

PARADE

(BITUMEN FORMATION)

BOLINGBROKE

STRATUM OF COURTYARDS WHERE NOT PAVED OR COVERED EXTEND 2.5 ABOVE & BELOW THE UPPER SURFACE OF THE CONCRETE FLOOR OF THE ADJACENT UNIT. SEE SP31975 FOR FULL DETAILS.

FOR STRATA LOT AREAS AND LOCATION OF STRATA LOTS AND COMMON PROPERTY REFER TO SP31975.

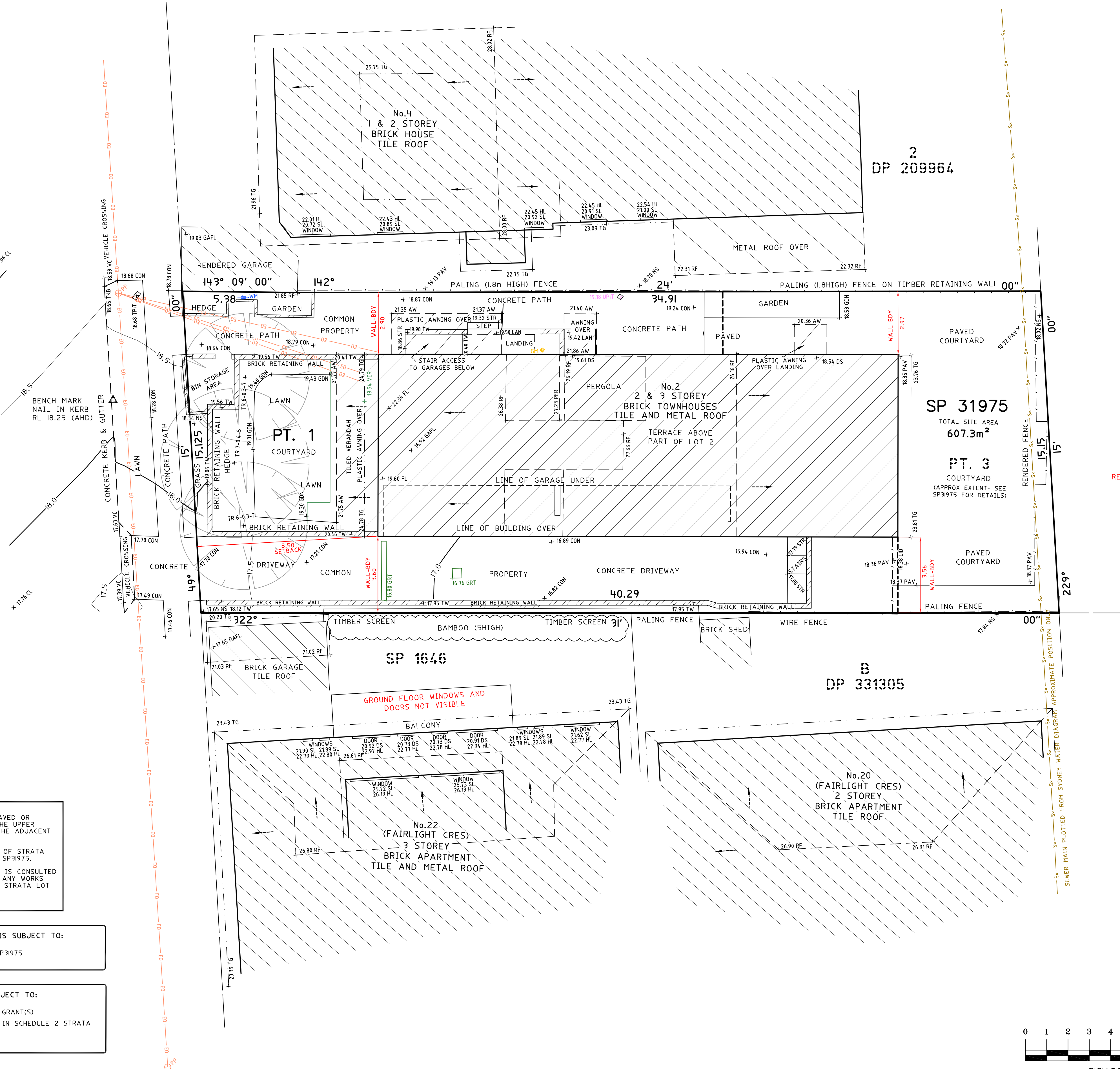
WE RECOMMEND A REGISTERED SURVEYOR IS CONSULTED PRIOR TO DETAILED DESIGN TO ENSURE ANY WORKS ARE LOCATED WITHIN THEIR RESPECTIVE STRATA LOT OR COMMON PROPERTY.

TITLE INDICATES THAT LOT 1 IN S.P.31975 IS SUBJECT TO:

- INTERESTS RECORDED ON REGISTER FOLIO CP/SP31975

TITLE INDICATES THAT CP/S.P.31975 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
- ATTENTION IS DIRECTED TO BY-LAWS SET OUT IN SCHEDULE 2 STRATA SCHEMES MANAGEMENT REGULATION 2016

**LEGEND:**

AW = AWNING  
CL = CENTRELINE  
CON = CONCRETE  
DS = DOOR SILL LEVEL  
FL = FLOOR LEVEL  
GAFL = GARAGE FLOOR LEVEL  
GDN = GARDEN  
GM = GAS METER  
GRT = GRATE  
HL = HOOD LEVEL  
LAN = LANDING  
LID = TOP OF PIPE LID  
NS = NATURAL SURFACE  
PAV = PAVING  
PER = PERGOLA  
RF = TOP OF ROOF  
SL = SILL LEVEL  
STR = STAIRS  
TG = TOP OF GUTTER  
TKB = TOP OF KERB  
TPIT = TELSTRA PIT  
TR = TREE  
TW = TOP OF WALL  
UPIT = UNKNOWN PIT  
VC = VEHICLE CROSSING  
VER = VERANDAH  
WM = WATER METER

— E0 — = ELECTRICITY OVERHEAD  
— S — = SEWER UNDERGROUND



TREE  
SPREAD-DIAMETER-HEIGHT

**NOTES**

- A FIELD SURVEY OF THE BOUNDARIES HAS BEEN CONDUCTED.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF JAMES BHARKIN.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (pb 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2021.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

*Karl Robertson*  
KARL ROBERTSON  
REGISTERED SURVEYOR BOSSI NUMBER 7835...

HORIZONTAL DATUM:  
CO-ORDINATE SYSTEM: ASSUMED  
MARKS ADOPTED: N/A

VERTICAL DATUM:  
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. ADOPTED: PM 916  
R.L. 14.276 (CLASS LB)  
SOURCE: S.C.I.M.S. (09/07/2021)

1 FIRST ISSUE

16/08/2021

**CLIENT:**  
**JAMES BHARKIN**  
**C/- FE DESIGN INTERIORS**  
**3/22 FAIRLIGHT CRESCENT**  
**FAIRLIGHT, NSW, 2094**

**BOUNDARY IDENTIFICATION AND  
DETAIL & LEVEL SURVEY OVER  
SP31975 WITH FOCUS ON  
LOT 1 IN SP31975 BEING  
No.2A BOLINGBROKE PARADE  
FAIRLIGHT, NSW, 2094**

**C.M.S. Surveyors  
Pty Limited**

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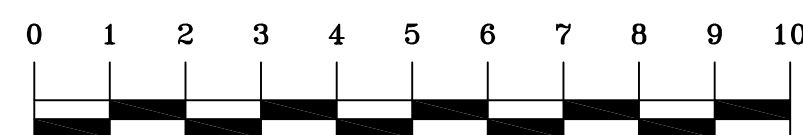
LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED NS DRAWN MC CHECKED NS APPROVED DR

SURVEY INSTRUCTION 20516 SCALE 1:100 DATE OF SURVEY 06/08/2021

DRAWING NAME 20516detail ISSUE 1

CAD FILE 20516detail 1.dwg



SCALE 1:100