

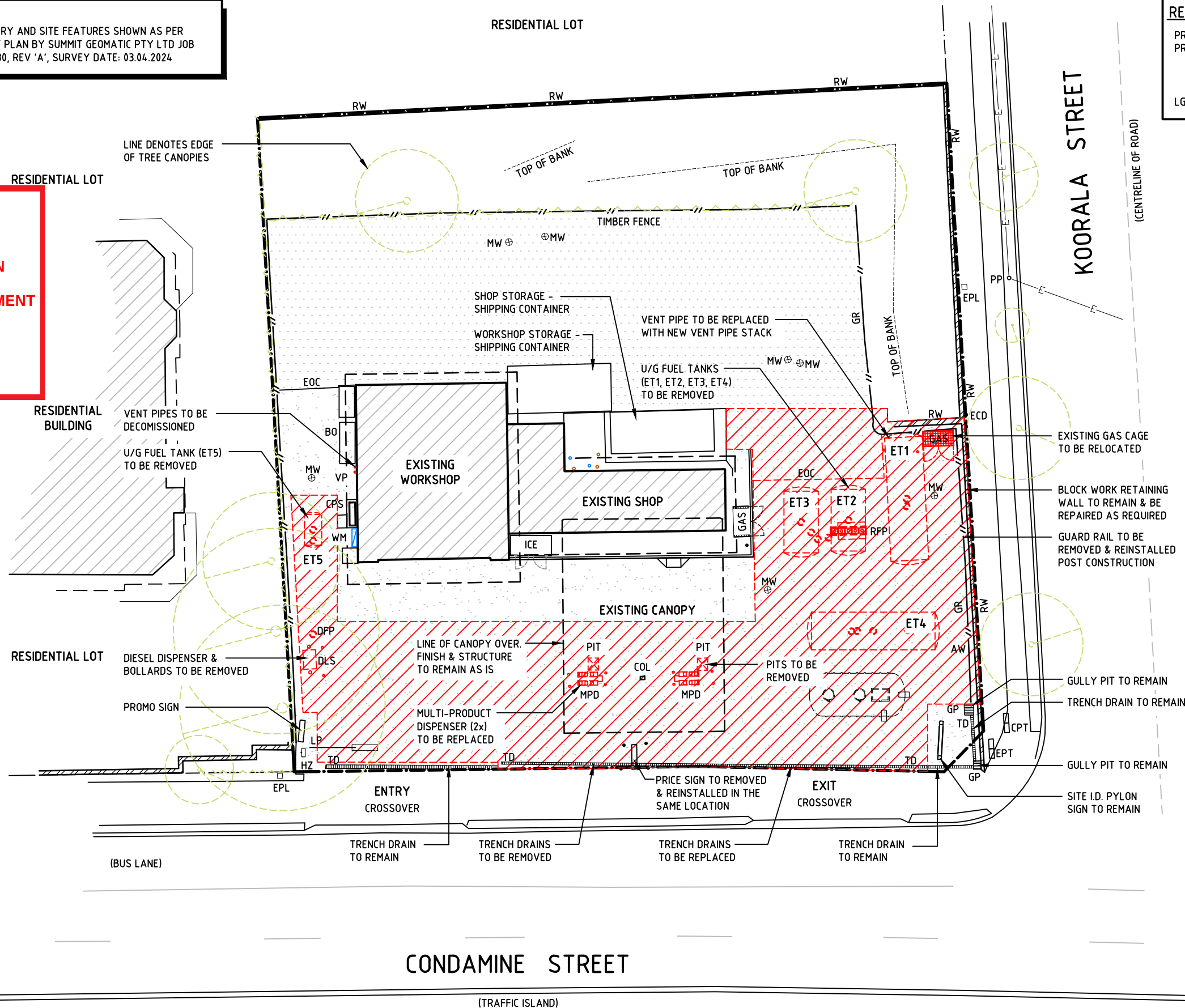
NOTE:  
BOUNDARY AND SITE FEATURES SHOWN AS PER  
SURVEY PLAN BY SUMMIT GEOMATIC PTY LTD JOB  
REF: 7080, REV 'A', SURVEY DATE: 03.04.2024



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2024/1145



#### REAL PROPERTY DESCRIPTION:

PROPERTY NAME: AMPOL - MANLY VALE  
PROPERTY ADDRESS: 236-238 CONDOMINE STREET,  
MANLY VALE, NSW, 22093  
LOT 23 ON DP819441  
1570.0m<sup>2</sup>  
LGA: NORTHERN BEACHES COUNCIL

#### LEGEND

AW	AIR & WATER POINT
BO	BULK OIL STORAGE
CPS	CAOLESING PLATE SEPARATOR
CPT	COMMUNICATIONS PIT
COL	CANOPY COLUMN
DFP	DIRECT FUEL FILL POINT
DLS	DIESEL DISPENSER
ECD	ELECTRICAL CONDUIT
EPL	ELECTRICAL PILLAR
EPT	ELECTRICAL PIT
EOC	EDGE OF CONCRETE
GAS	LPG GAS BOTTLE CAGE
GP	GULLY PIT
GR	GUARD RAIL
HZ	HAZMAT BOX
ICE	ICE BOX
LP	LIGHT POLE
MPD	MULTI-PRODUCT DISPENSER
MW	MONITORING WELL
PIT	UNKNOWN PIT
PP	POWER POLE
RFP	REMOTE FUEL FILL POINT
RW	BLOCK WORK RETAINING WALL
TD	TRENCH DRAIN
VP	VENT PIPE/S
WM	WATER METER
E	A/G POWER LINE

EXTENT OF CONCRETE/PAVEMENT  
TO BE DEMOLISHED

#### NOTES

- FOR DEVELOPMENT APPLICATION ONLY - NOT  
FOR TENDER OR CONSTRUCTION
- CONTRACTOR TO CONFIRM EXISTING SERVICES  
PRIOR TO DEMOLITION & CONSTRUCTION WORKS.

#### DEMOLITION NOTES

- ALL BUILDINGS & STRUCTURES TO BE DEMOLISHED  
AND REMOVED FROM SITE, INCLUDING DISUSED  
MATERIALS, BOLLARDS, GUARD RAILS.
- ANY EXISTING UNDERGROUND FUEL LINES OR  
TANKS TO BE REMOVED IN STRICT ACCORDANCE  
WITH THE WORK HEALTH & SAFETY ACT 2011  
REGULATIONS 366 & 367. ANY EXISTING  
UNDERGROUND FUEL TANKS TO BE PREPARED AS  
PER AS4976 FOR REMOVAL & DESTRUCTION.  
CERTIFICATE OF DESTRUCTION TO BE ISSUED UPON  
COMPLETION.
- EXISTING OVERHEAD POWER LINE TO STREET  
LIGHT ON BOURKE STREET. CONTRACTOR TO  
CO-ORDINATE WITH COUNCIL / ESSENTIAL ENERGY  
TO REMOVE AND REINSTATE OR RELOCATE TO  
ALLOW EXCAVATION AND LIFTING WORKS.



PROJ. No.: 24209 Appr.



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REV.	BY	DATE	DESCRIPTION OF CHANGE
A	MAF	10.05.24	D.A. ISSUE
B	MAF	07.08.24	D.A. ISSUE - AMENDED DEMOLITION EXTENT CHANGED
C	MAF	19.08.24	D.A. ISSUE - AMENDED NORTH POINT RE-ORIENTED

REVISION

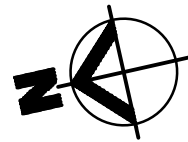
PROJECT

MANLY VALE - 22259  
236-238 CONDOMINE STREET  
MANLY VALE NSW 2093

TITLE

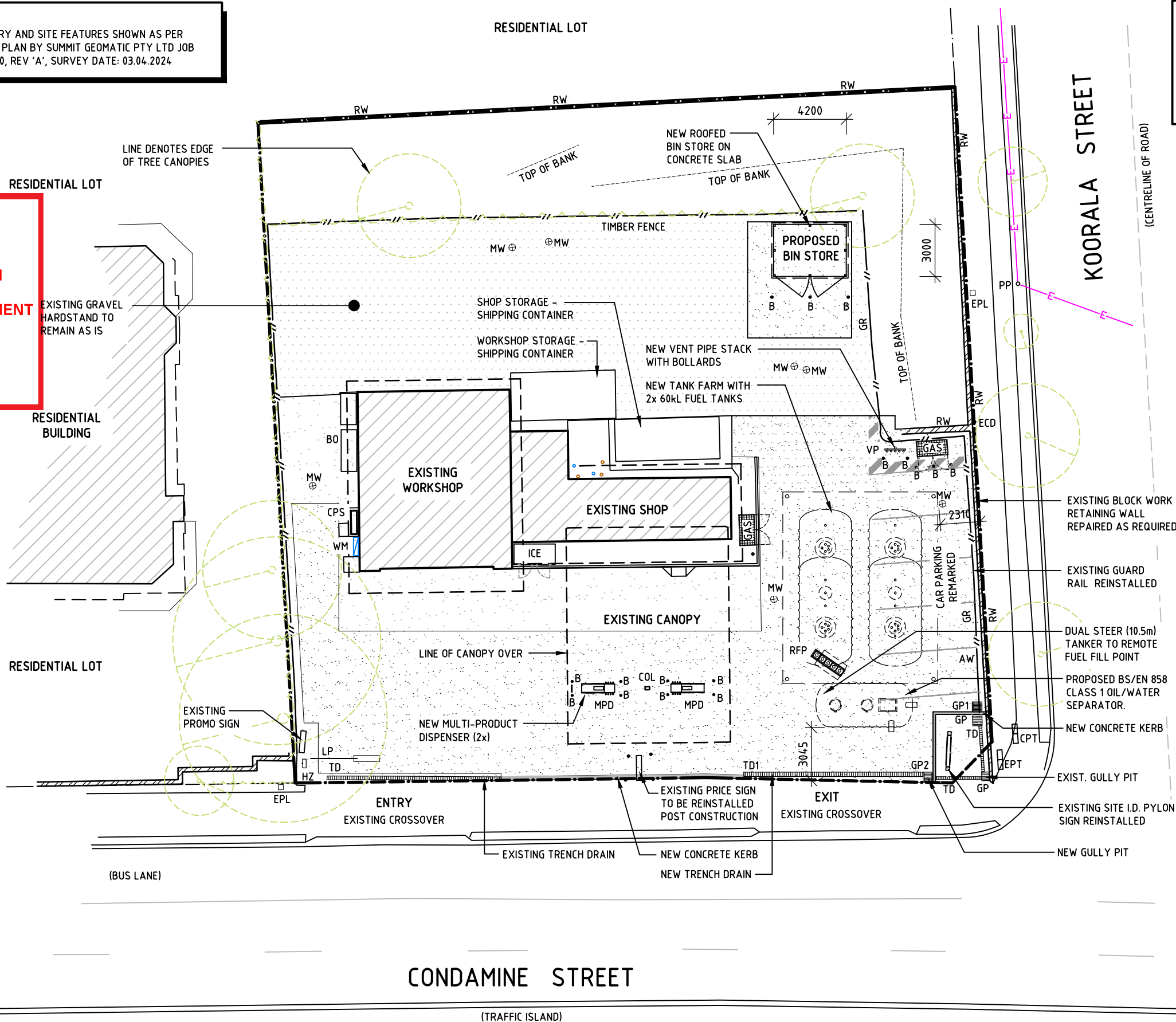
PROPOSED DEMOLITION PLAN

DRAWN	DATE	APPROVED	DATE
MAF	09.05.24		
SCALE	SIZE	DRAWING No.	REV.
1:250	A3	22259-D03	C



NOTE:  
BOUNDARY AND SITE FEATURES SHOWN AS PER  
SURVEY PLAN BY SUMMIT GEOMATIC PTY LTD JOB  
REF: 7080, REV 'A', SURVEY DATE: 03.04.2024

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT  
  
DA2024/1145

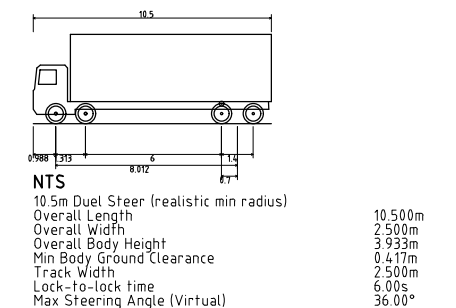


REAL PROPERTY DESCRIPTION:  
PROPERTY NAME: AMPOL - MANLY VALE  
PROPERTY ADDRESS: 236-238 CONDAMINE STREET,  
MANLY VALE, NSW, 22093  
LOT 23 ON DP819441  
1570.0m<sup>2</sup>  
LGA: NORTHERN BEACHES COUNCIL

LEGEND - EXISTING  
AW AIR & WATER POINT  
BO BULK OIL STORAGE  
CPS CAOLSCING PLATE SEPARATOR  
CPT COMMUNICATIONS PIT  
COL CANOPY COLUMN  
ECD ELECTRICAL CONDUIT  
EPL ELECTRICAL PILLAR  
EPT ELECTRICAL PIT  
GAS LPG GAS BOTTLE CAGE  
GP GULLY PIT  
GR GUARD RAIL  
HZ HAZMAT BOX  
ICE ICE BOX  
LP LIGHT POLE  
MW MONITORING WELL  
PP POWER POLE  
RW BLOCK WORK RETAINING WALL  
TD TRENCH DRAIN - OILY WATER  
WM WATER METER  
E A/G POWER LINE

LEGEND - NEW  
B 100Ø METAL BOLLARD  
GP1 GULLY PIT - STORMWATER  
GP2 GULLY PIT - OILY WATER  
MPD MULTI-PRODUCT DISPENSER  
(8 HOSE)  
RFP REMOTE FUEL FILL POINT  
TD1 TRENCH DRAIN - OILY WATER  
VP FUEL VENT PIPE STACK  
  
APPROX. EXTENT OF NEW CONCRETE

NOTES  
1. FOR DEVELOPMENT APPLICATION ONLY -  
NOT FOR TENDER OR CONSTRUCTION  
2. CONTRACTOR TO CONFIRM EXISTING  
SERVICES PRIOR TO DEMOLITION &  
CONSTRUCTION WORKS.



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REV.	BY	DATE	DESCRIPTION OF CHANGE
B	MAF	29.05.24	D.A. ISSUE - AMENDED
C	MAF	07.08.24	D.A. ISSUE - AMENDED NEW KERBS, GULLY PITS & TRENCH DRAIN. NOTES.
D	MAF	19.08.24	D.A. ISSUE - AMENDED NOTES, NORTH POINT RE-ORIENTATED, BIN STORE DIMENSIONED.

REVISION

PROJECT

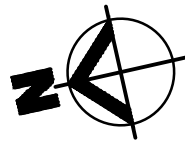
MANLY VALE - 22259  
236-238 CONDAMINE STREET  
MANLY VALE NSW 2093

TITLE

PROPOSED SITE PLAN  
& TANKER PATH

DRAWN	DATE	APPROVED	DATE
MAF	09.05.24		
SCALE	SIZE	DRAWING No.	REV.
1:250	A3	22259-D04	D

DEVELOPMENT  
APPLICATION



NOTE:  
BOUNDARY AND SITE FEATURES SHOWN AS PER  
SURVEY PLAN BY SUMMIT GEOMATIC PTY LTD JOB  
REF: 7080, REV 'A', SURVEY DATE: 03.04.2024

RESIDENTIAL LOT

REAL PROPERTY DESCRIPTION:

PROPERTY NAME: AMPOL - MANLY VALE  
PROPERTY ADDRESS: 236-238 CONdamine STREET,  
MANLY VALE, NSW, 22093  
LOT 23 ON DP819441  
1570.0m<sup>2</sup>  
LGA: NORTHERN BEACHES COUNCIL

LEGEND

- GP GULLY PIT  
MPD MULTI-PRODUCT DISPENSER  
RFP REMOTE FUEL FILL POINT  
TD TRENCH DRAIN  
VP FUEL VENT PIPES
- PROPOSED OILY WATER LINE  
WITH DRAIN DIRECTION
- DIRECTION OF SURFACE FALL
- PROPOSED TREATED WATER LINE  
WITH DRAIN DIRECTION

NOTES

- LEVELS TO BE DETERMINED AT DETAILED DESIGN STAGE FOLLOWING COUNCIL DEVELOPMENT CONSENT.
- THE PAVEMENT WORKS REQUIRED FOR REPLACEMENT OF EXISTING UNDERGROUND FUEL SYSTEM WILL BE LIMITED TO THE MINIMUM AREAS AS DEPICTED ON THE DRAWINGS.
- FUEL DISPENSING AREAS WILL BE UPGRADED TO INCORPORATE SMOOTH BUNDED CATCHMENT AREAS THAT DRAIN TO THE NOMINATED OILY WATER COLLECTION & TREATMENT SYSTEM.
- ALL EDGES OF NEW REPLACEMENT PAVEMENT WORKS WILL TIE INTO EXISTING PAVEMENTS & EXISTING LEVEL & GRADES WILL HAVE A SMOOTH TRANSITION.
- FINAL LOCATION OF U/G OILY WATER SEPARATOR TO BE DETERMINED AT DETAIL DESIGN STAGE.
- FOR DEVELOPMENT APPLICATION ONLY - NOT FOR TENDER OR CONSTRUCTION
- CONTRACTOR TO CONFIRM EXISTING SERVICES PRIOR TO DEMOLITION & CONSTRUCTION WORKS.

RESIDENTIAL LOT

RESIDENTIAL BUILDING

RESIDENTIAL LOT

KOORALA STREET  
(CENTRELINE OF ROAD)

CONDAMINE STREET  
(TRAFFIC ISLAND)



PROJ. No.: 24209 Appr.



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REV.	BY	DATE	DESCRIPTION OF CHANGE
D	MAF	07.08.24	D.A. ISSUE - AMENDED, NEW KERB, GULLY PITS, TRENCH DRAIN & OILY WATER LINE.
E	MAF	15.08.24	D.A. ISSUE - AMENDED, SURFACE FALL LINES ADDED.
F	MAF	19.08.24	D.A. ISSUE - AMENDED, NORTH POINT RE-ORIENTED.
REVISION			

PROJECT

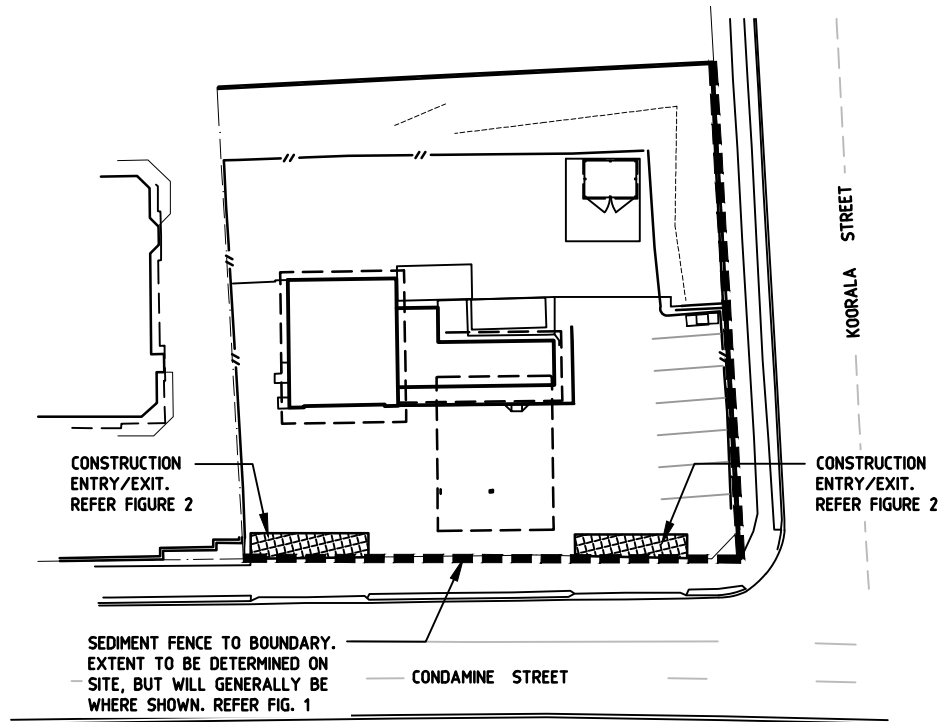
MANLY VALE - 22259  
236-238 CONdamine STREET  
MANLY VALE NSW 2093

TITLE

CONCEPTUAL STORMWATER  
MANAGEMENT PLAN


DRAWN	DATE	APPROVED	DATE
MAF	09.05.24		
SCALE	SIZE	DRAWING No.	REV.
1:250	A3	22259-D05	F





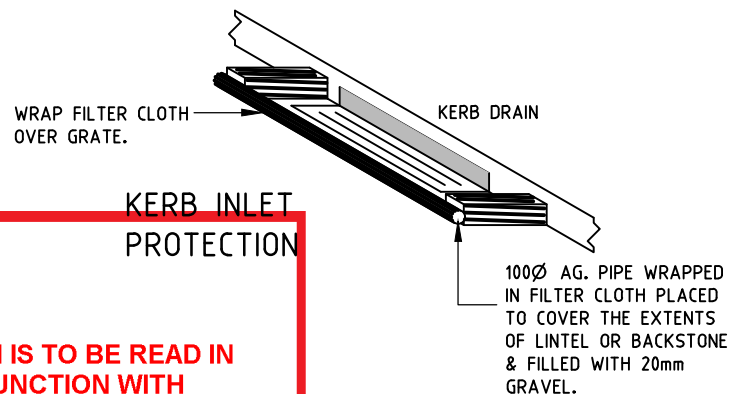
**A SITE PLAN**  
- NTS

**LEGEND**

 AREA DEFINING EXTENT OF WORKS TO HAVE SEDIMENT AND EROSION CONTROLS INSTALLED

**NOTES:**

1. BUNDING TO BE POSITIONED AS REQUIRED TO SUIT WORKING & COUNCIL REQUIREMENTS SO AS NOT TO CAUSE NUISANCE & POLLUTION TO COUNCIL FOOTWAYS & ASSOCIATED AREAS.
2. SECURE & CLEAN ALL WORK AREAS AT COMPLETION OF EACH DAY.
3. SITE ACCESS POINTS ARE TO BE CONTROLLED BY THE BUILDER WHO IS TO ENSURE TEMPORARY REMOVAL & REPLACEMENT OF SILTATION CONTROL METHODS AREA SUFFICIENT TO ENSURE COMPLIANCE WITH THESE CONTROLS.
4. SILT FENCE SHALL NOT BE REMOVED UNTIL SITE HAS BEEN PAVED & SURFACED. BUNDWALLS SHALL BE LOCATED AROUND ALL PITS & MAINTAINED UNTIL THE CATCHMENT AREA HAS BEEN PAVED.
5. KERB DRAIN EXCLUDER SHALL INCORPORATE TRAFFIC CONTROL BARRICADES IN ACCORDANCE WITH AS1742.3, & SHALL NOT BE PLACED UNTIL WORKS ARE BEING CARRIED OUT ON THE FOOTPATH AREA, OR AS OTHERWISE DIRECTED BY COUNCIL.
6. ALL SEDIMENT TRAPS, EXCLUDERS, BUNDWALLS SHALL BE INSPECTED & CLEANED AFTER EACH STORM EVENT. DAMAGED OR CLOGGED BUNDING ARE TO BE REMOVED AND REPLACED.
7. THE BUILDER SHALL CARRY OUT ANY ADDITIONAL WORKS DEEMED NECESSARY AND DIRECTED BY COUNCIL TO BE CARRIED OUT.
8. THE SEDIMENT CONTROL PLAN SHALL BE IMPLEMENTED PRIOR TO ANY WORKS BEING CARRIED OUT ON SITE.



**SEDIMENT AND EROSION CONTROL NOTES:**

**GENERAL**

1. ALL SEDIMENT & EROSION CONTROL MEASURES TO BE IN ACCORDANCE WITH LOCAL COUNCIL'S GUIDE LINES.

**PRIOR TO THE COMMENCEMENT OF CONSTRUCTION**

1. AVOID STRIPPING & EXCAVATING UNTIL READY TO BUILD.
2. INSTALL SEDIMENT FENCES.

**BULK EARTHWORKS**

1. AVOID STRIPPING & EXCAVATING UNTIL READY TO BUILD.
2. CONSTRUCTION OF AN ENTRY/EXIT POINT TO THE SITE SHALL BE MANAGED SO THAT SEDIMENT IS NOT TRACKED OFF THE SITE.
3. TOPSOIL SHALL BE STOCKPILED ON SITE FOR LATER USE.
4. WHERE PRACTICABLE MAINTAIN KERB VEGETATION IN A HEALTHY STATE DURING THE CONSTRUCTION PROCESS.
5. WHEN UP SLOPE WATER IS DIVERTED AROUND A WORK SITE IT SHALL BE DISCHARGED AS SHEET FLOW THROUGH AN UNDISTURBED AREA BESIDE THE WORKS.

**SERVICES TRENCHES**

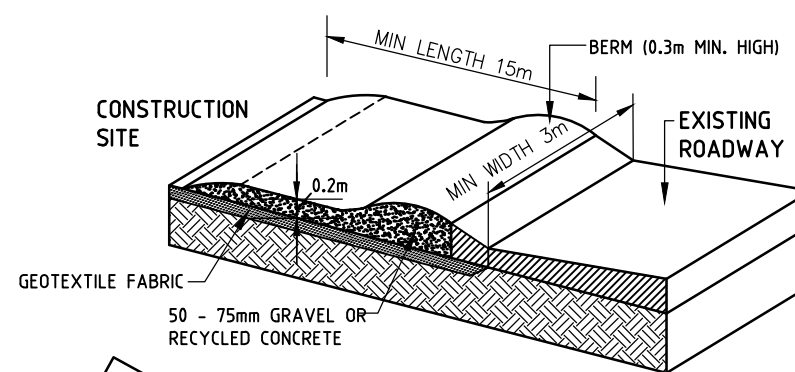
1. TO AVOID UNNECESSARY SOIL EROSION, SERVICE TRENCHES SHOULD BE BACK FILLED, CAPPED AND COMPACTED TO A LEVEL AT LEAST 75-100mm ABOVE THE ADJOINING GROUND LEVEL.

**BUILDING OPERATIONS**

1. ERODABLE MATERIAL MISTAKENLY PLACED WITHIN THE ROAD RESERVE (INCLUDING ACCIDENTAL SPILLAGE AND TRACKING OF SUCH MATERIALS ONTO THE ROAD) THAT CANNOT BE PREVENTED THROUGH REASONABLE MEANS, MUST BE:  
(a) REMOVED IMMEDIATELY IF RAINFALL IS IMMINENT OR OCCURRING.  
(b) REMOVED PRIOR TO THE END OF THE DAY'S WORK IF RAINFALL IS NOT EXPECTED.
2. MATERIALS SHOULD BE SWEEPED FROM THE ROAD, NOT WASHED DOWN THE GUTTER.
3. ALL SOLID WASTE SHALL BE STORED ON SITE IN SUCH A MANNER THAT IT IS PREVENTED FROM LEAVING THE SITE EITHER BY THE ACTION OF WIND OR WATER.
4. SMALLER MATERIALS, SUCH AS LITTER, SHOULD BE CONTAINED IN COVERED BINS OR LITTER TRAPS FORMED ON THREE SIDES BY A GEOTEXTILE WIND BREAK.
5. CONCRETE WASTE WASHED FROM TRUCKS AND MIXERS UNITS SHALL BE CONTAINED ON SITE AND SHALL NOT BE PLACED IN A POSITION WHERE IT COULD REASONABLY BE EXPECTED TO WASH FROM THE SITE AND HARM THE ENVIRONMENT.

**SITE REHABILITATION**

1. ALL GROUND DISTURBED BY THE CONSTRUCTION ACTIVITY SHOULD BE PROMPTLY AND PROGRESSIVELY STABILISED SO IT CAN NO LONGER ACT AS A SOURCE OF SEDIMENT.



**FIG. 2. - CONSTRUCTION EXIT/ENTRY**

**MAINTENANCE:**

1. THE ENTRANCE SHOULD BE MAINTAINED SO THAT IT PREVENTS TYRES FROM TRACKING.
2. DRESSING WITH ADDITIONAL AGGREGATE IF REQUIRED.
3. REGULARLY REMOVE SEDIMENT FROM ROADWAY.

**STOCKPILES**

1. STOCKPILES ARE NOT TO BE STORED ON THE FOOTPATH OR THE ROAD RESERVE, UNLESS APPROVED BY COUNCIL.
2. WHERE NECESSARY STOCKPILE LOSSES CAN BE MINIMISED WITH THE USE OF COVERS.
3. ALL STOCKPILES AND BUILDING MATERIAL SHOULD BE LOCATED WITHIN THE SEDIMENT CONTROL ZONE.
4. TO MINIMISE EROSION AND THE LOSS OF SAND AND SOIL, STOCKPILES SHALL NOT BE LOCATED WITHIN AN OVERLAND FLOW PATH. IF IT IS IMPRACTICAL TO AVOID STORMWATER RUNOFF BEING DIRECTED TO A STOCKPILE, THEN A PERIMETER BANK SHALL BE CONSTRUCTED UP SLOPE OF THE STOCKPILE TO DIRECT RUNOFF IN A CONTROLLED MANNER AROUND THE STOCKPILE.

**SEDIMENT BARRIERS**

**SEDIMENT FENCE**

- INSTALL SEDIMENT FENCE(S) ALONG THE LOW SIDE OF THE SITE, AND IDEALLY ALONG A LINE OF CONSTANT LAND LEVEL TO PREVENT THE CONCENTRATION OF STORMWATER RUNOFF.  
IN AREAS WHERE IT IS EITHER UNDESIRABLE OR IMPRACTICAL TO BURY THE LOWER EDGE OF THE SEDIMENT FENCE, THE LOWER 200mm (MIN) PORTION OF THE FABRIC SHOULD BE PLACED ON THE GROUND UP SLOPE OF THE FENCE AND BURIED UNDER A 100mm (MIN) LAYER OF AGGREGATE.  
SEDIMENT FENCES ON BUILDING SITES CAN BE STAPLED TO APPROXIMATELY 40mm SQUARE HARDWOOD POSTS OR WIRE TIED TO STEEL POSTS.

**FIELD INLET GULLIES**

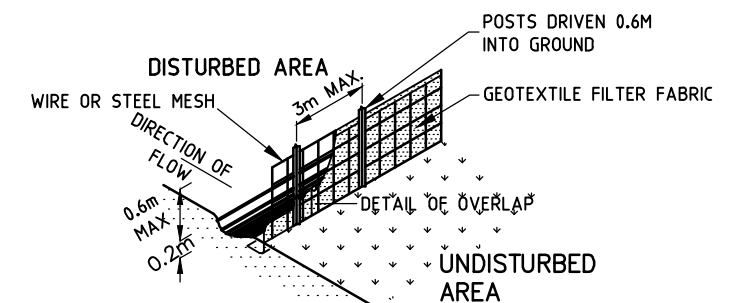
- SEDIMENT CONTROLS FOR STORMWATER INLETS LOCATED WITHIN THE PROPERTY BOUNDARIES MAY CONSIST OF GEOTEXTILE FABRIC PLACED EITHER DIRECTLY OVER THE GRATED INLET OR AROUND THE INLET SUPPORTED BY A TIMBER FRAME. FIELD INLET PROTECTION IS NECESSARY WHERE INLETS DRAIN AREAS OF BARE AND UNPROTECTED SOIL. DURING STORMS, PONDING SHALL BE ALLOWED TO OCCUR AROUND THE STORMWATER INLET TO ASSIST IN THE SETTLING OUT OF SEDIMENTS.

**PAVEMENT INLET GULLY**

- A ROADSIDE INLET BARRIER IS TO BE INSTALLED, SO THAT IT SHALL NOT BE ALLOWED TO FULLY BLOCK THE INLET STRUCTURE.  
ON A HILLSIDE, SEDIMENT BARRIERS MAY CONSIST OF A TEMPORARY DAM CONSTRUCTED FROM SAND AND GRAVEL BAGS AT LEAST 4 METRES UP SLOPE FROM THE GULLY INLET.

**MAINTENANCE**

1. SEDIMENT FENCES SHOULD BE REPLACED IF THE FABRIC IS RIPPED OR OTHERWISE DAMAGED. THE MAINTENANCE OF THE SEDIMENT FENCES INCLUDES THE REMOVAL OF SEDIMENT DEPOSITED UP SLOPE OF THE FENCE AND RETRENCHING THE FABRIC WHEN THE FENCE IS 25% FULL.
2. FOLLOWING STORM EVENTS, THE ROAD RESERVE AND ALL SEDIMENT BARRIERS SHALL BE INSPECTED AND ANY EXCESSIVE SEDIMENT RESIDUE SHALL BE APPROPRIATELY REMOVED.



**FIG. 1. - SEDIMENT FENCE**

**TGA Project Group**

PROJ. No.: 24209 Appr.



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2024/1145**

REV.	BY	DATE	DESCRIPTION OF CHANGE
A	MAF	10.05.24	D.A. ISSUE
B	MAF	15.05.24	D.A. ISSUE - AMENDED

REVISION

PROJECT

**MANLY VALE - 22259**  
236-238 CONDAMINE STREET  
MANLY VALE NSW 2093

TITLE

**PROPOSED EROSION  
& SEDIMENT CONTROL PLAN**

DRAWN	DATE	APPROVED	DATE
MAF	09.05.24		
SCALE	SIZE	DRAWING No.	REV.
NTS	A3	22259-D06	B

**DEVELOPMENT  
APPLICATION**

**AMPOL**

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REAL PROPERTY DESCRIPTION:

PROPERTY NAME:

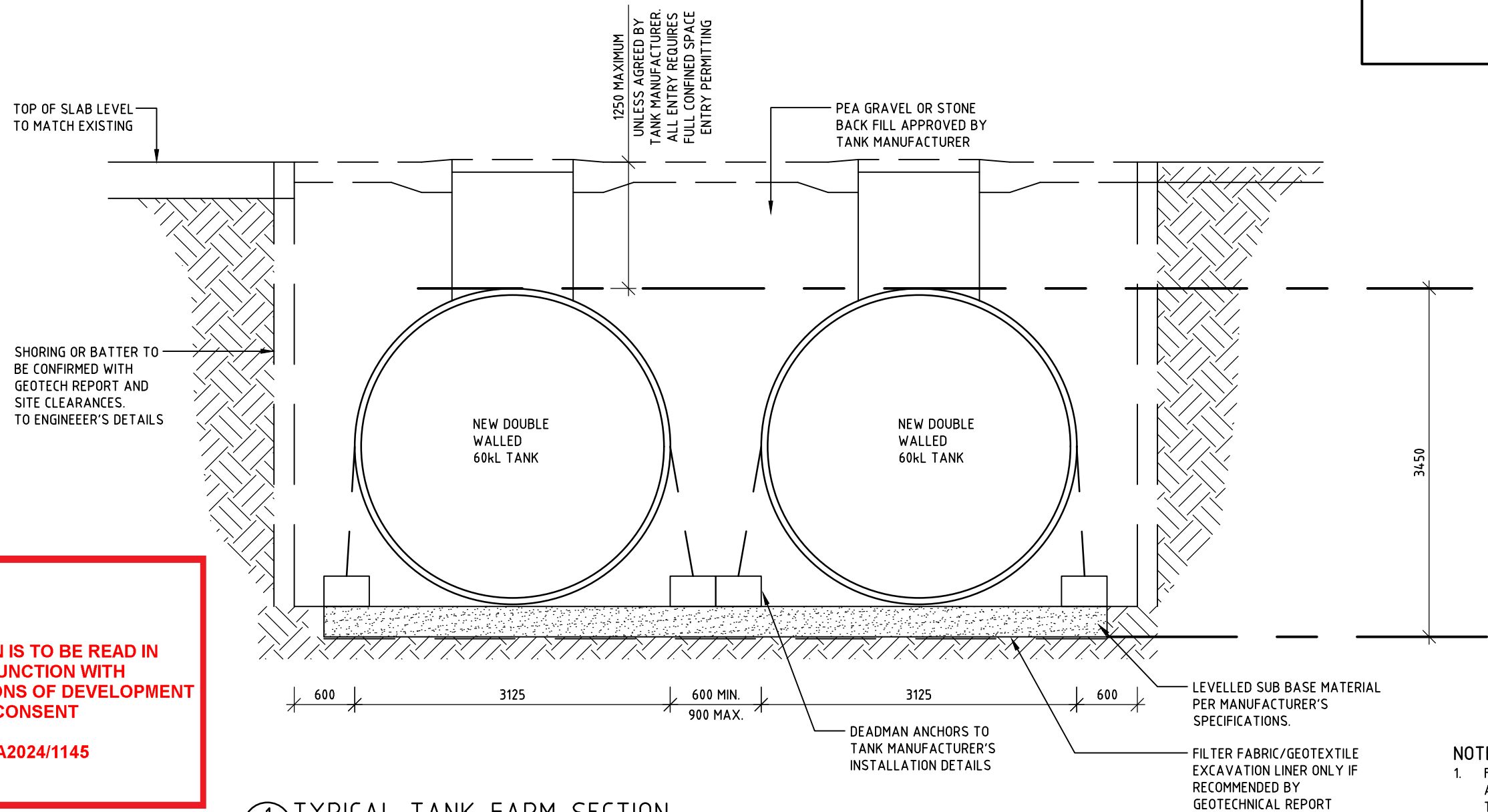
PROPERTY ADDRESS:

LGA:

AMPOL - MANLY VALY

236-238 CONDAMINE STREET,  
MANLY VALE, NSW, 2093  
LOT 23 ON DP819441  
1570.0m<sup>2</sup>

NORTHERN BEACHES COUNCIL



1 TYPICAL TANK FARM SECTION  
- 1 : 50

- NOTE:
- FOR THE INSTALLATION OF THE TANKS AND DEADMAN ANCHORS REFER TO THE VIVA AUSTRALIA GUIDE FOR THE INSTALLATION AND REMOVAL OF UNDERGROUND PETROLEUM STORAGE SYSTEMS (UPSS) AND THE TANK MANUFACTURER'S RECOMMENDATIONS
  - ALL TANKS INSTALLED AT SAME LEVEL, TANK TOPS AND TURRETS TO BE ALIGNED.
  - TANKS TO BE PLACED AT MINIMAL PRACTICAL DEPTH.

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1145

TFA Project Group

PROJ. No.: 24209 Appr.

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REV.	BY	DATE	DESCRIPTION OF CHANGE	PROJECT	TITLE	DRAWN	DATE	APPROVED	DATE
A	MAF	09.05.24	D.A. ISSUE	MANLY VALE - 22259 236-238 CONDAMINE STREET MANLY VALE NSW 2093	PROPOSED TANK EXCAVATION TYPICAL CROSS-SECTION	MAF	09.05.24		
B	MAF	15.05.24	D.A. ISSUE - AMENDED			SCALE	SIZE	DRAWING No.	REV.
C	MAF	29.05.24	D.A. ISSUE - AMENDED			1:50	A3	22259-D07	C
REVISION									

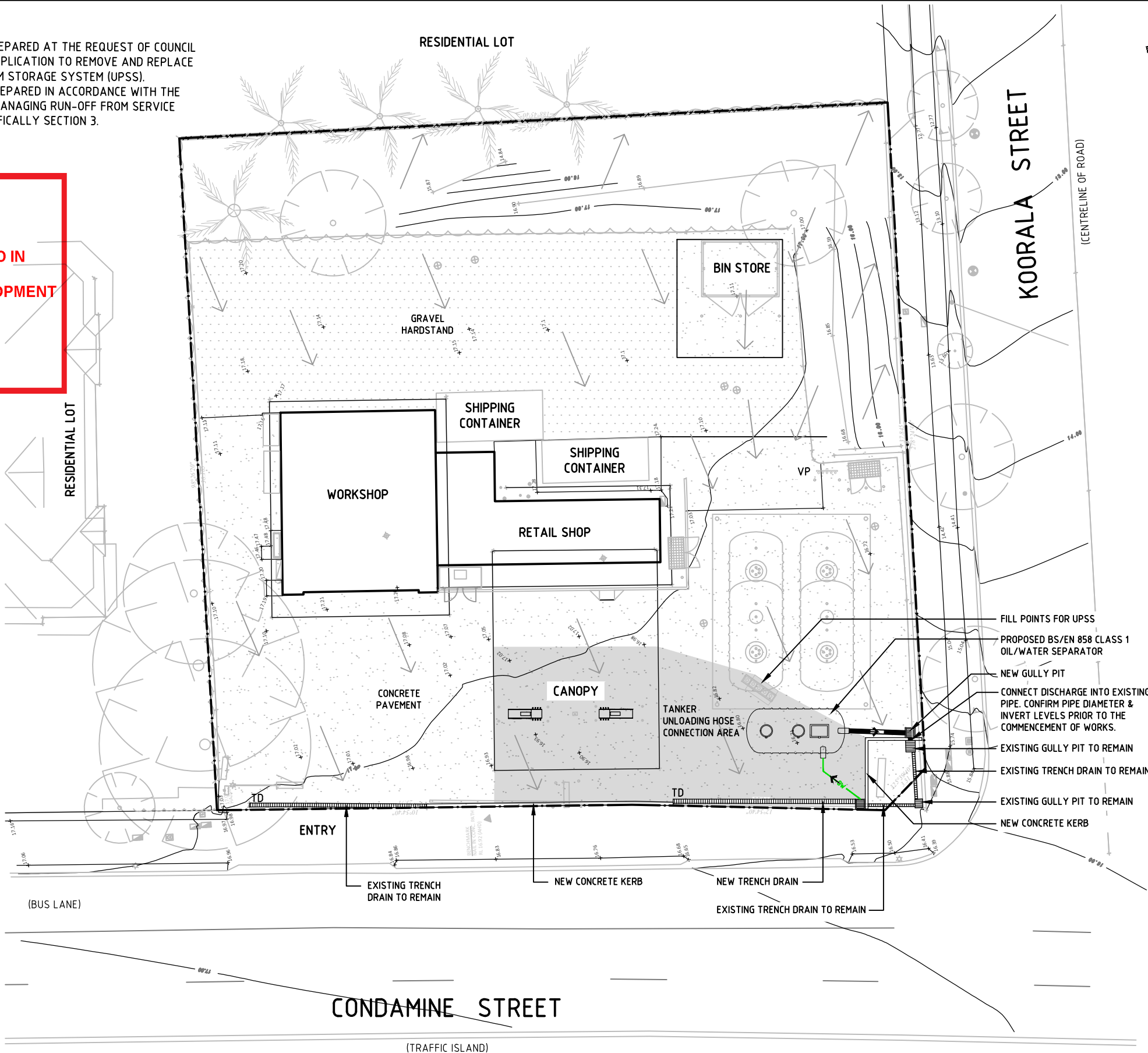
NOTES:

1. THIS DRAWING HAS BEEN PREPARED AT THE REQUEST OF COUNCIL AS PART OF DEVELOPMENT APPLICATION TO REMOVE AND REPLACE THE UNDERGROUND PETROLEUM STORAGE SYSTEM (UPSS).
2. THIS DRAWING HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW EPA'S PRACTICE NOTE-"MANAGING RUN-OFF FROM SERVICE STATION FORECOURTS", SPECIFICALLY SECTION 3.

 northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2024/1145**



**REAL PROPERTY DESCRIPTION**

NAME: AMPOL MANLY VALE  
LOT 23 ON DP819441  
ADDRESS: 236-238 CONDRAMINE STREET,  
MANLY VALE, NSW  
LGA: NORTHERN BEACHES COUNCIL  
POSTCODE: 2093

**LEGEND**

- BOUNDARY
- EXTENT OF PAVEMENT
- PROPOSED OILY WATER PIPE
- PROPOSED ROOFWATER PIPE
- PROPOSED STORMWATER PIPE
- EXISTING TELSTRA LINE
- EXISTING SEWER LINE
- EXISTING WATER MAIN
- EXISTING OVER HEAD WIRE
- EXISTING GAS LINE
- EXISTING STORMWATER LINE
- EXISTING FENCE
- DIRECTION OF SURFACE FALL
- FINISHED SURFACE LEVEL
- EXISTING SURFACE LEVEL
- MINOR CONTOURS (0.1m INTERVALS)
- FINISHED SURFACE LEVEL ON TOP OF TANK TURRET, DISPENSERS & FUEL FILL BOX. THIS INCLUDES AN ADDITIONAL 25mm COVE UP OVER 300mm TO PERIMETER FROM SURROUNDING SLAB LEVEL. TANK & TURRET LOCATIONS TO BE CONFIRMED BY CONTRACTOR TO SUPERINTENDENT FOR CHECKING LEVEL PRIOR TO PAVEMENT CONSTRUCTION
- STORMWATER INFRASTRUCTURE NUMBER TAG. REFER STORMWATER PIT SCHEDULE
- PROPOSED DOWN PIPE
- PROPOSED TRENCH DRAIN
- PROPOSED GULLY PIT
- EXISTING GULLY PIT
- UNDERGROUND PETROLEUM STORAGE SYSTEM
- ATLAN P0.40 SPILLCEPTOR AS PER MANUFACTURERS SPECS.
- HIGH CONTAMINATION RISK ZONE - AS PER NEW EPA PRACTICE NOTE

**DEVELOPMENT APPLICATION**



PROJ. No.: 24209 Appr.

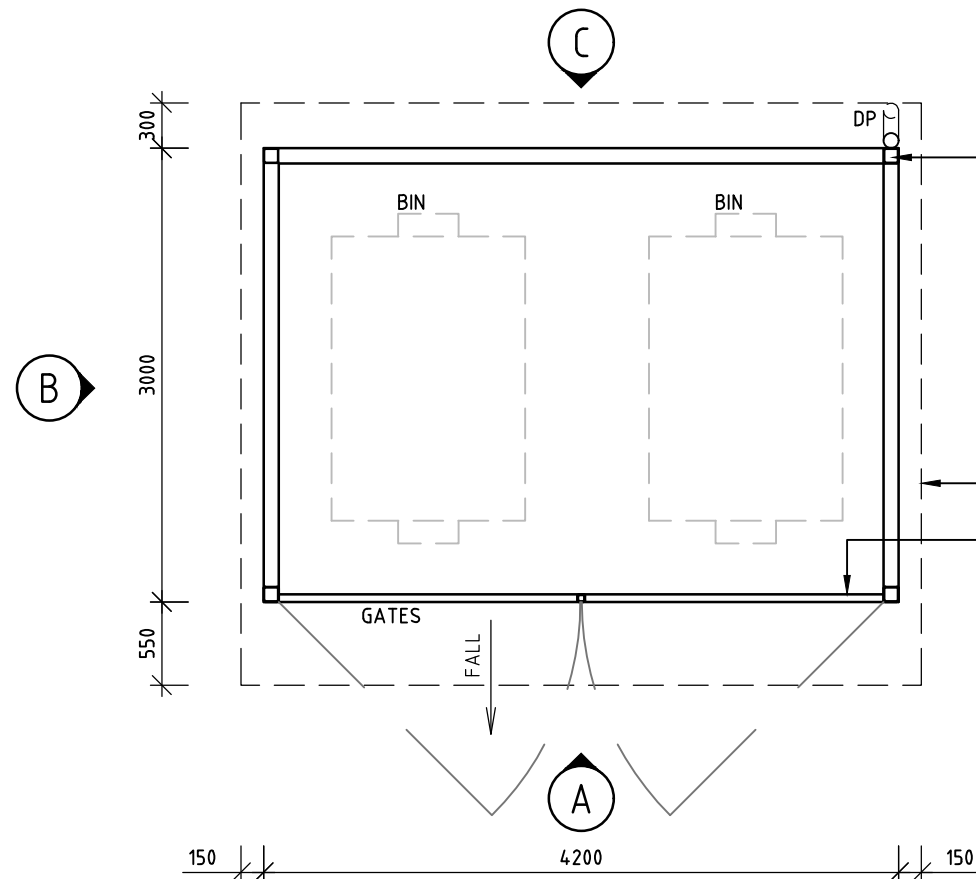


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REV.	BY	DATE	DESCRIPTION OF CHANGE
A	MAF	08.08.24	D.A. ISSUE
B	MAF	15.08.24	D.A. ISSUE - AMENDED SURFACE FALL LINES ADDED
C	MAF	19.08.24	D.A. ISSUE - AMENDED NORTH POINT RE-ORIENTED
REVISION			

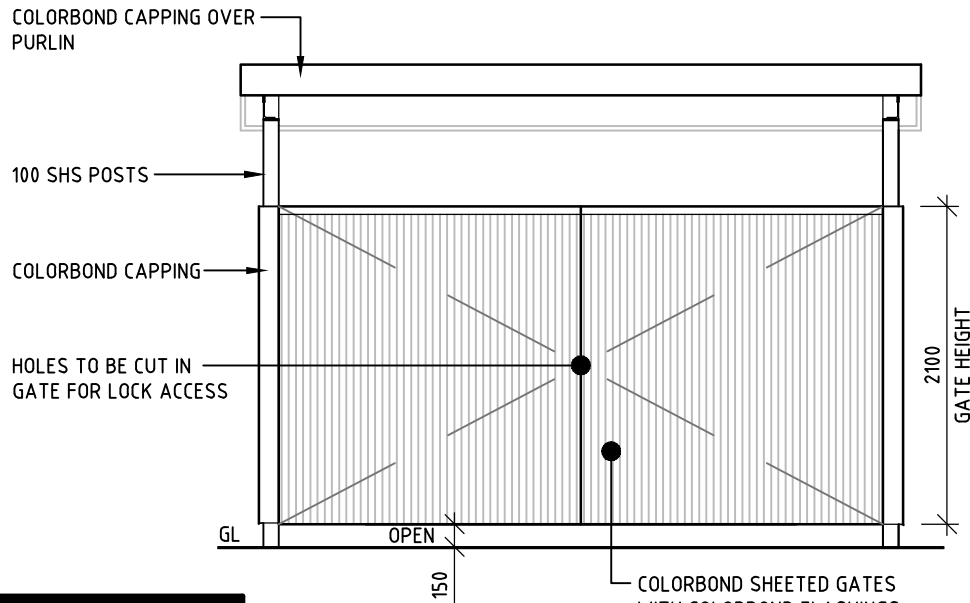
PROJECT	TITLE
MANLY VALE - 22259 236-238 CONDRAMINE STREET MANLY VALE NSW 2093	SITE FORECOURT RUN-OFF RISK ZONES

DRAWN	DATE	APPROVED	DATE
MAF	08.08.204		
SCALE	SIZE	DRAWING No.	REV.
1:250	A3	22259-D08	C



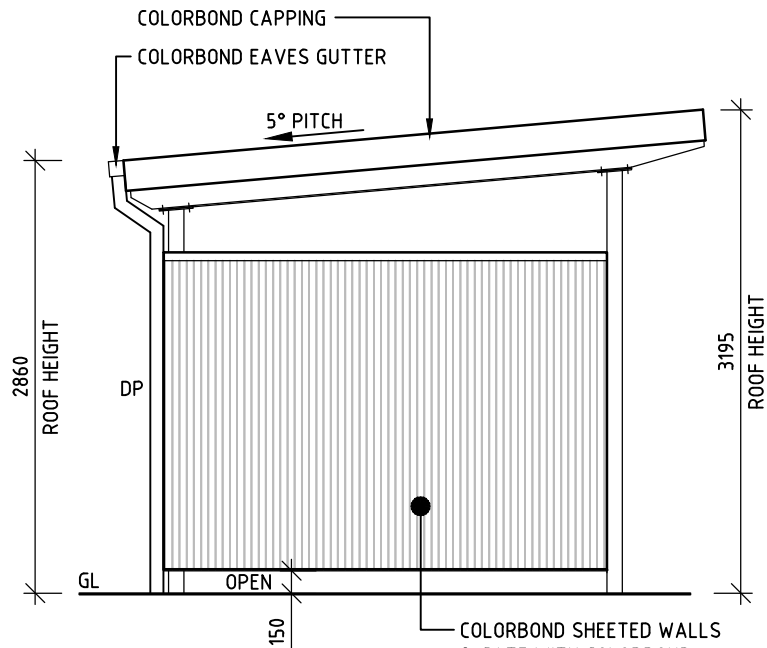
BIN ENCLOSURE PLAN

SCALE 1 : 50



A ELEVATION

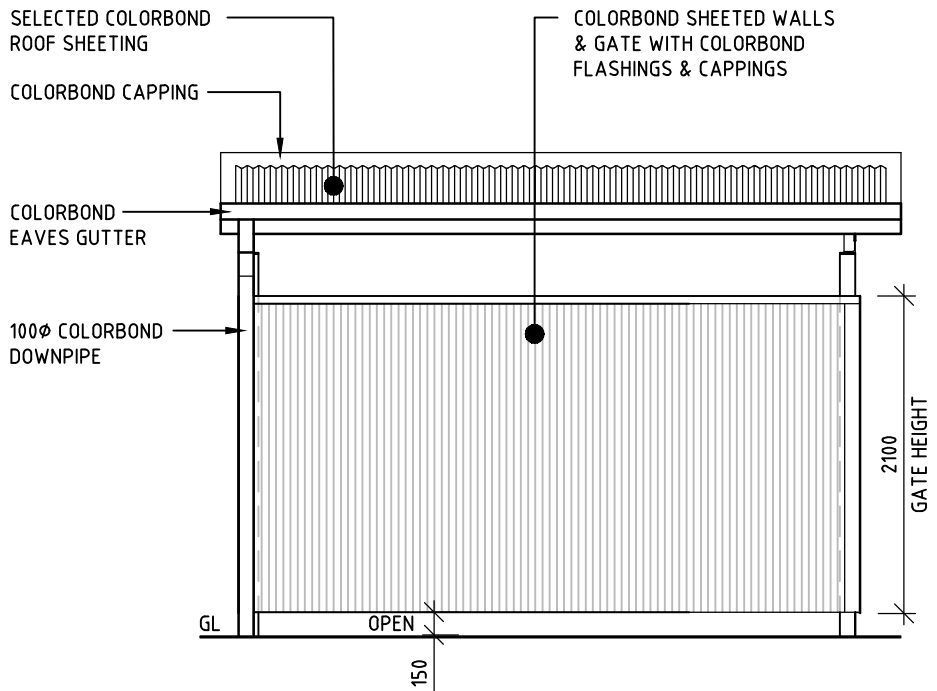
1 : 50



B ELEVATION

1 : 50

ELEVATION 'D' SIMILAR



C ELEVATION

1 : 50

ROOF PLAN

1 : 50

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1145

REAL PROPERTY DESCRIPTION:

PROPERTY NAME: AMPOL - MANLY VALY  
PROPERTY ADDRESS: 236-238 CONDRAMINE STREET,  
MANLY VALE, NSW, 2093  
LOT 23 ON DP819441  
1570.0m<sup>2</sup>  
LGA: NORTHERN BEACHES COUNCIL

LEGEND:

DP 100Ø COLORBOND DOWN PIPE  
GL GROUND LINE (INDICATIVE ONLY)  
SHS SQUARE HOLLOW STEEL

NOTE:

1. FOR DEVELOPMENT APPLICATION ONLY - NOT FOR TENDER OR CONSTRUCTION.
2. CONTRACTOR TO CONFIRM EXISTING SERVICES PRIOR TO DEMOLITION & CONSTRUCTION WORKS.
3. OVERALL DESIGN SUBJECT TO CHANGES AT DETAIL DESIGN STAGE.



PROJ. No.: 24209 Appr.



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REV.	BY	DATE	DESCRIPTION OF CHANGE
A	MAF	27.08.24	D.A. ISSUE
REVISION			

PROJECT  
MANLY VALE - 22259  
236-238 CONDRAMINE STREET  
MANLY VALE NSW 2093

TITLE  
PROPOSED BIN ENCLOSURE  
PLANS & ELEVATIONS

DRAWN	DATE	APPROVED	DATE
MAF	27.08.24		
SCALE	SIZE	DRAWING No.	REV.
1:50	A3	22259-D09	A

DEVELOPMENT  
APPLICATION

0 500 1000 1500 2000 2500