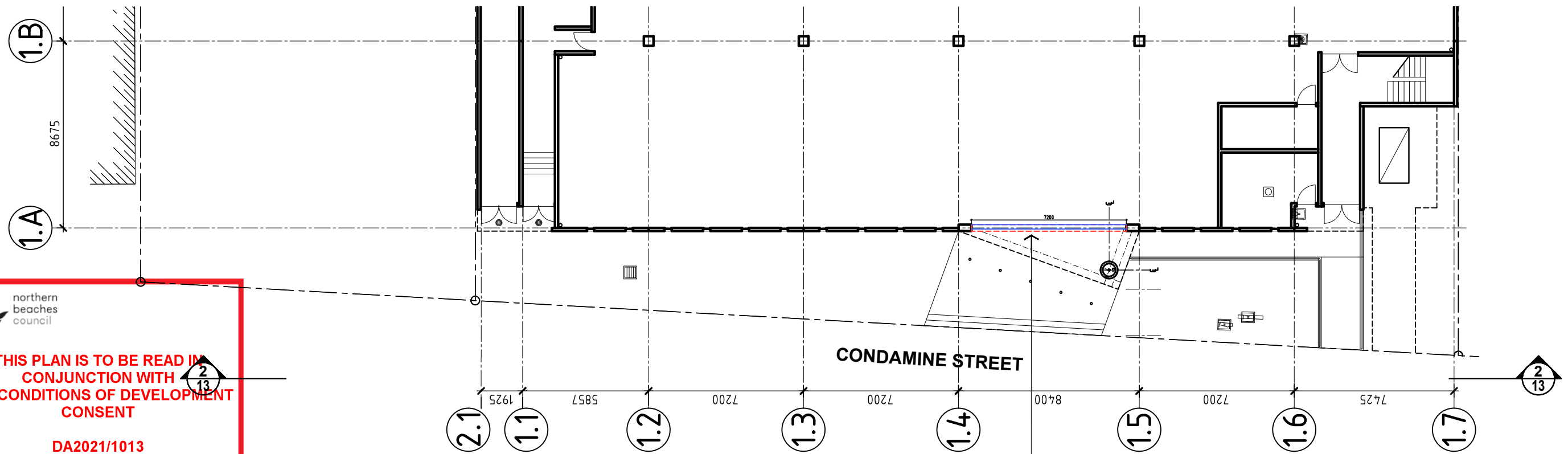
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1013



WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

1 EXISTING GROUND FLOOR PLAN - CONDAMINE ST. STORE ENTRY
SCALE 1:200 @ A3



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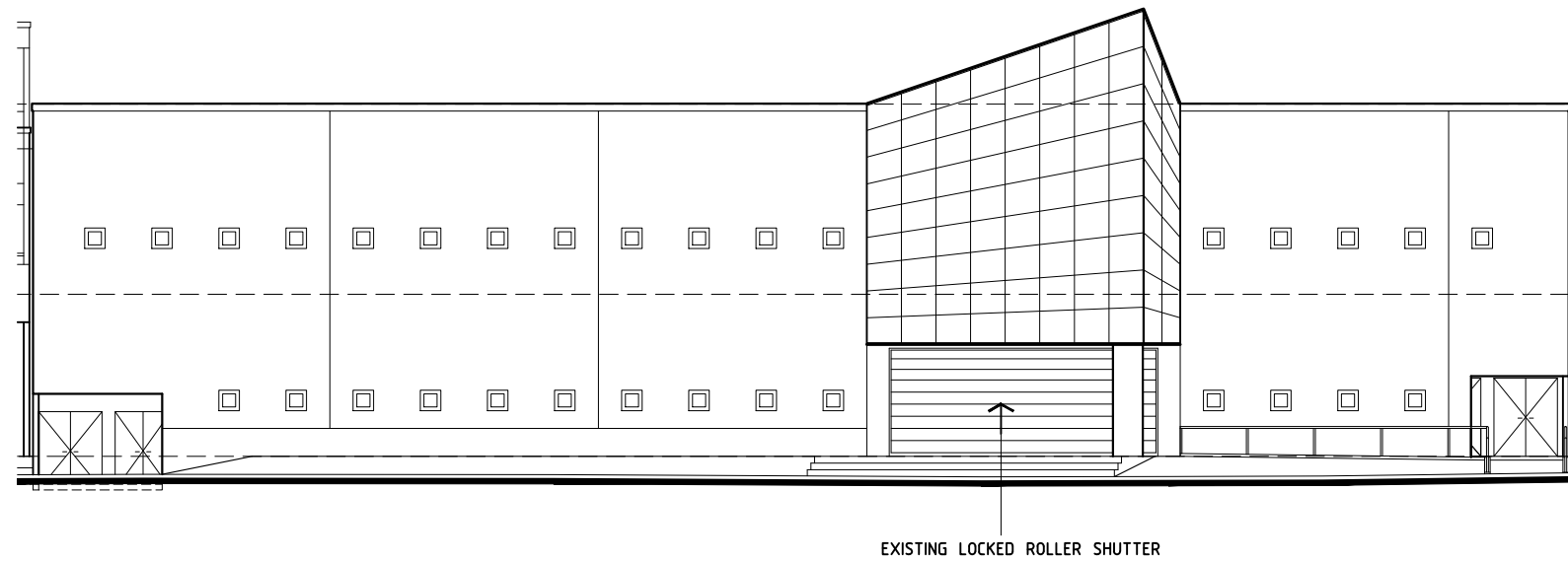
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1013

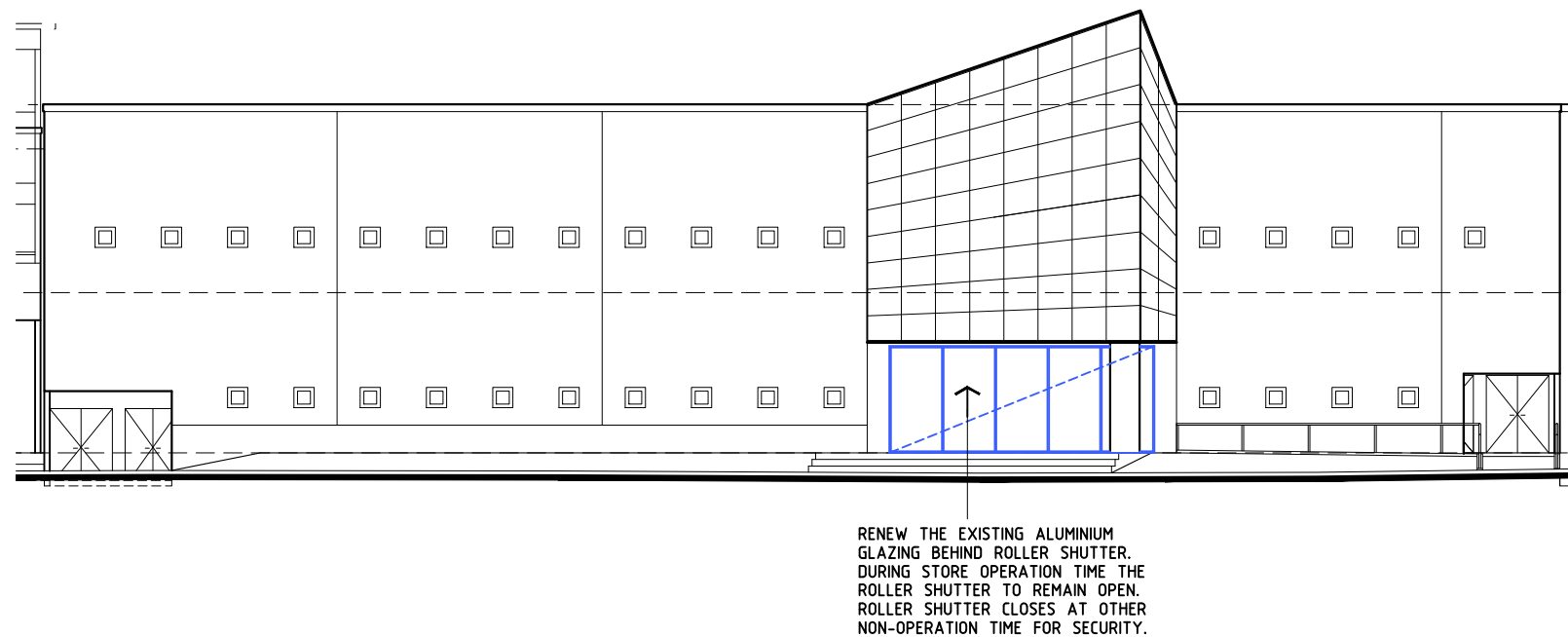
2 PROPOSED GROUND FLOOR PLAN - CONDAMINE ST. STORE ENTRY
SCALE 1:200 @ A3

RENEW THE EXISTING ALUMINIUM GLAZING BEHIND ROLLER SHUTTER. DURING STORE OPERATION TIME THE ROLLER SHUTTER TO REMAIN OPEN. ROLLER SHUTTER CLOSES AT OTHER NON-OPERATION TIME FOR SECURITY.

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 EXISTING CONDAMINE STREET ELEVATION (NON-OPERATIONAL)
SCALE 1:200 @ A3



2 PROPOSED CONDAMINE STREET ELEVATION (OPERATIONAL)
SCALE 1:200 @ A3

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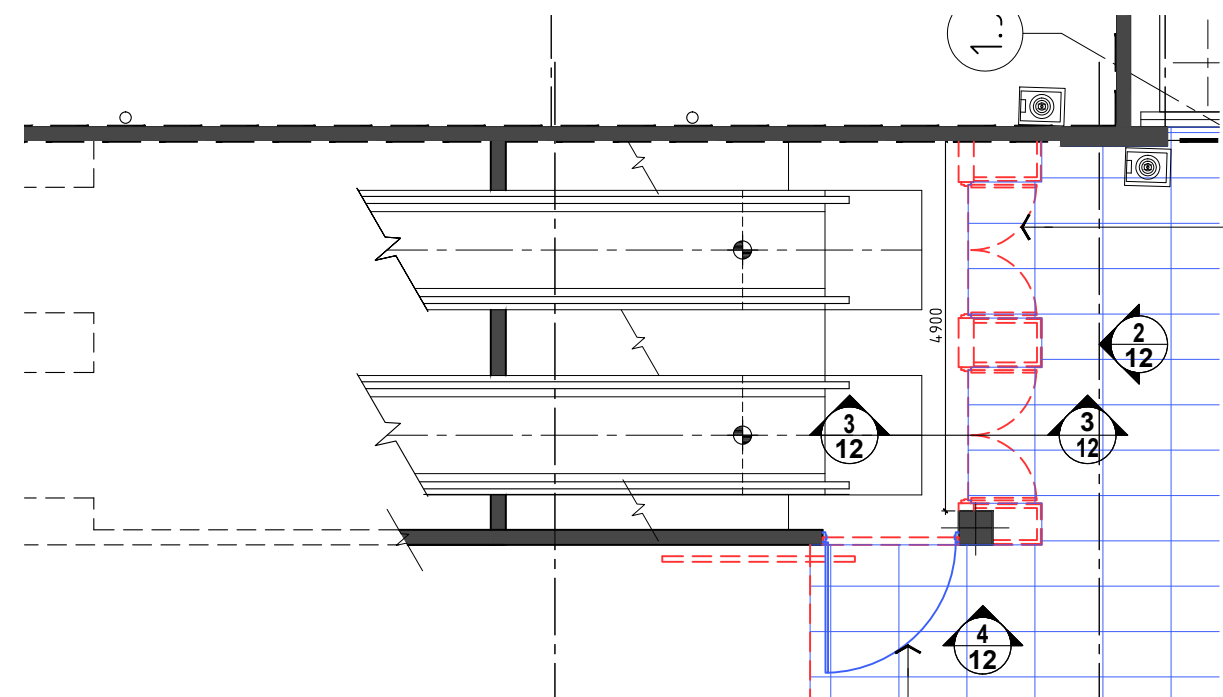
DA2021/1013

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

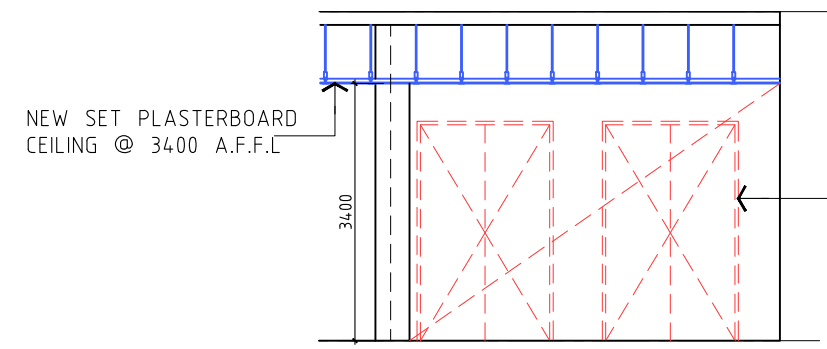
DA2021/1013



PROPOSED REMOVAL OF EXISTING WALL PANEL AND FIRE DOORS TO STRUCTURAL ENG'S DETAILS & PROPOSED INSTALLING NEW FIRE SHUTTER WITH DRENCHERS TO FIRE ENG'S DETAILS

1
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - PLAN
SCALE 1:100 @ A3

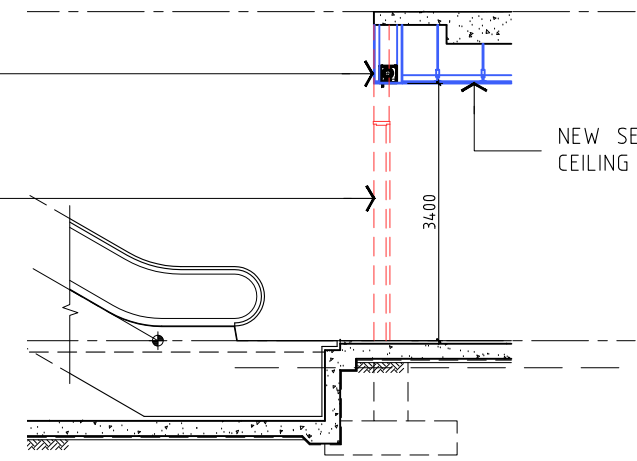
PROPOSED REMOVAL OF EXISTING WINDOW & WALL AND EXISTING FIRE SLIDER & REPLACED WITH NEW GLAZED FIRE DOOR WITH DRENCHERS TO FIRE ENG'S DETAILS



NEW FIRE RATED PLASTERBOARD BULKHEAD WITH FIRE RATED BOXING FOR NEW FIRE SHUTTER

PROPOSED REMOVAL OF EXISTING WALL PANEL AND FIRE DOORS TO STRUCTURAL ENG'S DETAILS & PROPOSED INSTALLING NEW FIRE SHUTTER WITH DRENCHERS TO FIRE ENG'S DETAILS

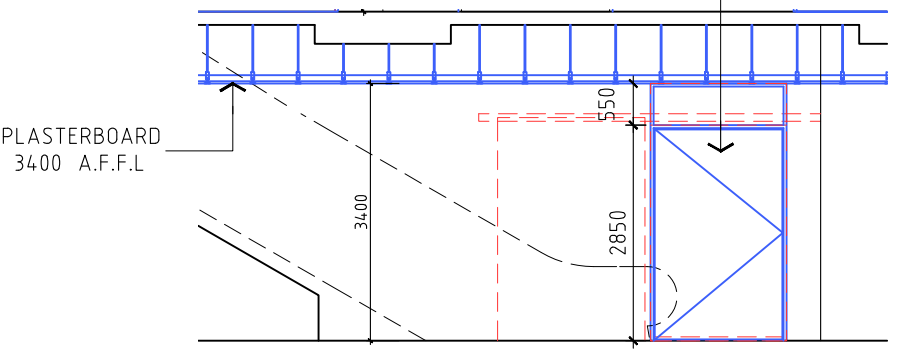
2
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - ELEVATION 1
SCALE 1:100 @ A3



NEW SET PLASTERBOARD CEILING @ 3400 A.F.F.L.

3
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - SECTION
SCALE 1:100 @ A3

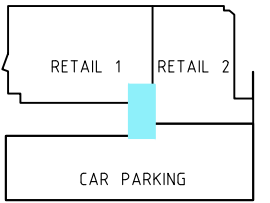
PROPOSED REMOVAL OF EXISTING WINDOW & WALL AND EXISTING FIRE SLIDER & REPLACED WITH NEW GLAZED FIRE DOOR WITH DRENCHERS TO FIRE ENG'S DETAILS



4
12 PROPOSED OPENING ON ESCALATOR ENCLOSURE - ELEVATION 2
SCALE 1:100 @ A3

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

KEY PLAN



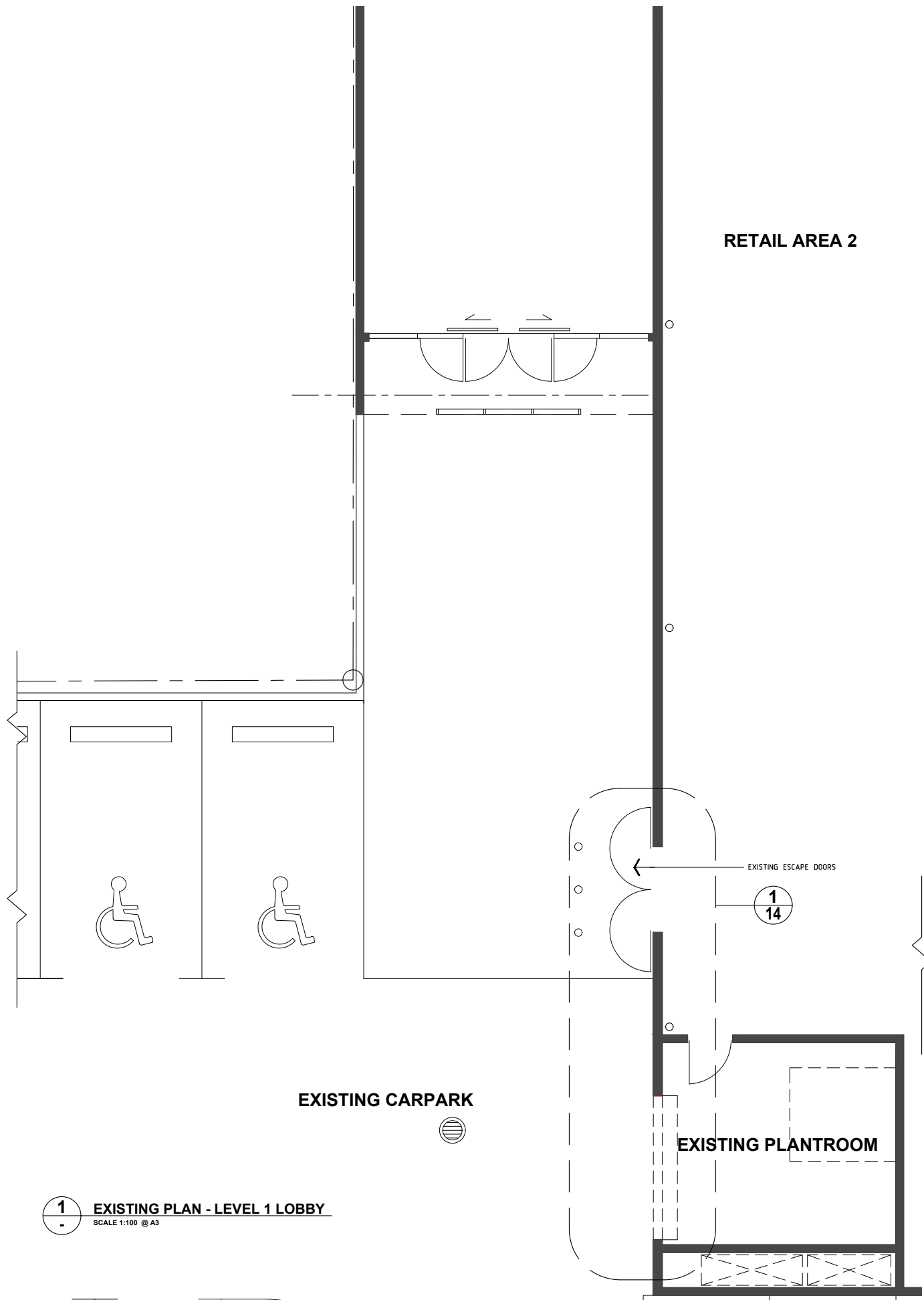
RETAIL AREA 2



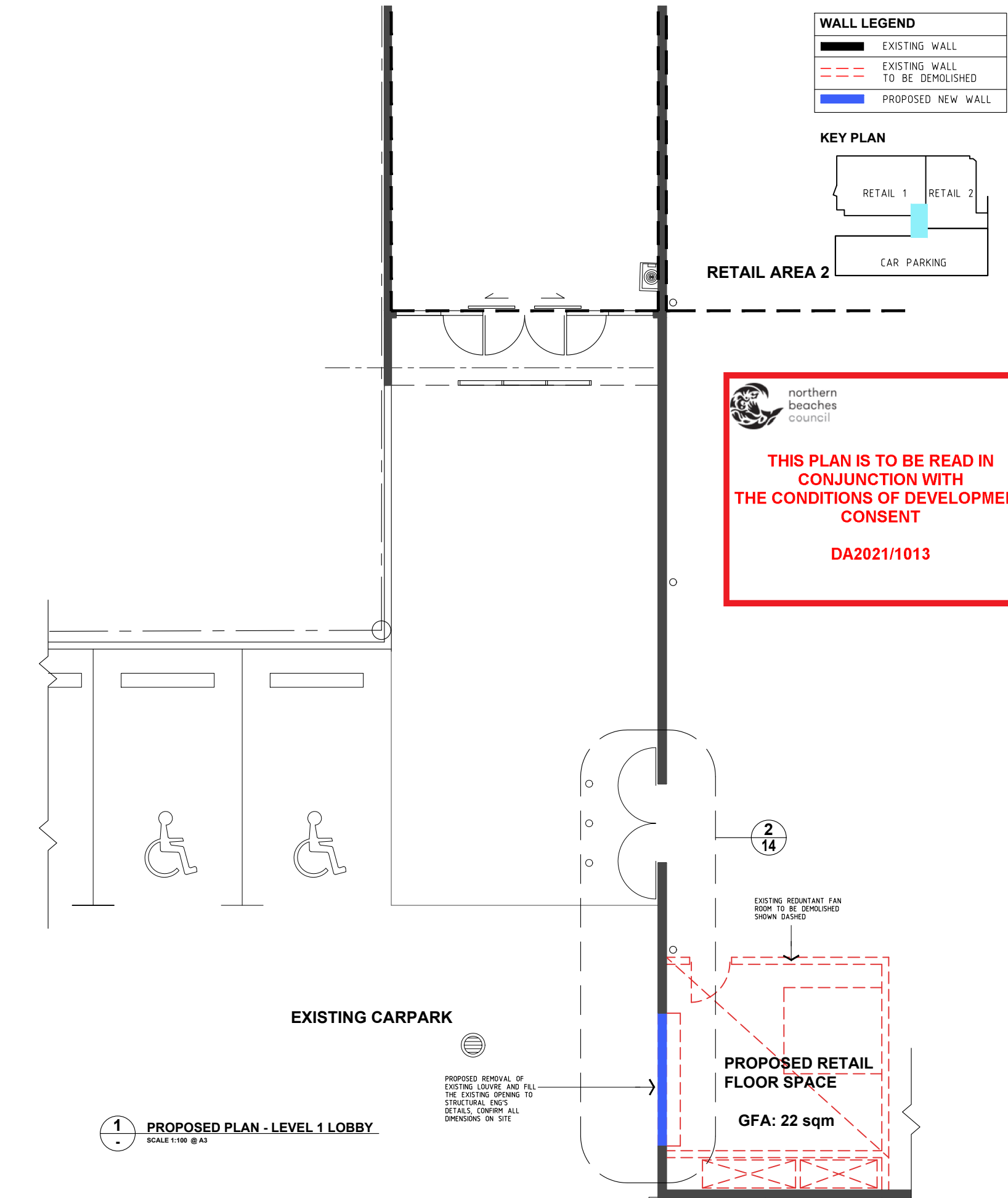
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1 EXISTING PLAN - LEVEL 1 LOBBY
SCALE 1:100 @ A3

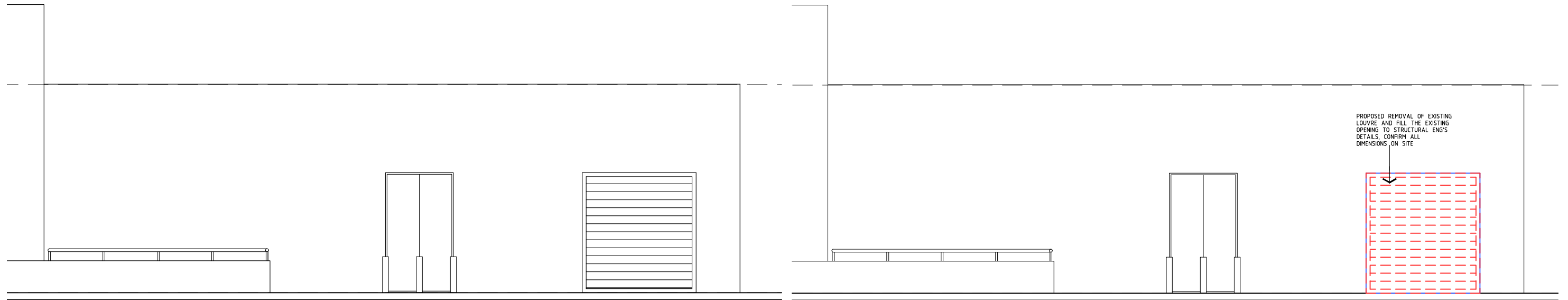
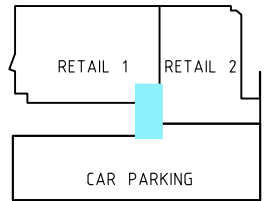


1 PROPOSED PLAN - LEVEL 1 LOBBY
SCALE 1:100 @ A3



WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

KEY PLAN



1 WEST ELEVATION - EXISTING
SCALE 1:100 @ A3

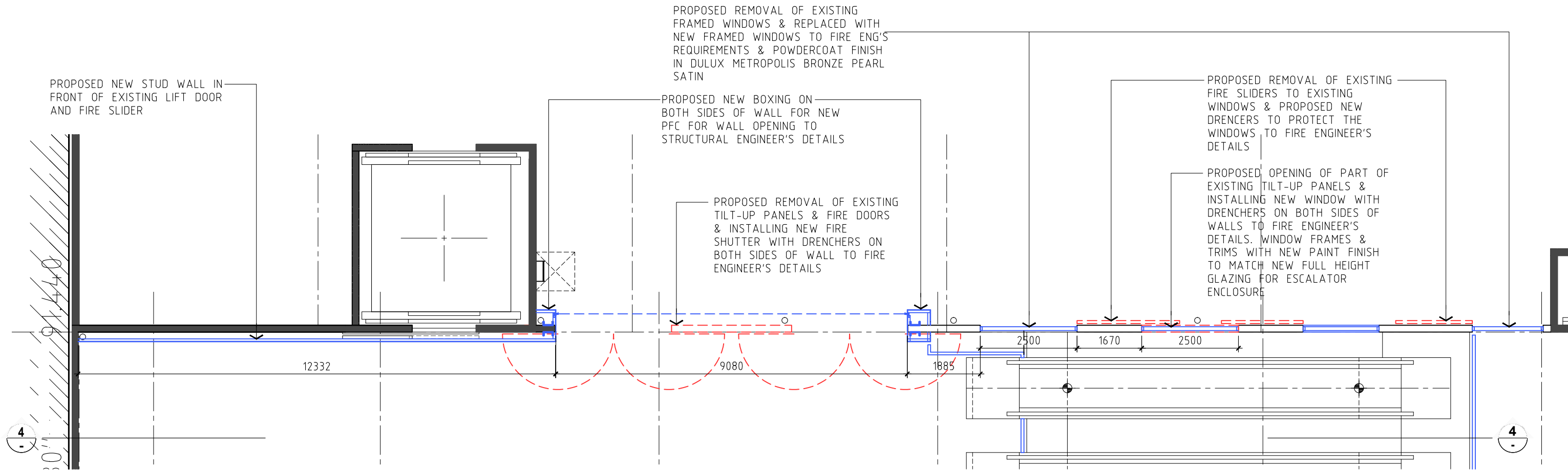
2 WEST ELEVATION
SCALE 1:100 @ A3



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/1013

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL

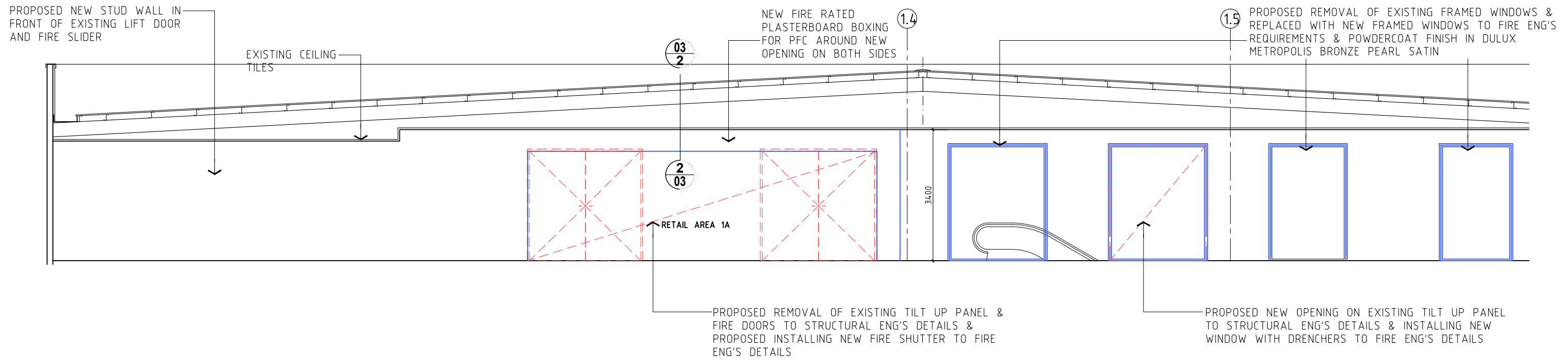


1 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - PLAN
SCALE 1:500 @ A3

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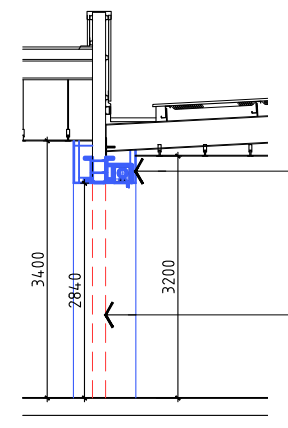


1 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - FRONT ELEVATION
SCALE 1:500 @ A3

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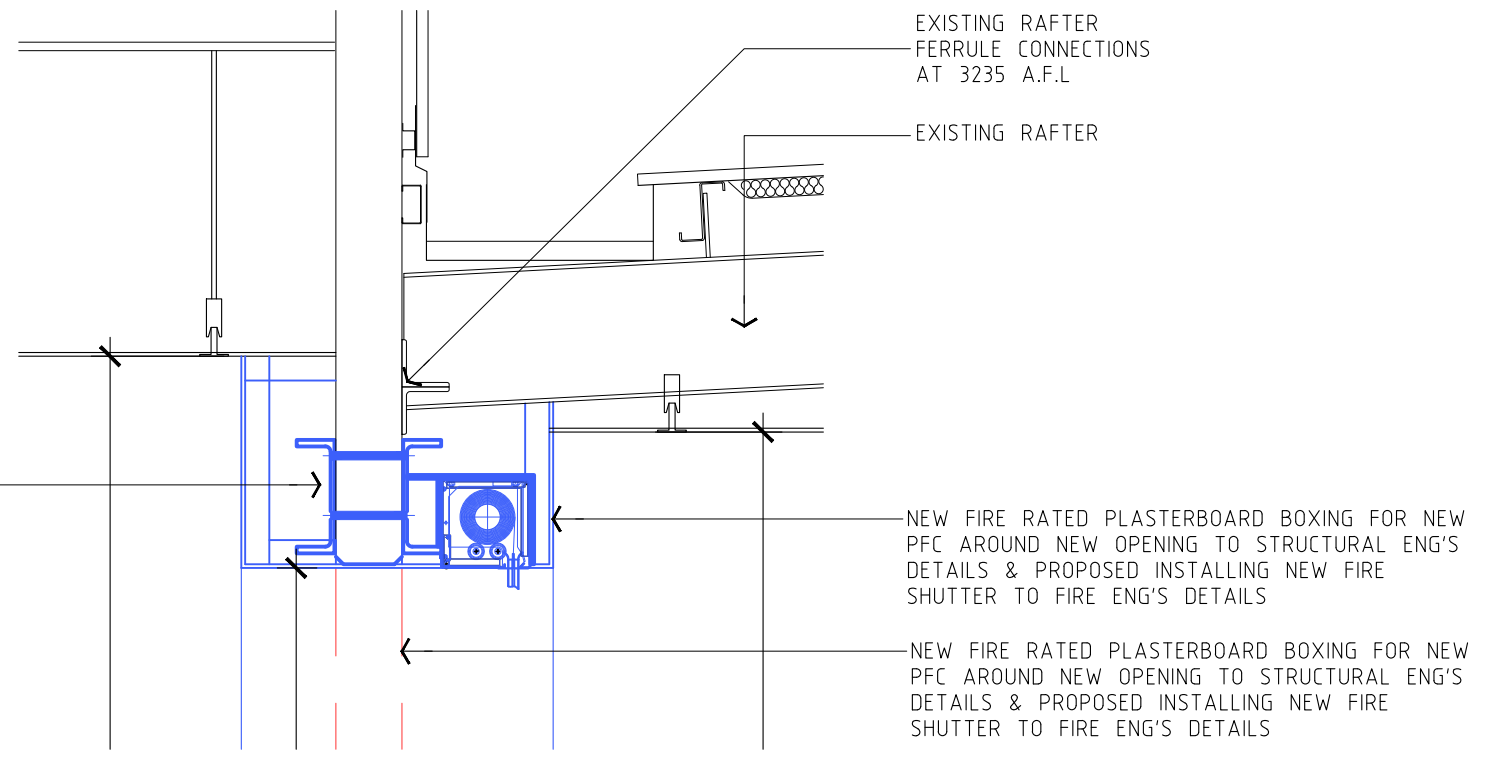
DA2021/1013



NEW FIRE RATED PLASTERBOARD BOXING FOR NEW PFC AROUND NEW OPENING TO STRUCTURAL ENG'S DETAILS & PROPOSED INSTALLING NEW FIRE SHUTTER TO FIRE ENG'S DETAILS

PROPOSED REMOVAL OF EXISTING TILT UP PANEL & FIRE DOORS TO STRUCTURAL ENG'S DETAILS

2 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - SECTION 1
SCALE 1:500 @ A3






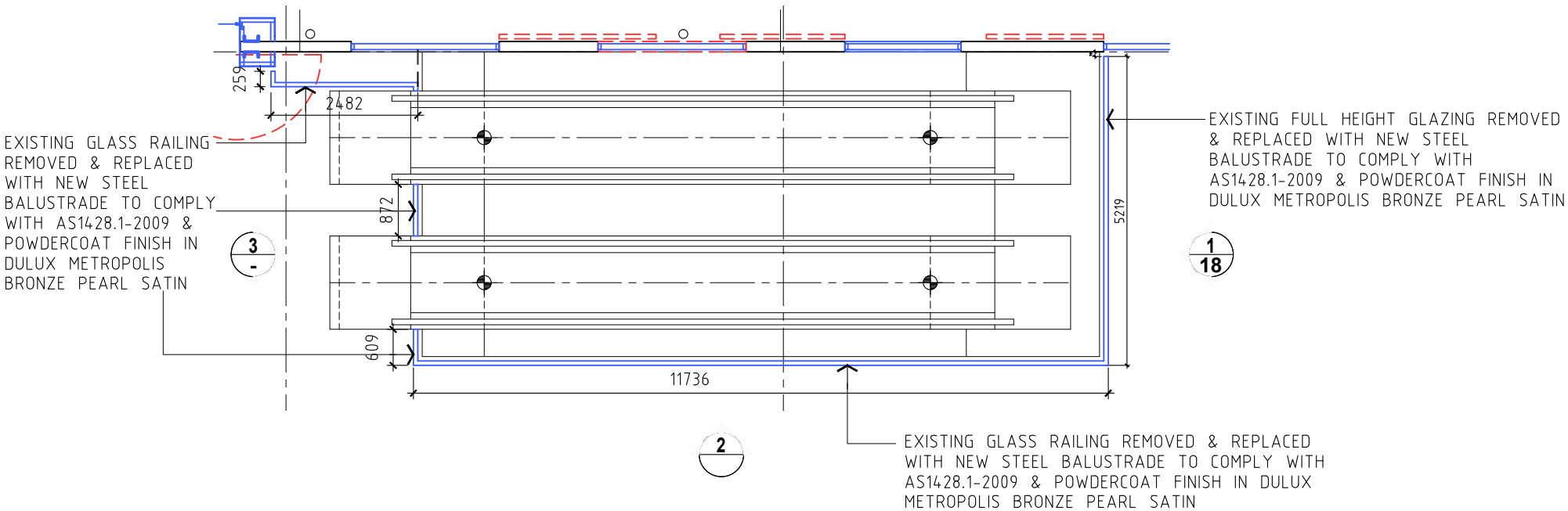
3 PROPOSED LEVEL 1 OPENINGS ON EXISTING WALL - SECTION DETAILS
SCALE 1:500 @ A3

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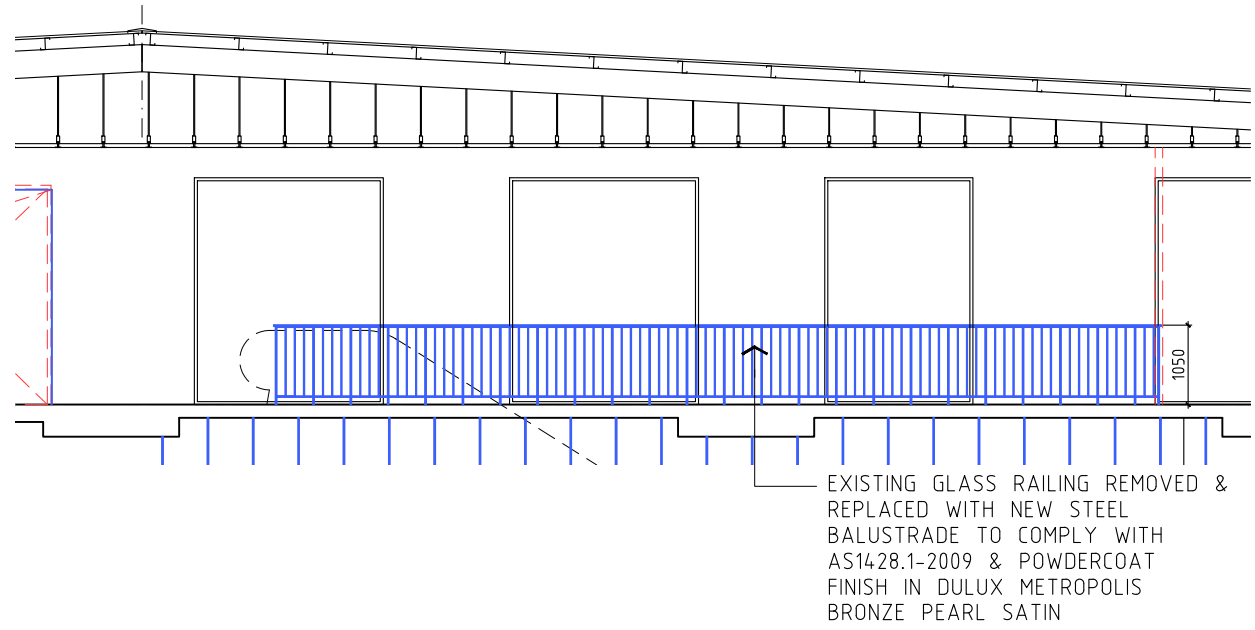
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DA2021/1013

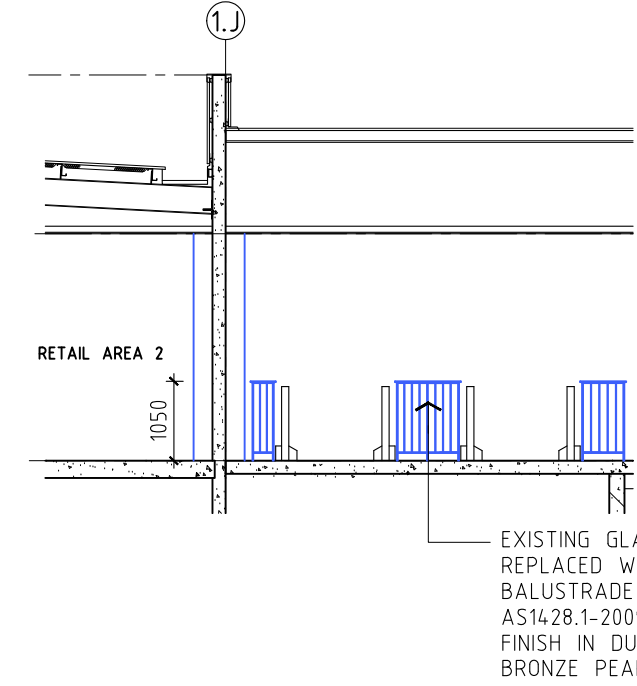
WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - PLAN
SCALE 1:100 @ A3

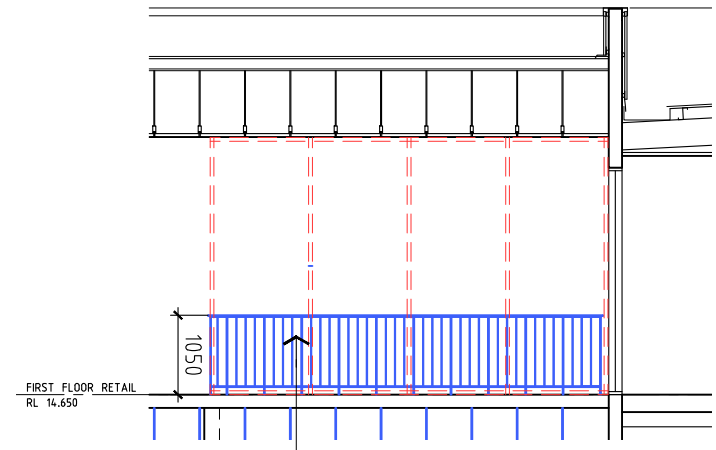


2 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 1
SCALE 1:100 @ A3



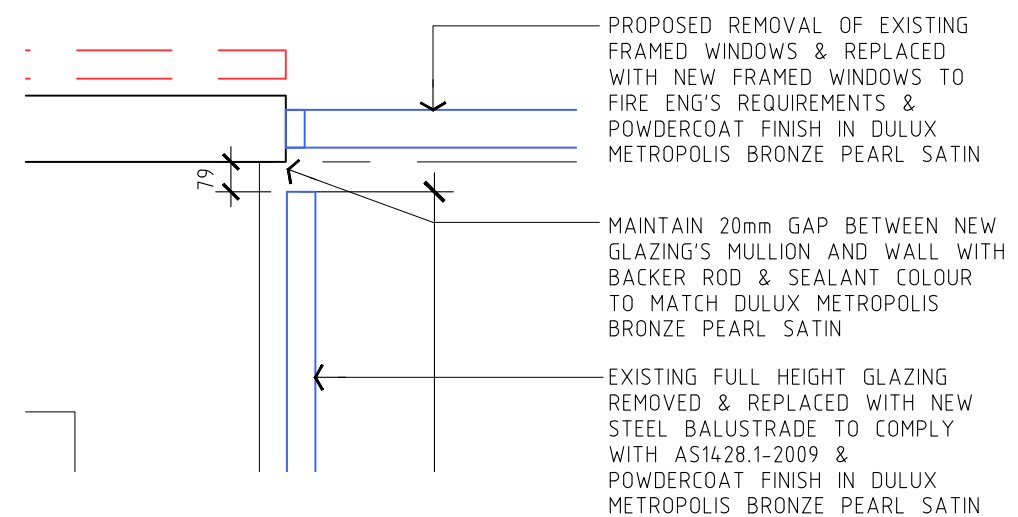
3 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 2
SCALE 1:100 @ A3

WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



EXISTING FULL HEIGHT GLAZING REMOVED & REPLACED WITH NEW STEEL BALUSTRADE TO COMPLY WITH AS1428.1-2009 & POWDERCOAT FINISH IN DULUX METROPOLIS BRONZE PEARL SATIN

1 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - ELEVATION 3
SCALE 1:100 @ A3



PROPOSED REMOVAL OF EXISTING FRAMED WINDOWS & REPLACED WITH NEW FRAMED WINDOWS TO FIRE ENG'S REQUIREMENTS & POWDERCOAT FINISH IN DULUX METROPOLIS BRONZE PEARL SATIN

MAINTAIN 20mm GAP BETWEEN NEW GLAZING'S MULLION AND WALL WITH BACKER ROD & SEALANT COLOUR TO MATCH DULUX METROPOLIS BRONZE PEARL SATIN

EXISTING FULL HEIGHT GLAZING REMOVED & REPLACED WITH NEW STEEL BALUSTRADE TO COMPLY WITH AS1428.1-2009 & POWDERCOAT FINISH IN DULUX METROPOLIS BRONZE PEARL SATIN

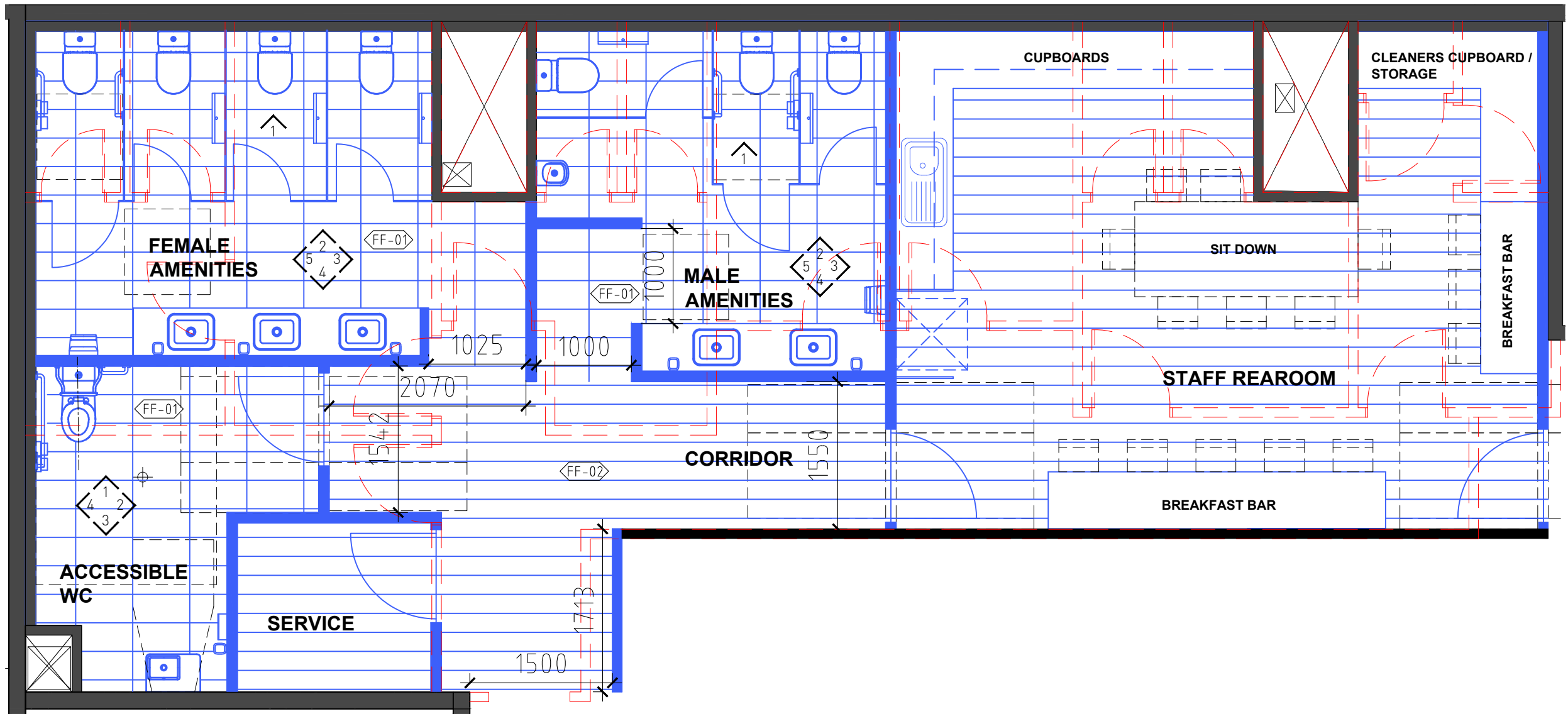
2 PROPOSED BALUSTRADE ON LEVEL 1 ESCALATOR VOID - JUNCTION DETAIL 1
SCALE 1:20 @ A3

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WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



1 LEVEL 1 AMENITIES UPGRADE
SCALE 1:50 @ A3

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