



DEVELOPMENT INCLUDES:

- 1 GROUND FLOOR RETAIL
- 3 COMMERCIAL SUITES
- 1 COMMUNAL LIVING RM
- 1 MANAGERS ROOM/OFFICE
- 19 BOARDING ROOMS including three accessible rooms

SUSTAINABILITY CREDENTIALS

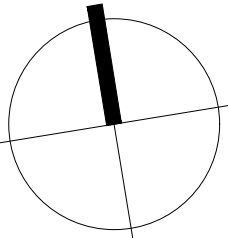
- No basement excavation - reduced environmental impact
- No basement excavation - reduced construction noise
- No basement excavation - reduced construction traffic
- No basement excavation - reduced construction timeframes
- No car parking provided on site - promotes living without motor vehicles
- No car parking provided on site - promotes use of Public transport
- No car parking provided on site - promotes healthier alternative forms of transport - such as cycling
- Good access to public transport - opposite B-LINE bus stop - travelling in both directions
- Considerable on-site bicycling parking provisions
- Insulated roof - Sedum layer beneath solar panels
- Solar panels on roof
- Solar panels operate more efficiently, as they are cooler, when elevated above a green roof (sedum) in lieu of concrete
- Smaller footprint (GFA) units require less energy to heat or cool
- Smaller footprint encourages reduced carbon footprint with respect to purchases for fitout, furnishings, and daycore.
- Minimal length facades exposed to heat loads
- Longer length facades substantially insulated by adjacent buildings.
- Ventilation slot provided full length of building.
- Good proportion of commercial opportunity provides live/work ability within the same building
- Substantial roof-top communal areas (noting short walk to the beach)
- 5 star energy efficient fitting, fitments and appliances.
- Double glazing

SITE DATA

- 6.4m Wide Site
- 9 Storeys
- No Basement
- No Parking
- On the B-line
- Outside bus stop
- Stones throw to retailing
- Stroll to the beach
- Sandwiched between the stark unarticulated flat Meriton development to the north, and the quirky Steven Holl inspired Pensacola Seaside folly to the south

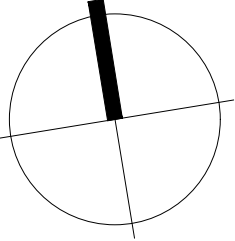
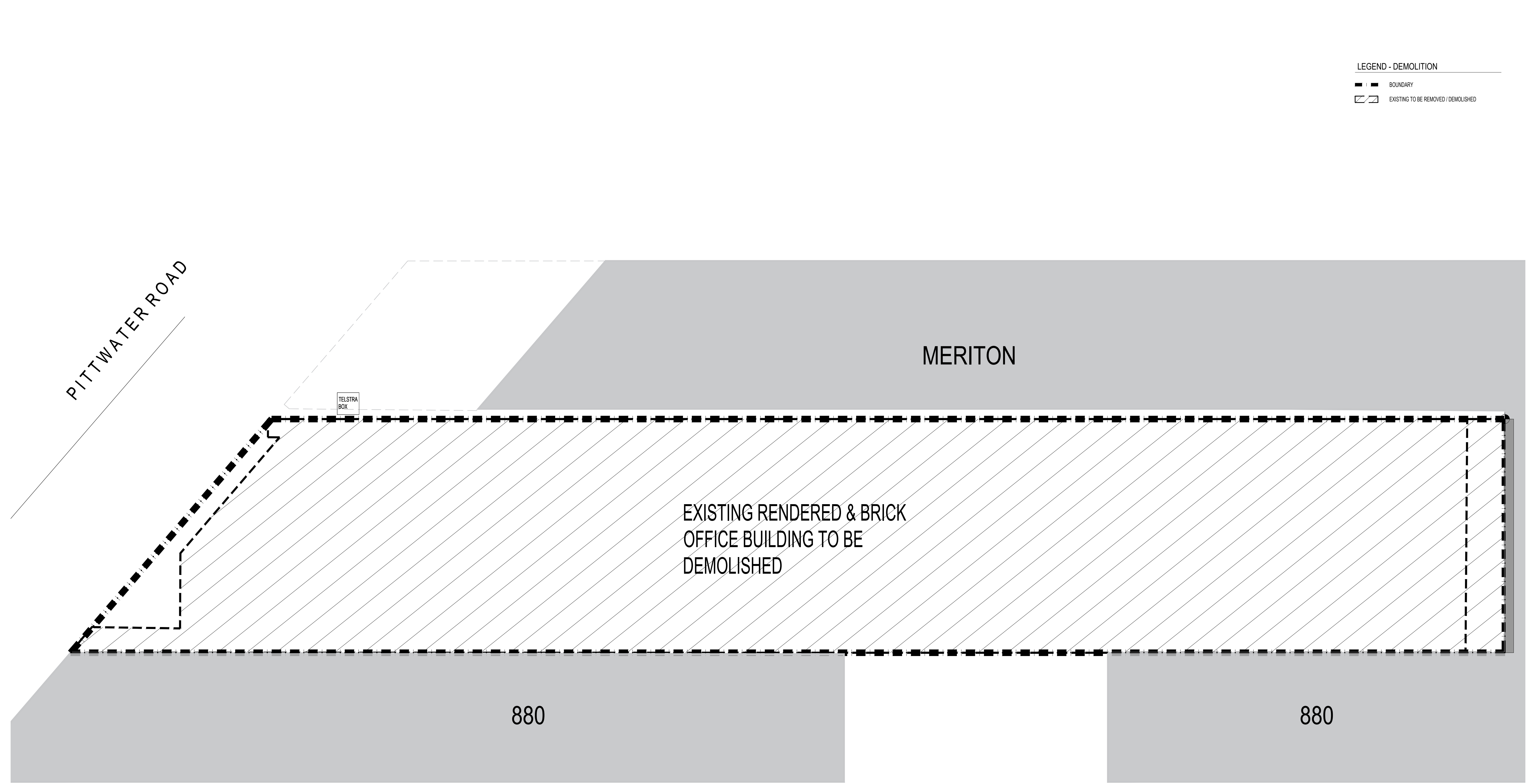
INFILL, TRANSITIONAL, TRANSITIONAL, ARBITRATIONAL ARCHITECTURE

- Materials
- Setbacks
- Awnings
- Heights
- Respects Podium heights
- Arbitrates materials
- Follows setbacks
- Marrys building heights
- Blends and transitions awnings



LEGEND - DEMOLITION

- BOUNDARY
- EXISTING TO BE REMOVED / DEMOLISHED



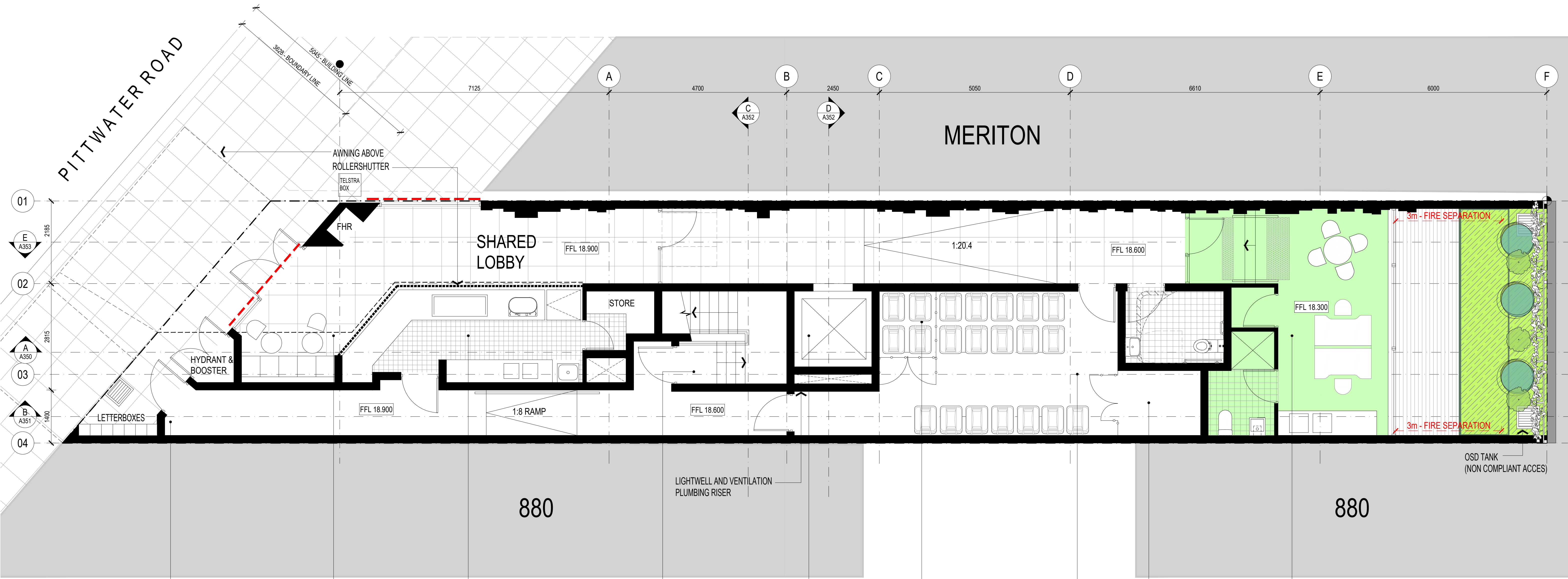


NOTES

- ALL LOADBEARING WALLS AND BOUNDING CONSTRUCTION TO BE 120/120/120

LEGEND

- BOUNDARY
- DRENCHERS
- UNIT 01
- 28.0 SQM
- 20.0 SQM
- ACCESSIBLE UNIT
- COMMERCIAL SPACE
- CROSS-VENTILATION



NON FIRE-ISOLATED  
EGRESS PASSAGE

SHARED LOBBY

COFFEE SHOP

FIRE EGRESS  
STAIR  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

CAGED  
COMMERCIAL  
REFUSE & RECYCLE

BINS

BULKY  
GOODS  
8 SQM

COMMERCIAL 01  
27.2 SQM

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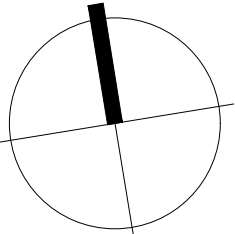
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P	21.05.10	ISSUED TO CONSULTANT
N	21.03.24	ISSUED TO CONSULTANT
M	21.03.03	ISSUED TO CONSULTANT
L	21.03.01	ISSUED FOR MEETING
K	21.02.26	ISSUED TO CONSULTANT
ISSUE	DATE	AMENDMENTS

DEVELOPMENT LINK

ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

GROUND FLOOR



SCALE 1:50 @ A1  
APPROVED MT  
DRAWN PG  
CHECKED PG  
DATE NOV 2020  
STATUS DA

PROJECT NUMBER 20036  
DRAWING NUMBER

A100

ISSUE

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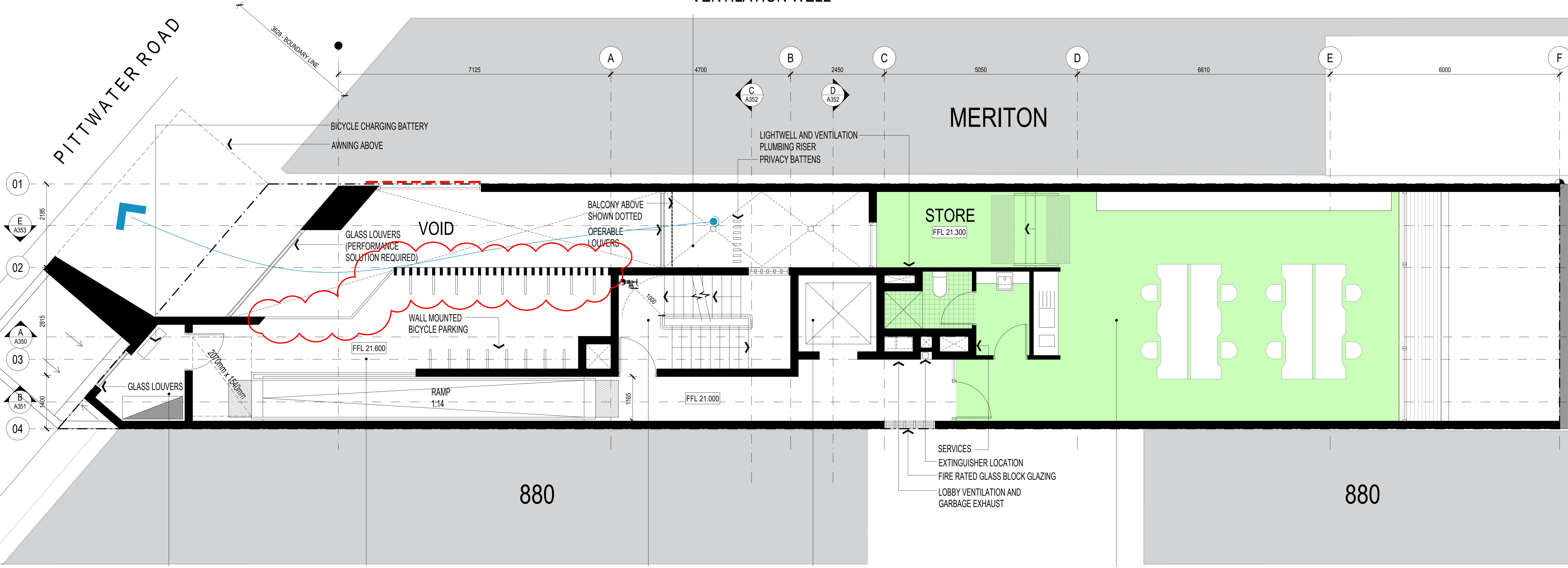
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- ALL LOADBEARING WALLS AND BOUNDING CONSTRUCTION TO BE 120/120/120

LEGEND

- BOUNDARY
- DRENCHERS
- UNIT 01 --- UNIT NUMBER
- 28.0 SQM --- TOTAL AREA
- 20.0 SQM --- TOTAL AREA EXCLUDING KITCHEN & TOILETS
- ACCESSIBLE UNIT
- COMMERCIAL SPACE
- CROSS-VENTILATION

VENTILATION WELL



SWITCH ROOM

FRL 120/120/120

BICYCLE STORAGE

FIRE EGRESS

FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT

MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

COMMERCIAL 02

75.6 SQM

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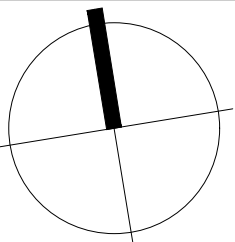
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ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

LEVEL 1 FLOOR PLAN



SCALE 1:50 @ A1  
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DATE NOV 2020  
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PROJECT NUMBER 20036  
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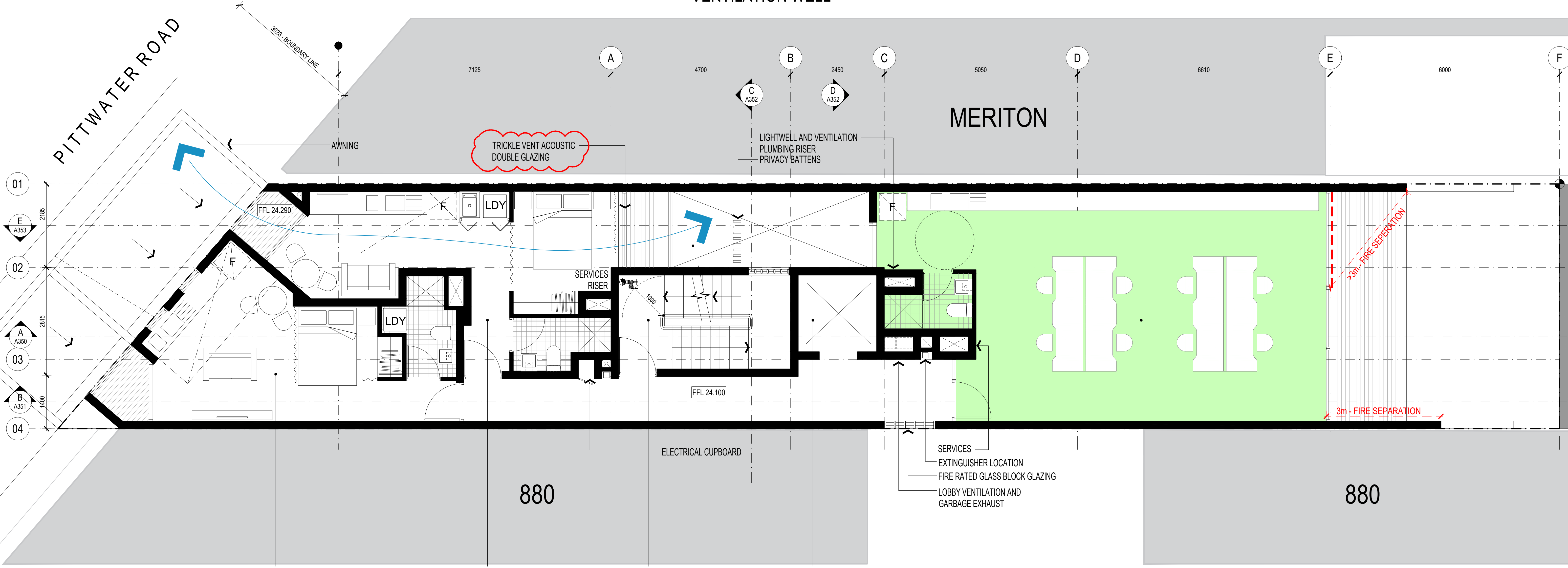
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- ACCESSIBLE UNIT
- COMMERCIAL SPACE
- CROSS-VENTILATION

VENTILATION WELL



L2.01  
27.8 SQM  
17.6 SQM

SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

L2.02  
28.8 SQM  
20.7 SQM

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

FIRE EGRESS  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

COMMERCIAL 03  
63.7 SQM  
-

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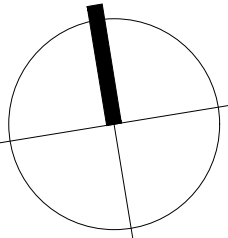
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CLIENT  
DEVELOPMENT LINK

PROJECT  
ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
LEVEL 2 FLOOR PLAN



SCALE  
1:50 @ A1  
APPROVED  
DRAWN MT  
CHECKED PG  
DATE NOV 2020  
STATUS DA

PROJECT NUMBER  
DRAWING NUMBER

20036

A102

ISSUE



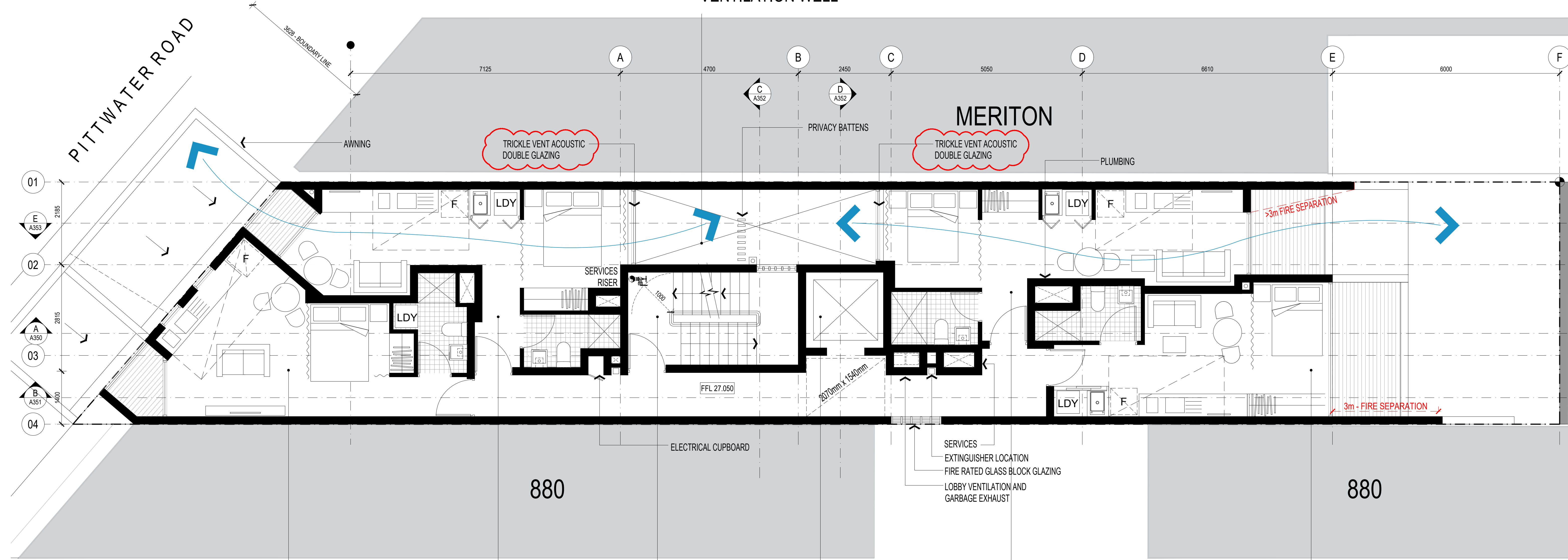
NOTES

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LEGEND

- BOUNDARY
- DRENCHERS
- UNIT 01
- 28.0 SQM
- 20.0 SQM
- UNIT NUMBER
- TOTAL AREA
- TOTAL AREA EXCLUDING KITCHEN & TOILETS
- ACCESSIBLE UNIT
- COMMERCIAL SPACE
- CROSS-VENTILATION

VENTILATION WELL



L3.01  
27.8 SQM  
17.6 SQM

SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

L3.02  
28.8 SQM  
20.7 SQM

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

FIRE EGRESS  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

L3.03  
29.0 SQM  
21.3 SQM

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

L3.04  
24.7 SQM  
16.2 SQM

SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

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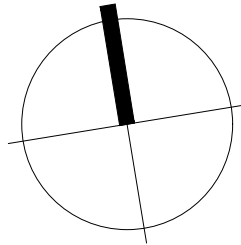
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DEVELOPMENT LINK

ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

LEVEL 3 FLOOR PLAN



SCALE: 1:50 @ A1  
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DATE: NOV 2020  
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20036

DRAWING NUMBER  
A103

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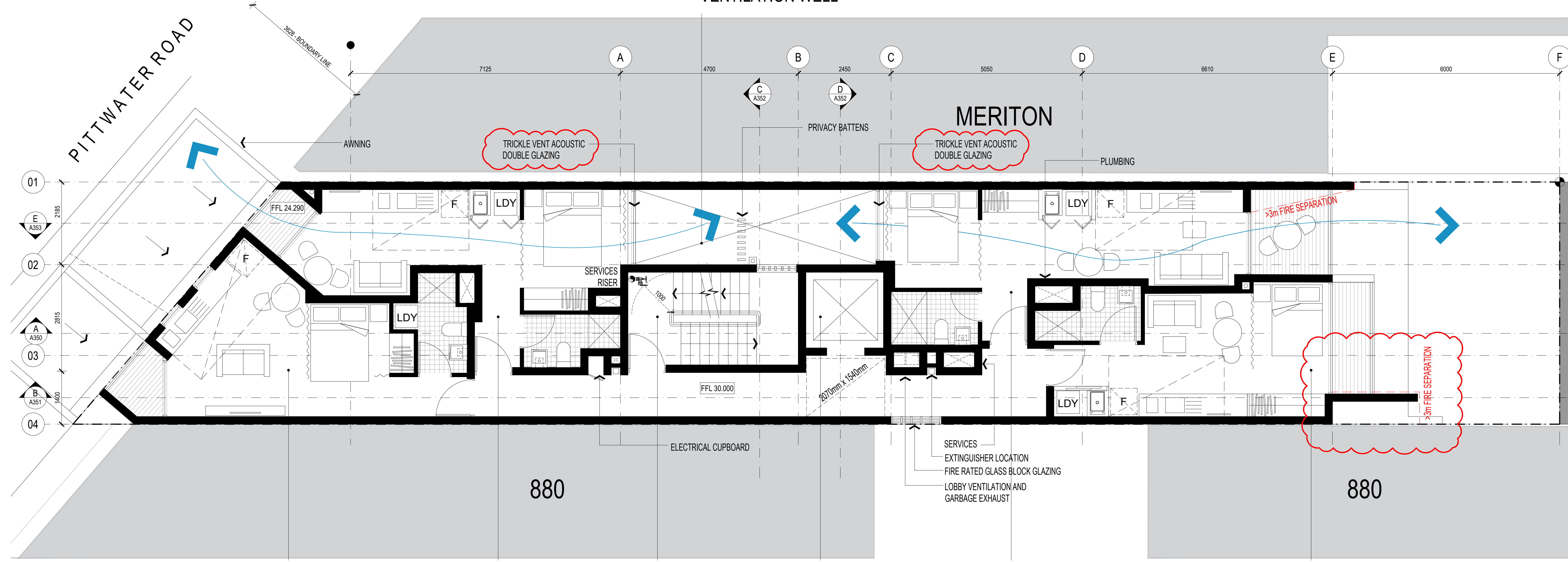
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LEGEND

- BOUNDARY
- DRENCHERS
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- ACCESSIBLE UNIT
- COMMERCIAL SPACE
- CROSS-VENTILATION

VENTILATION WELL



L4.01  
27.8 SQM  
17.6 SQM

SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

L4.02  
28.8 SQM  
20.7 SQM

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

FIRE EGRESS  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

L4.03  
29.0 SQM  
21.3 SQM

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

L4.04  
24.7 SQM  
16.0 SQM

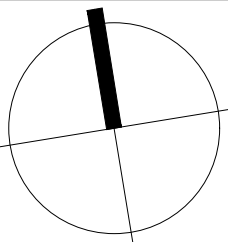
SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

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CLIENT  
DEVELOPMENT LINK

PROJECT  
ARH DEE WHY  
882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
LEVEL 4 FLOOR PLAN



SCALE  
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DRAWN MT  
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DATE NOV 2020  
STATUS DA

PROJECT NUMBER  
20036

DRAWING NUMBER  
A104

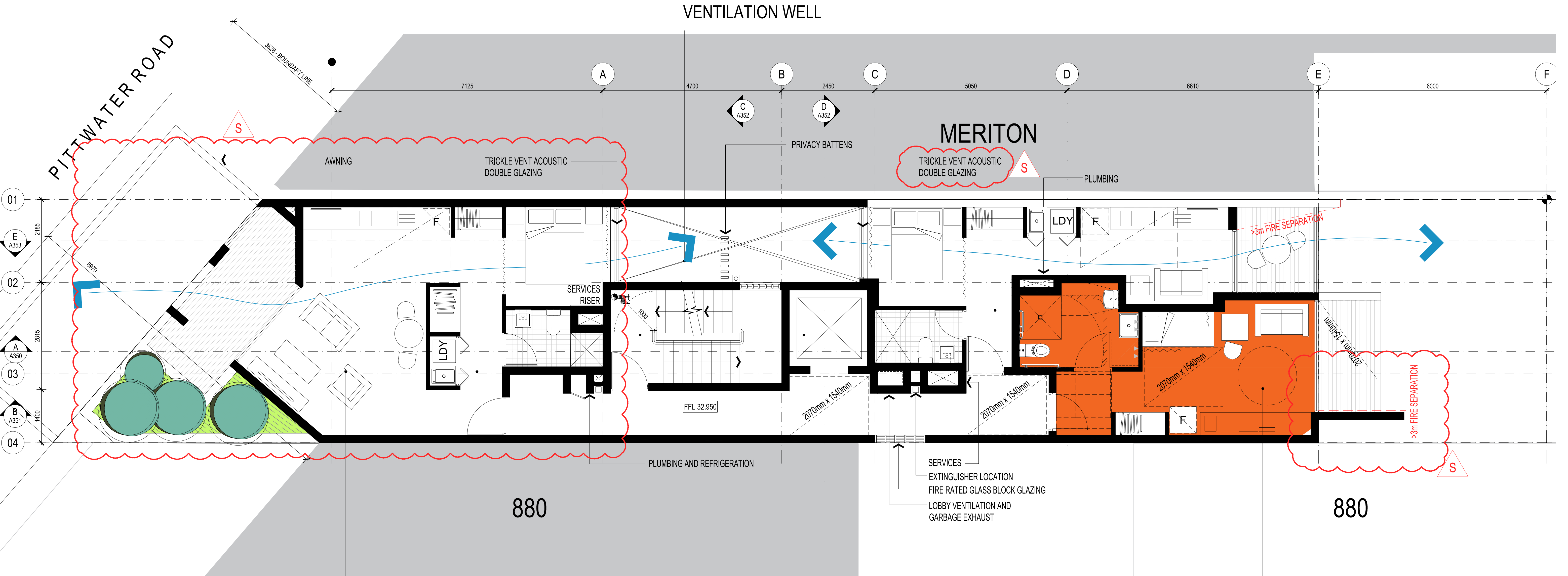
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120/120/120

LEGEND

- BOUNDARY  
--- DRENCHERS
- UNIT 01  
28.0 SQM TOTAL AREA  
20.0 SQM TOTAL AREA EXCLUDING  
KITCHEN & TOILETS
- ACCESSIBLE UNIT  
COMMERCIAL SPACE  
CROSS-VENTILATION



S

L5.01  
45.2 SQM  
37.5 SQM

T

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
TERRACE

FIRE EGRESS  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

L5.03  
27.3 SQM  
19.6 SQM

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

L5.04 ACCESSIBLE  
25.7 SQM  
13.8 SQM

ACCESSIBLE  
COMPLIANT INTERNAL CIRCULATION  
SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

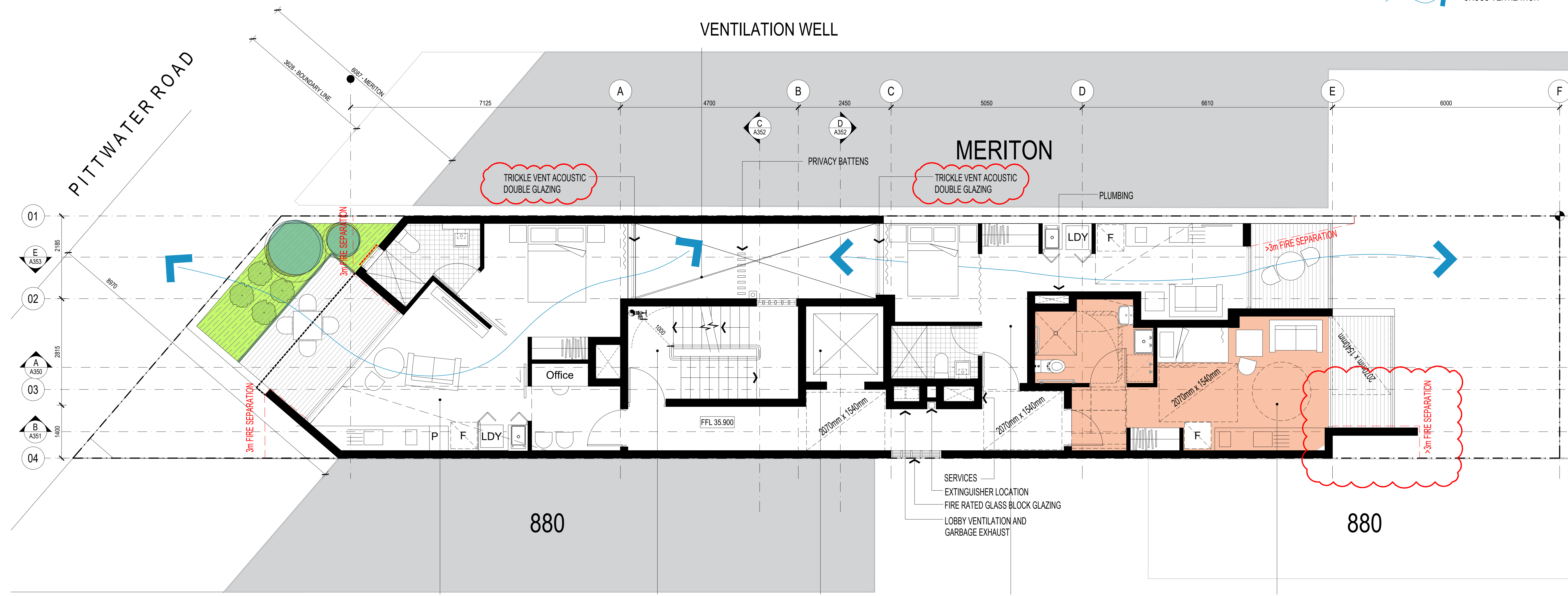


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- COMMERCIAL SPACE
- CROSS-VENTILATION



MANAGERS ROOM  
40.7 SQM  
23.6 SQM

FIRE EGRESS  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

L6.02  
27.3 SQM  
19.6 SQM  
  
CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

L6.03 ACCESSIBLE  
25.7 SQM  
13.8 SQM  
  
ACCESSIBLE  
COMPLIANT INTERNAL CIRCULATION  
SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

INTEGRATED OFFICE  
CROSS VENTILATION  
INTERNAL KITCHEN AND LAUNDRY  
INTERNAL BATHROOM  
COURTYARD

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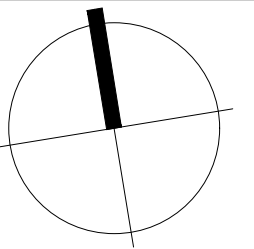
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ARH DEE WHY  
882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
LEVEL 6 FLOOR PLAN



SCALE  
1:50 @ A1

APPROVED  
DRAWN  
CHECKED  
DATE  
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MT  
PG  
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DA

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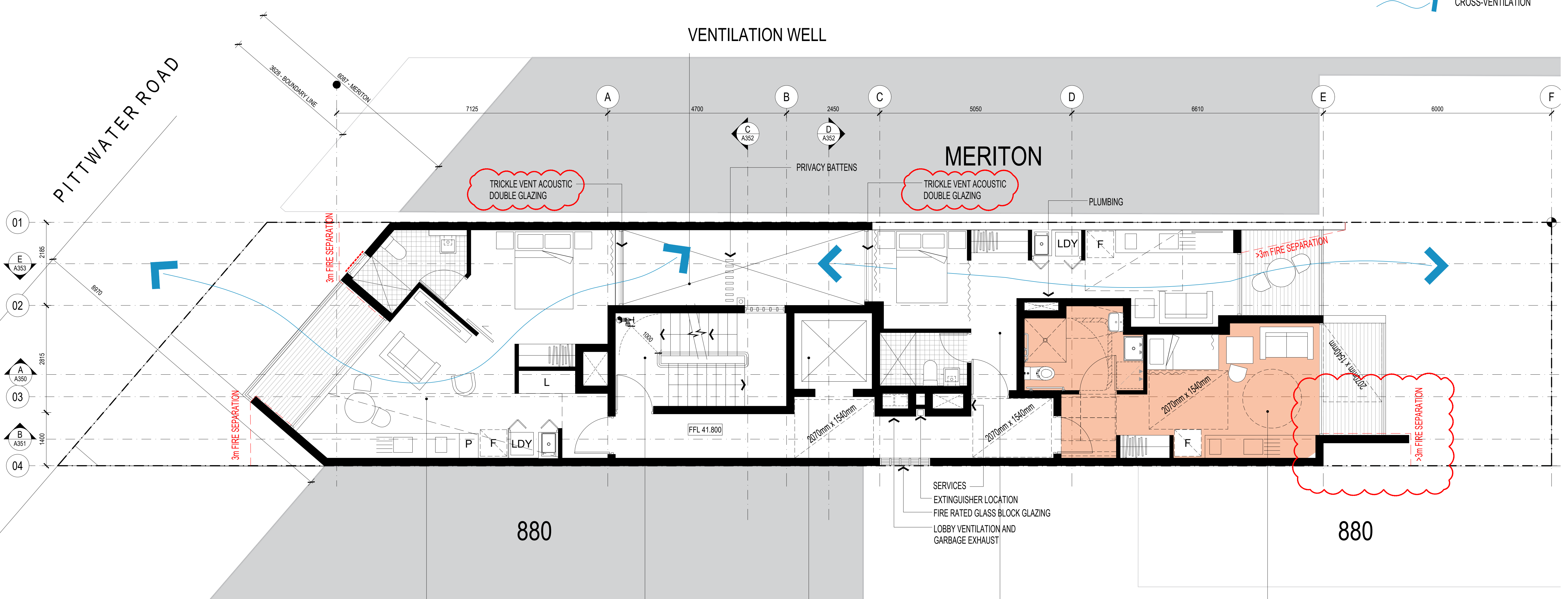


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- COMMERCIAL SPACE
- CROSS-VENTILATION



L7.01  
40.7 SQM  
24.1 SQM

CROSS VENTILATION  
INTERNAL KITCHEN  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

FIRE EGRESS  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

L7.02  
27.3 SQM  
19.6 SQM

CROSS VENTILATION  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

L7.03 ADAPTABLE  
25.7 SQM  
13.8 SQM

ACCESSIBLE  
COMPLIANT INTERNAL CIRCULATION  
SINGLE ASPECT  
INTERNAL KITCHENETTE  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
LARGE BALCONY

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S	22.01.25	REVISED DA ISSUE	
R	21.07.06	ISSUED TO COUNCIL	
Q	21.06.15	ISSUED TO COUNCIL	
P	21.05.10	ISSUED TO CONSULTANT	
M	21.03.24	ISSUED TO CONSULTANT	
L	21.03.03	ISSUED TO CONSULTANT	
K	21.03.01	ISSUED FOR MEETING	
J	21.02.26	ISSUED TO CONSULTANT	
ISSUE	DATE	AMENDMENTS	

CLIENT  
DEVELOPMENT LINK

PROJECT  
ARH DEE WHY

TITLE  
LEVEL 7 FLOOR PLAN

SCALE  
1:50 @ A1

PROJECT NUMBER  
20036

DRAWING NUMBER  
A107

ISSUE  
S

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

MT  
PG  
NOV 2020  
DA

882A PITTWATER ROAD, DEE WHY NSW 2099

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NOTES

- ALL LOADBEARING WALLS  
AND BOUNDING  
CONSTRUCTION TO BE  
120/120/120

LEGEND

--- BOUNDARY  
--- DRENCHERS

UNIT 01  
28.0 SQM  
20.0 SQM

UNIT NUMBER  
TOTAL AREA  
TOTAL AREA EXCLUDING  
KITCHEN & TOILETS

ACCESSIBLE UNIT  
COMMERCIAL SPACE  
CROSS-VENTILATION

VENTILATION WELL

MERITON

TRICKLE VENT ACOUSTIC  
DOUBLE GLAZING

PRIVACY BATTENS  
WATER OUTLET  
OVERFLOW

ROOF OVER  
SHOWN DOTTED

880

880

L8.01  
40.7 SQM  
24.1 SQM

FIRE EGRESS  
FIRE ISOLATED STAIR  
DISCHARGE AT STREET

LIFT  
MINIMUM FRL 90/90/90  
AS1428 COMPLIANT  
STRETCHER COMPLIANT  
EMERGENCY LIFT

COMMUNAL SPACE  
20 SQM

CROSS VENTILATION  
INTERNAL KITCHEN  
INTERNAL LAUNDRY  
INTERNAL BATHROOM  
BALCONY

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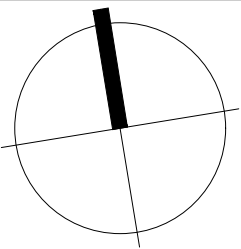
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M	21.06.15	ISSUED TO COUNCIL
L	21.05.10	ISSUED TO CONSULTANT
K	21.03.24	ISSUED TO CONSULTANT
J	21.03.03	ISSUED TO CONSULTANT
H	21.03.01	ISSUED FOR MEETING
I	21.03.01	ISSUED FOR MEETING

CLIENT  
DEVELOPMENT LINK

PROJECT  
ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
LEVEL 8 FLOOR PLAN



SCALE  
1:50 @ A1

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

MT  
PG  
NOV 2020  
DA

PROJECT NUMBER  
DRAWING NUMBER

20036

A108

ISSUE  
P

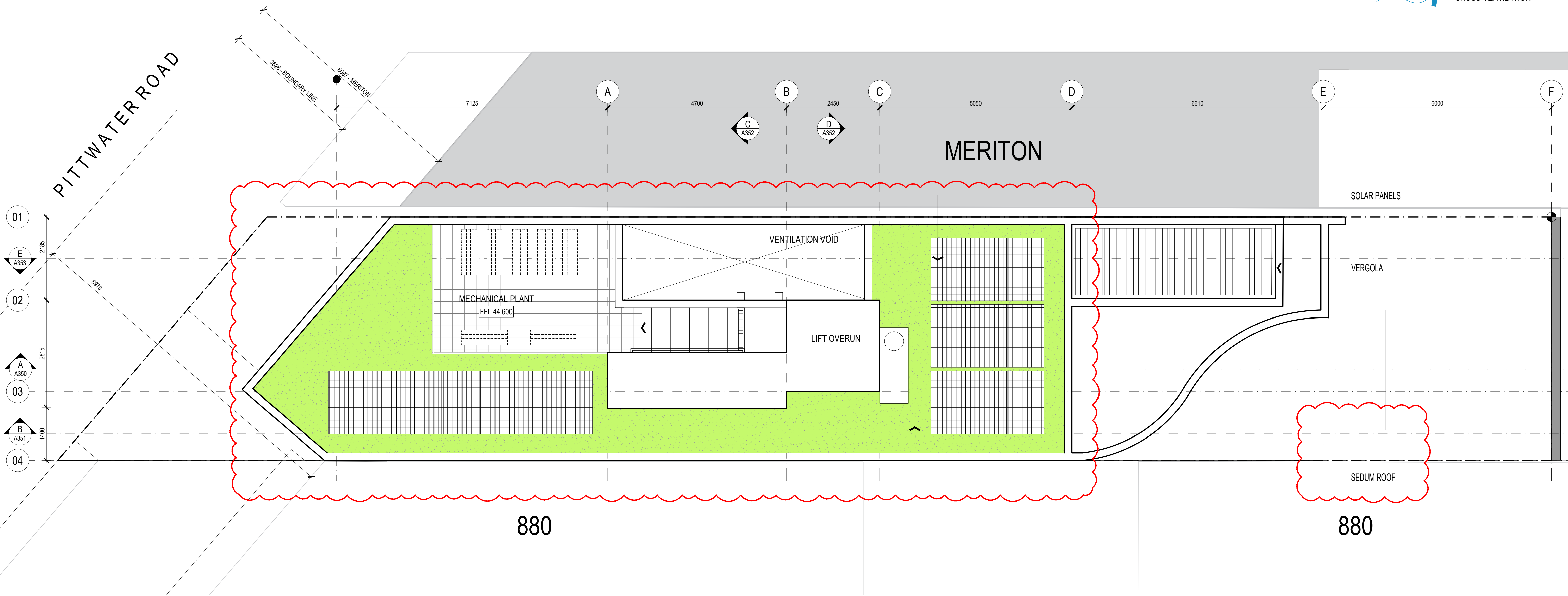
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architects

NOTES

- ALL LOADBEARING WALLS AND BOUNDING CONSTRUCTION TO BE 120/120/120

LEGEND

- BOUNDARY
- DRENCHERS
- UNIT 01
- 28.0 SQM
- 20.0 SQM
- UNIT NUMBER
- TOTAL AREA
- TOTAL AREA EXCLUDING KITCHEN & TOILETS
- ACCESSIBLE UNIT
- COMMERCIAL SPACE
- CROSS-VENTILATION



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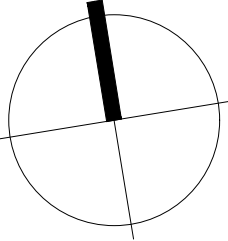
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M	21.06.15	ISSUED TO COUNCIL
L	21.05.10	ISSUED TO CONSULTANT
K	21.03.24	ISSUED TO CONSULTANT
J	21.03.03	ISSUED TO CONSULTANT
H	21.03.01	ISSUED FOR MEETING
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DEVELOPMENT LINK

ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

ROOF PLAN



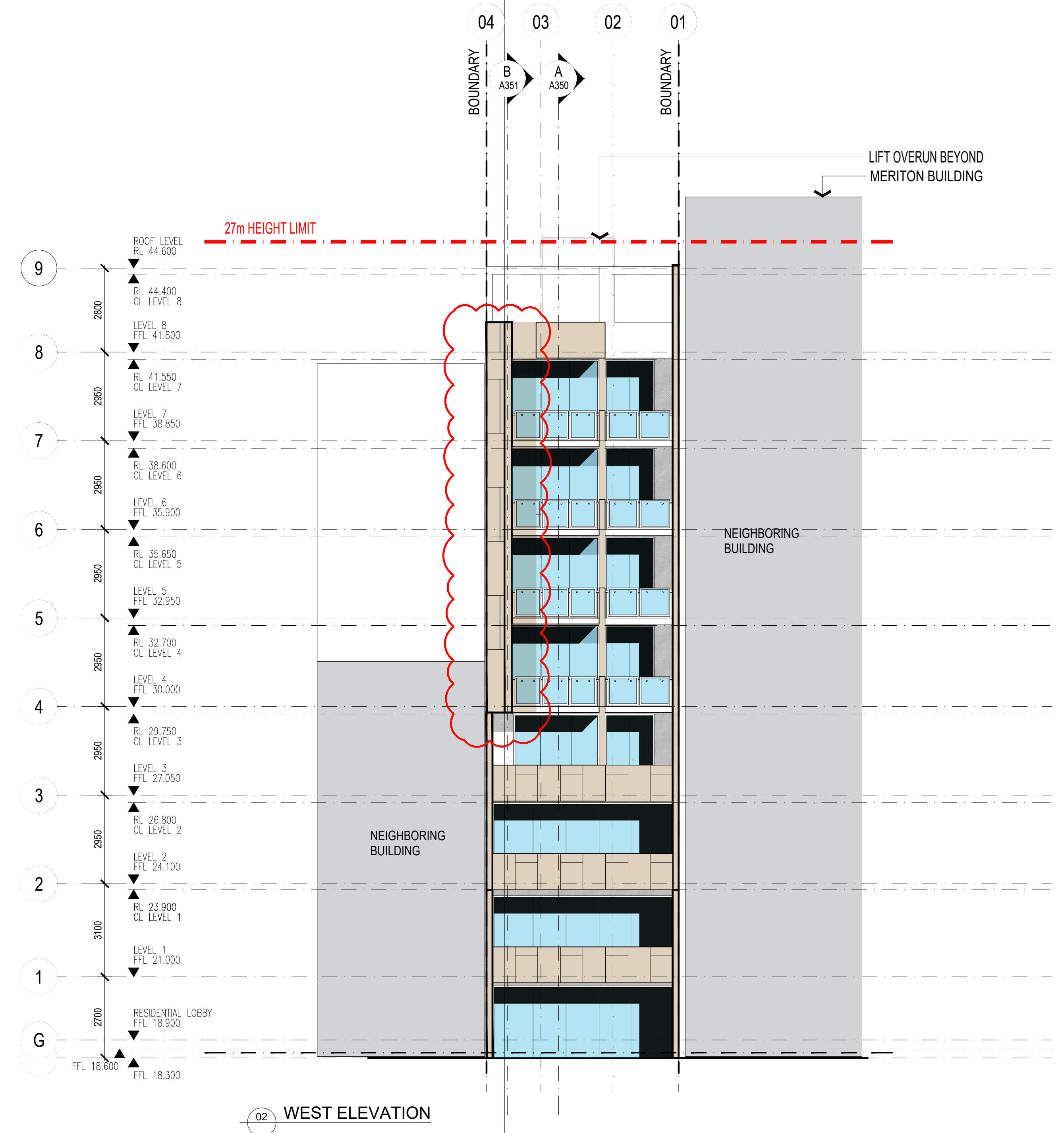
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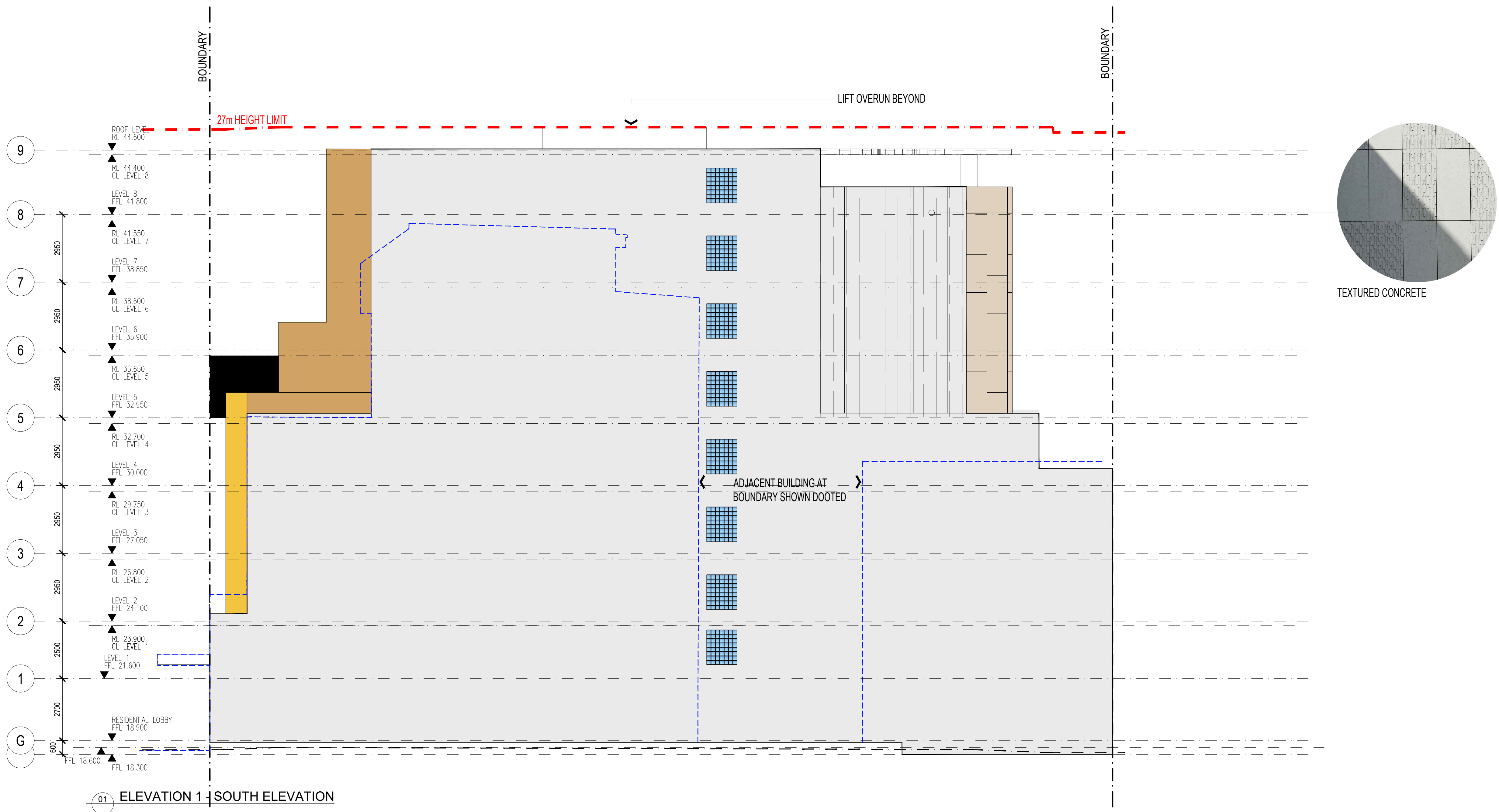
20036

A109

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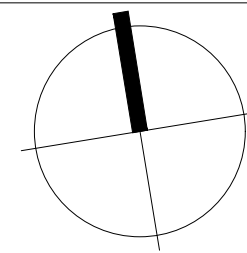
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F	21.06.24	ISSUED TO CONSULTANT
E	21.06.15	ISSUED TO COUNCIL
D	21.05.10	ISSUED TO CONSULTANT
C	21.03.24	ISSUED TO CONSULTANT
B	21.03.04	ISSUED TO CONSULTANT
A	21.03.03	ISSUED TO CONSULTANT

CLIENT  
DEVELOPMENT LINK

PROJECT  
ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
ELEVATIONS - SHEET 03



SCALE  
1:100 @ A1

APPROVED  
DRAWN MT  
CHECKED PG

DATE  
NOV 2020

STATUS  
DA

PROJECT NUMBER  
20036

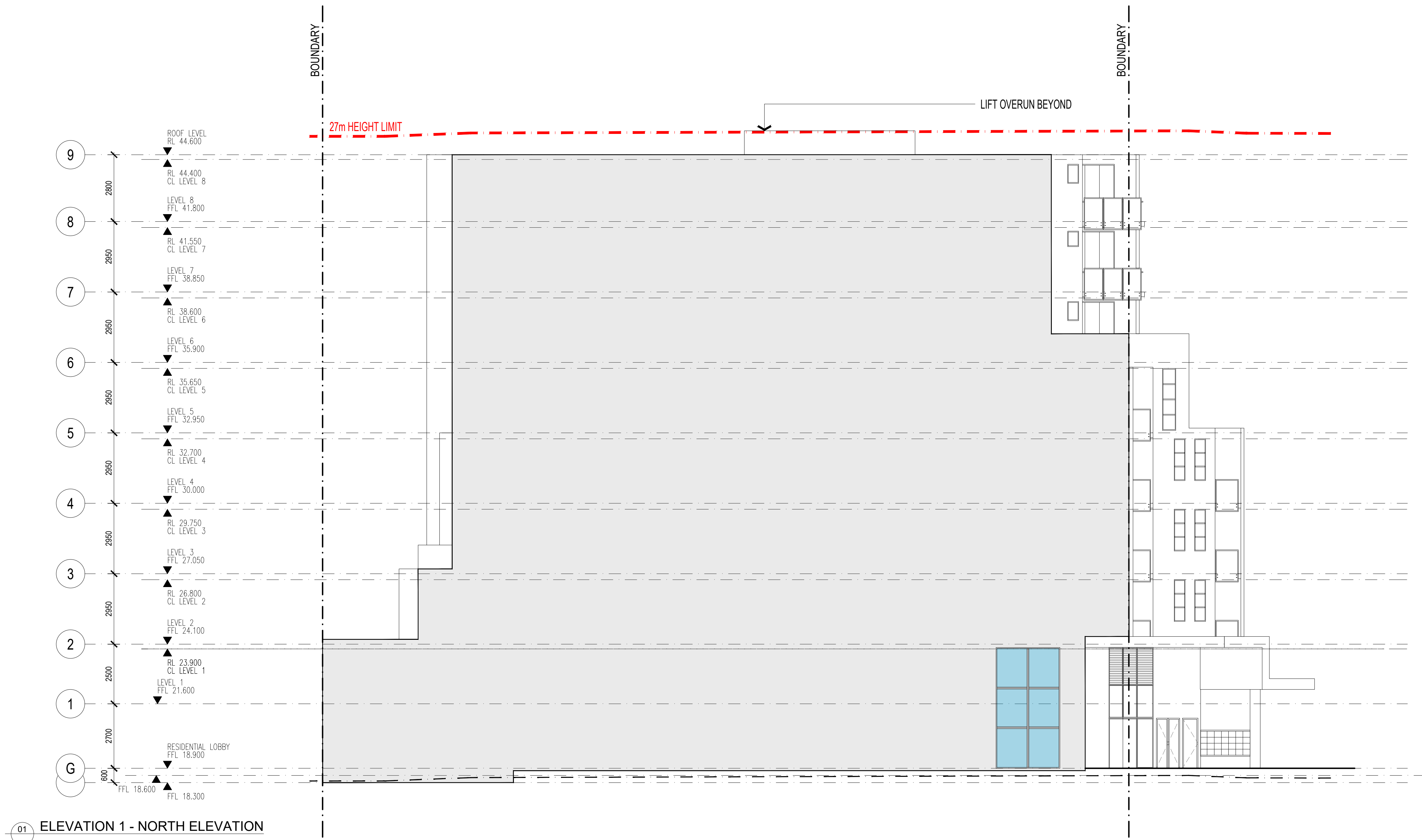
DRAWING NUMBER

A302

ISSUE







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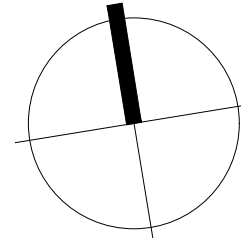
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B	21.06.24	ISSUED TO CONSULTANT
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DEVELOPMENT LINK

PROJECT  
ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
ELEVATIONS - SHEET 04



SCALE  
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DATE NOV 2020  
STATUS DA

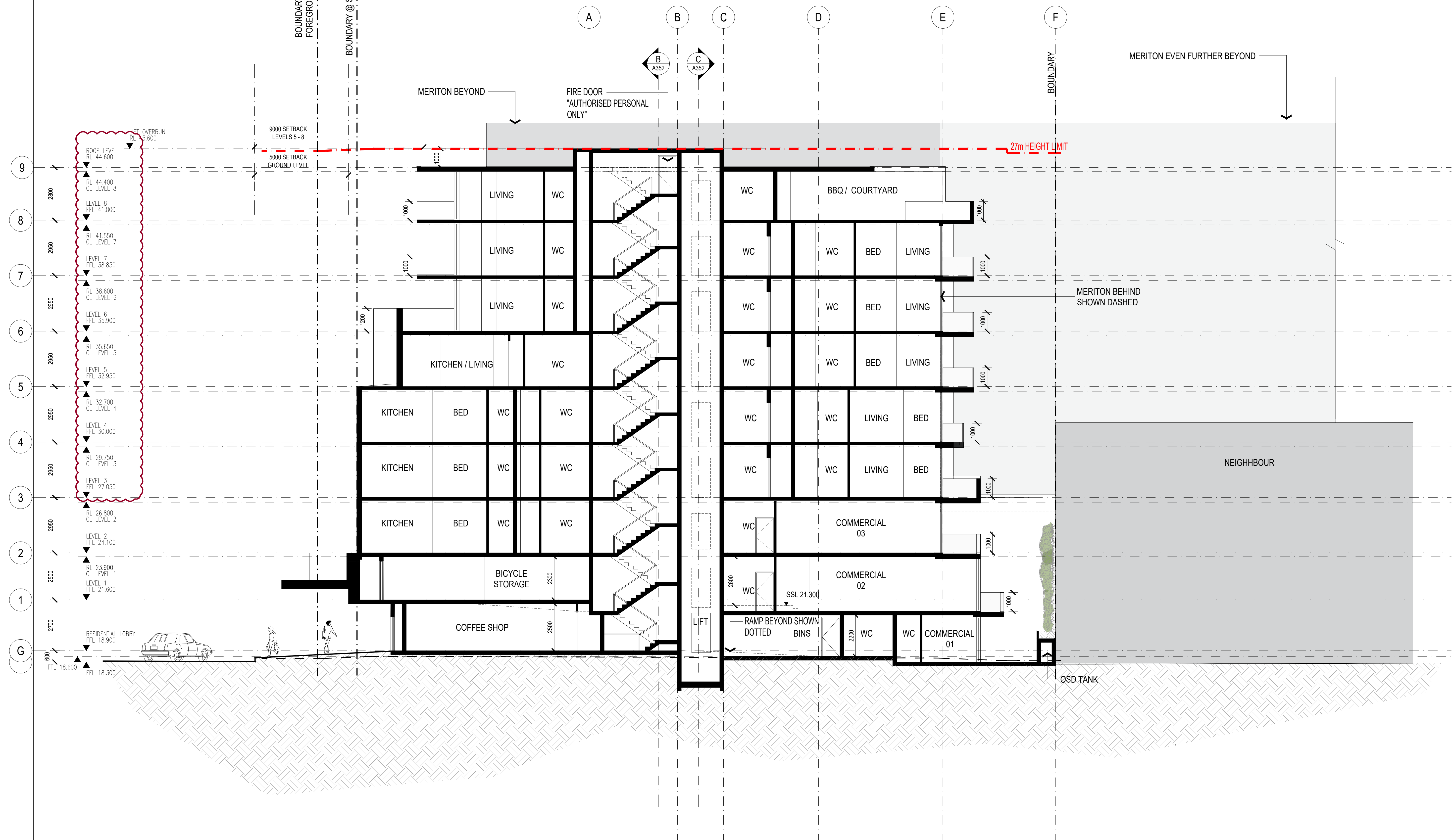
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DRAWING NUMBER

A303

ISSUE

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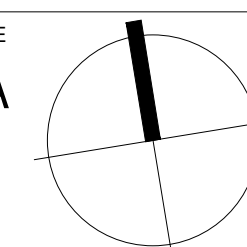
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P	21.06.15	ISSUED TO COUNCIL	
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M	21.03.24	ISSUED TO CONSULTANT	
L	21.03.03	ISSUED TO CONSULTANT	
K	21.03.01	ISSUED FOR MEETING	
J	21.02.26	ISSUED TO CONSULTANT	
ISSUE	DATE	AMENDMENTS	

DEVELOPMENT LINK

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882A PITTWATER ROAD, DEE WHY NSW 2099

SECTION AA



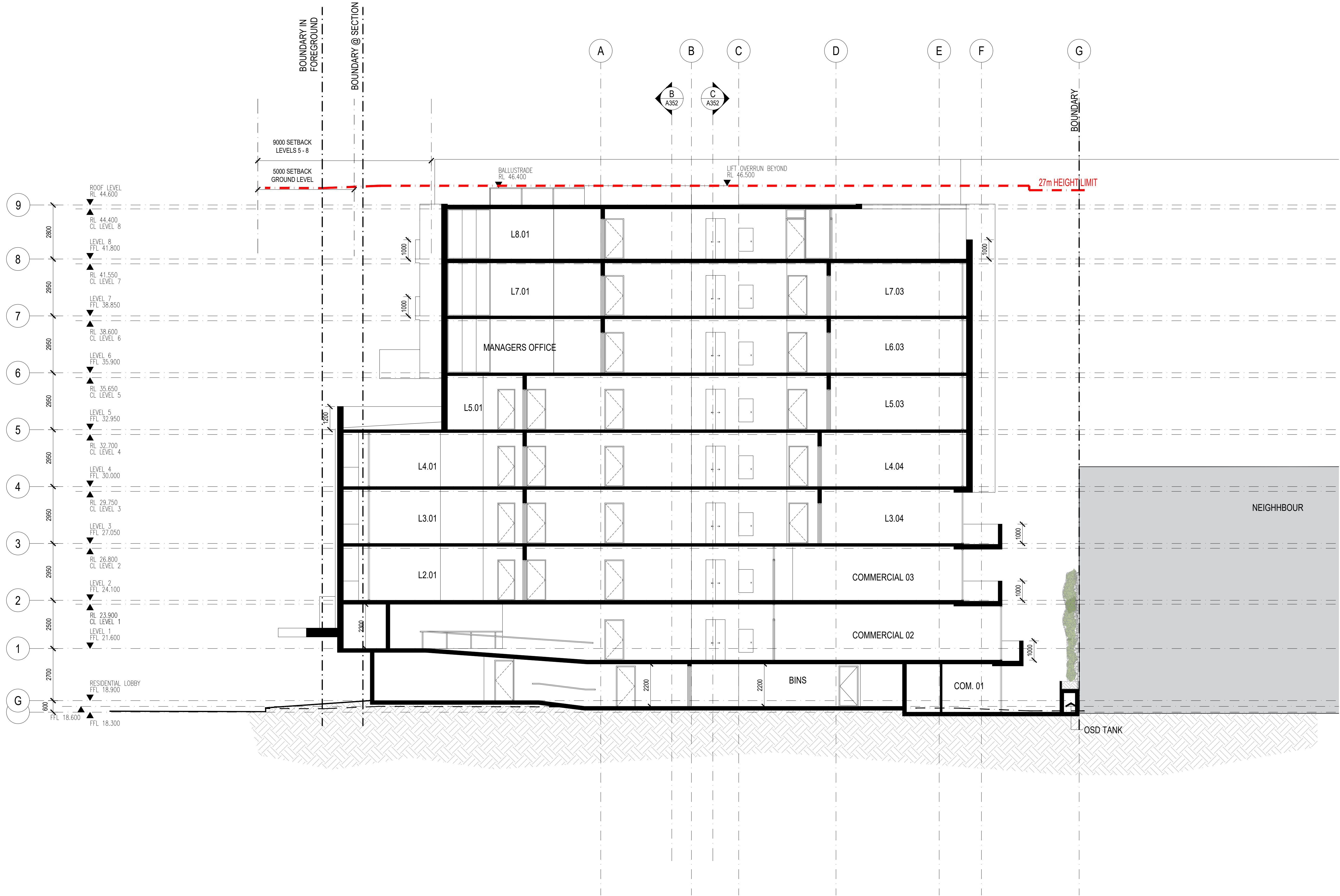
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STATUS DA

PROJECT NUMBER 20036

DRAWING NUMBER A350

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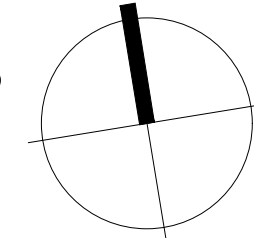
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M	21.03.03	ISSUED TO CONSULTANT
L	21.03.01	ISSUED FOR MEETING
K	21.02.26	ISSUED TO CONSULTANT
ISSUE	DATE	AMENDMENTS

CLIENT  
DEVELOPMENT LINK

PROJECT  
ARH DEE WHY

882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
SECTION BB



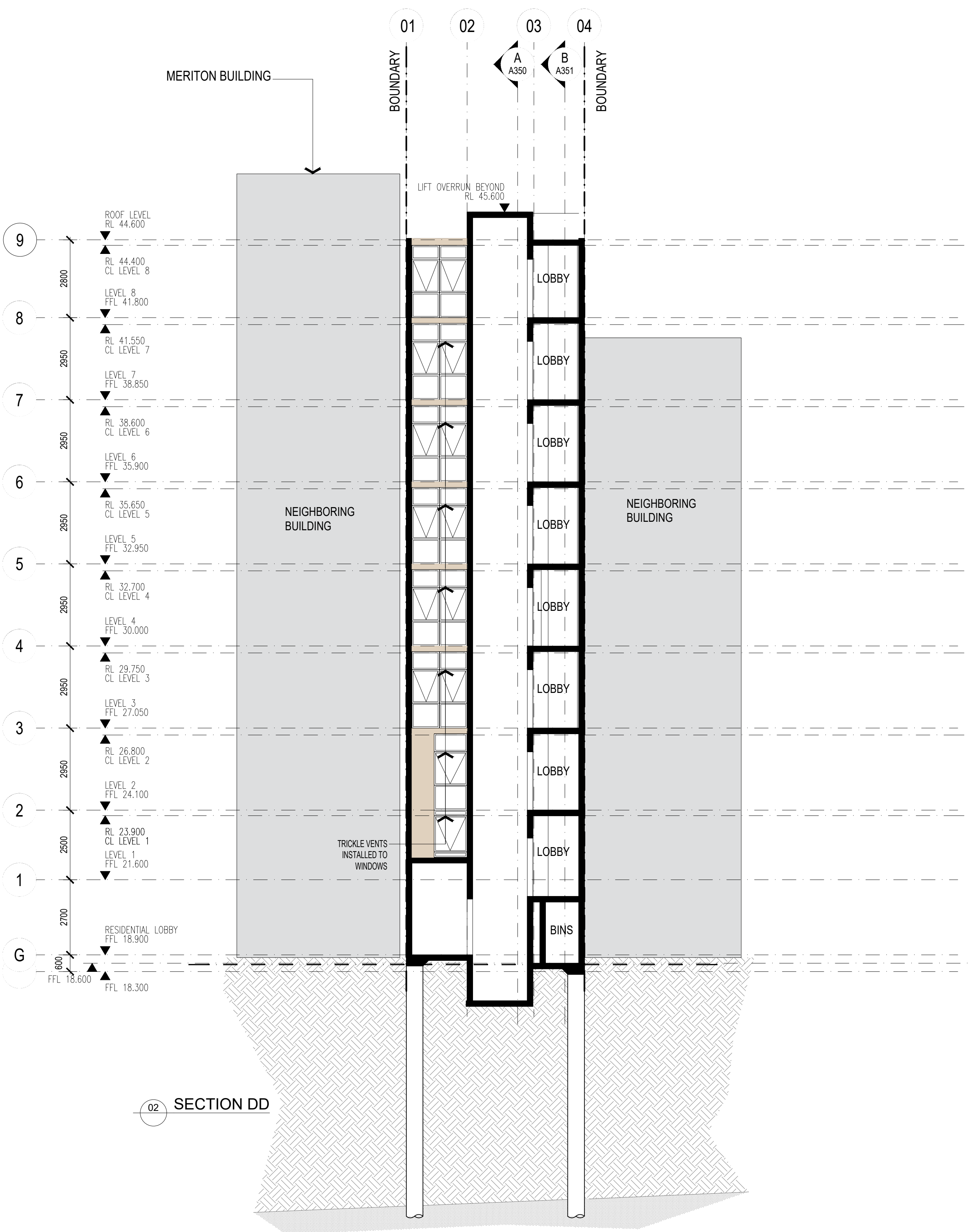
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PROJECT NUMBER  
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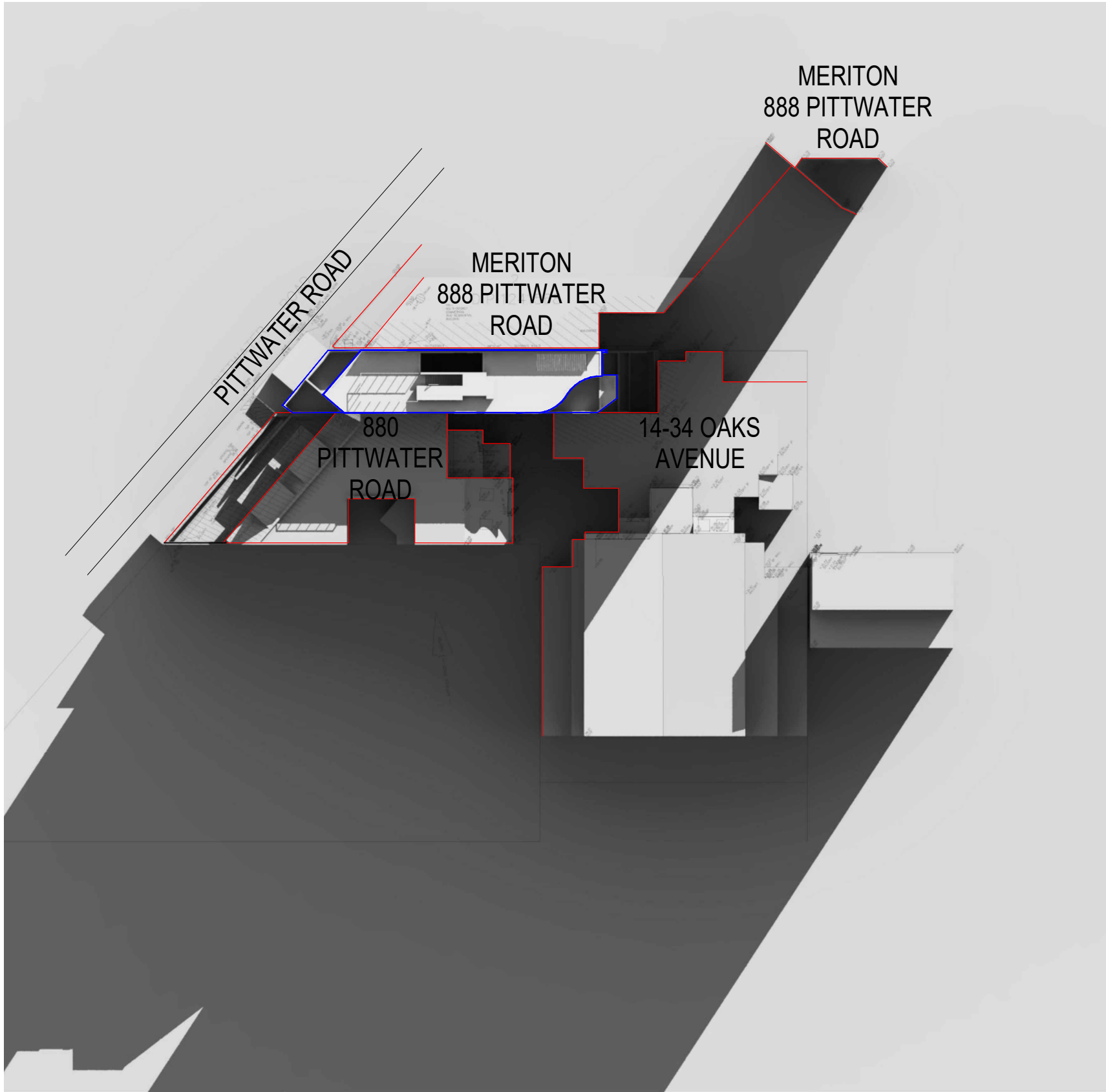
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ISSUE

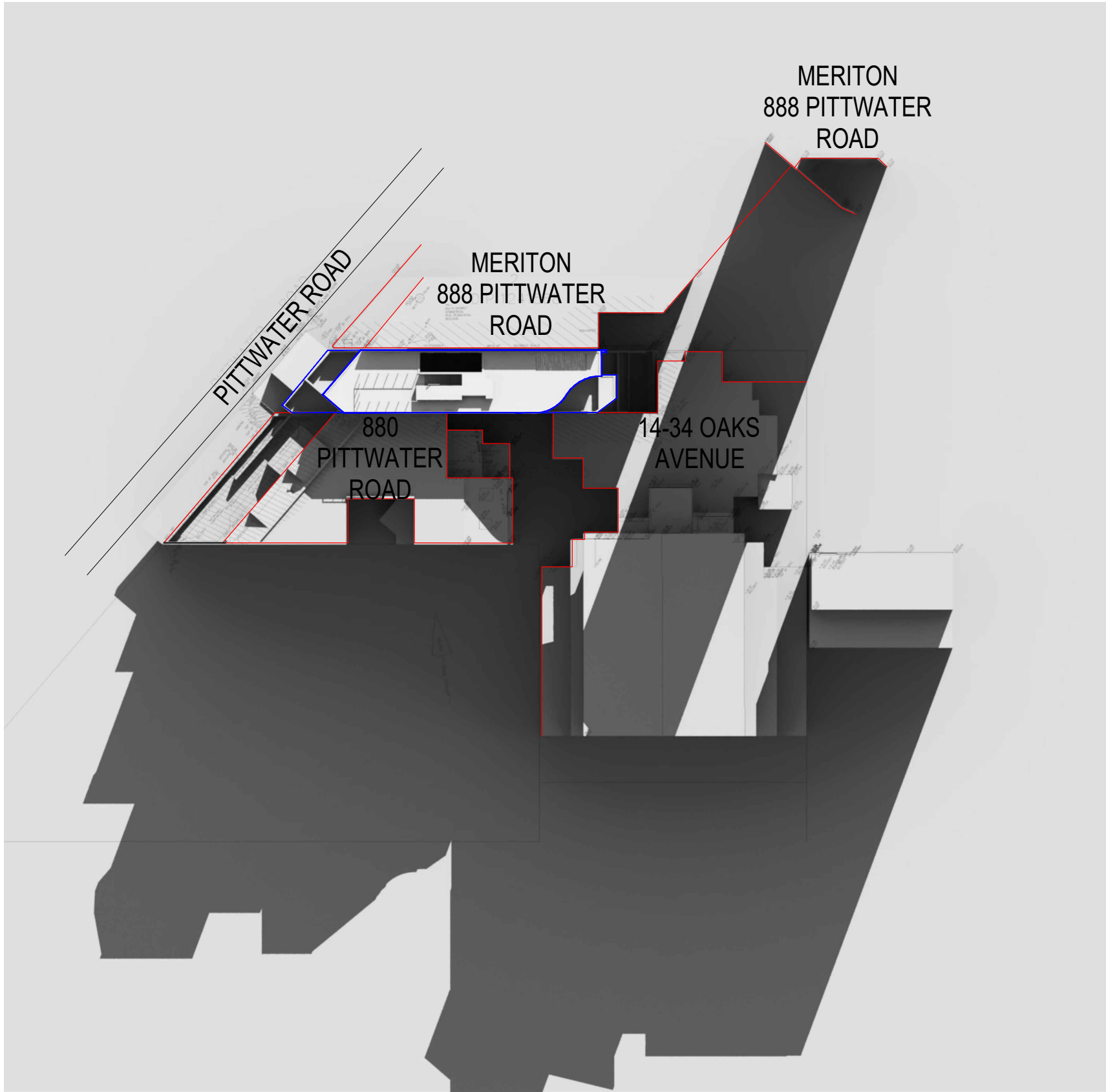




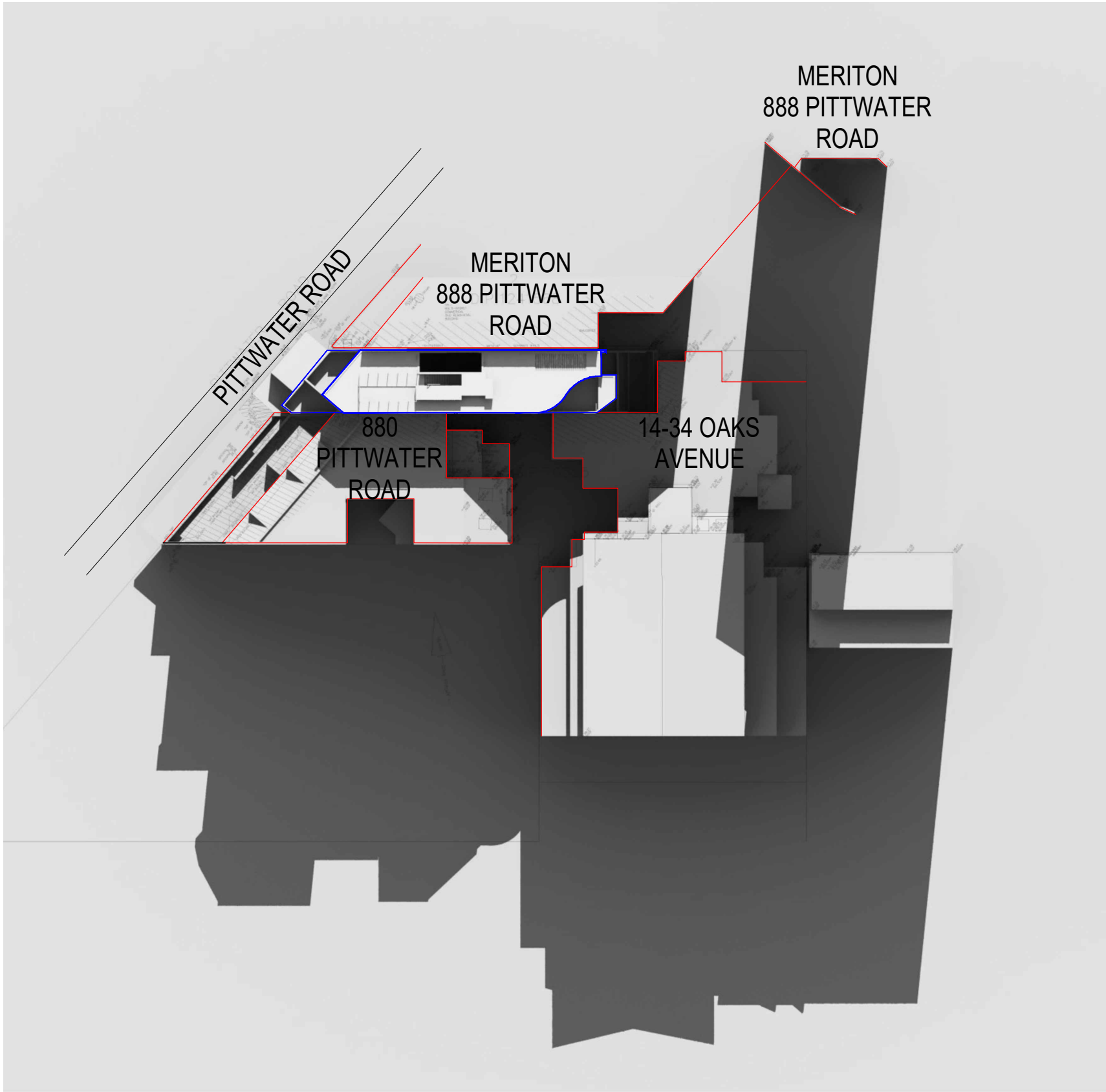




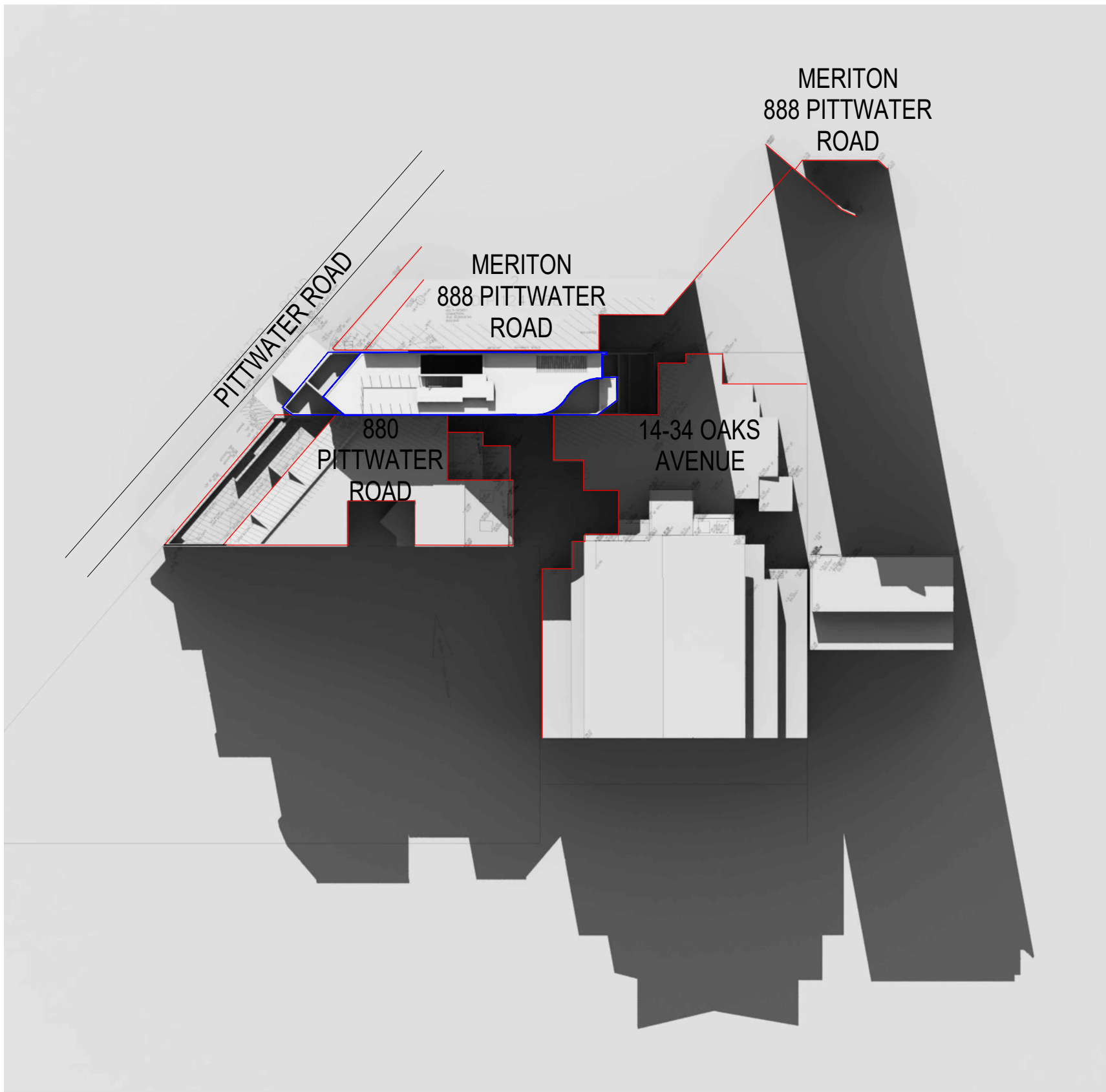
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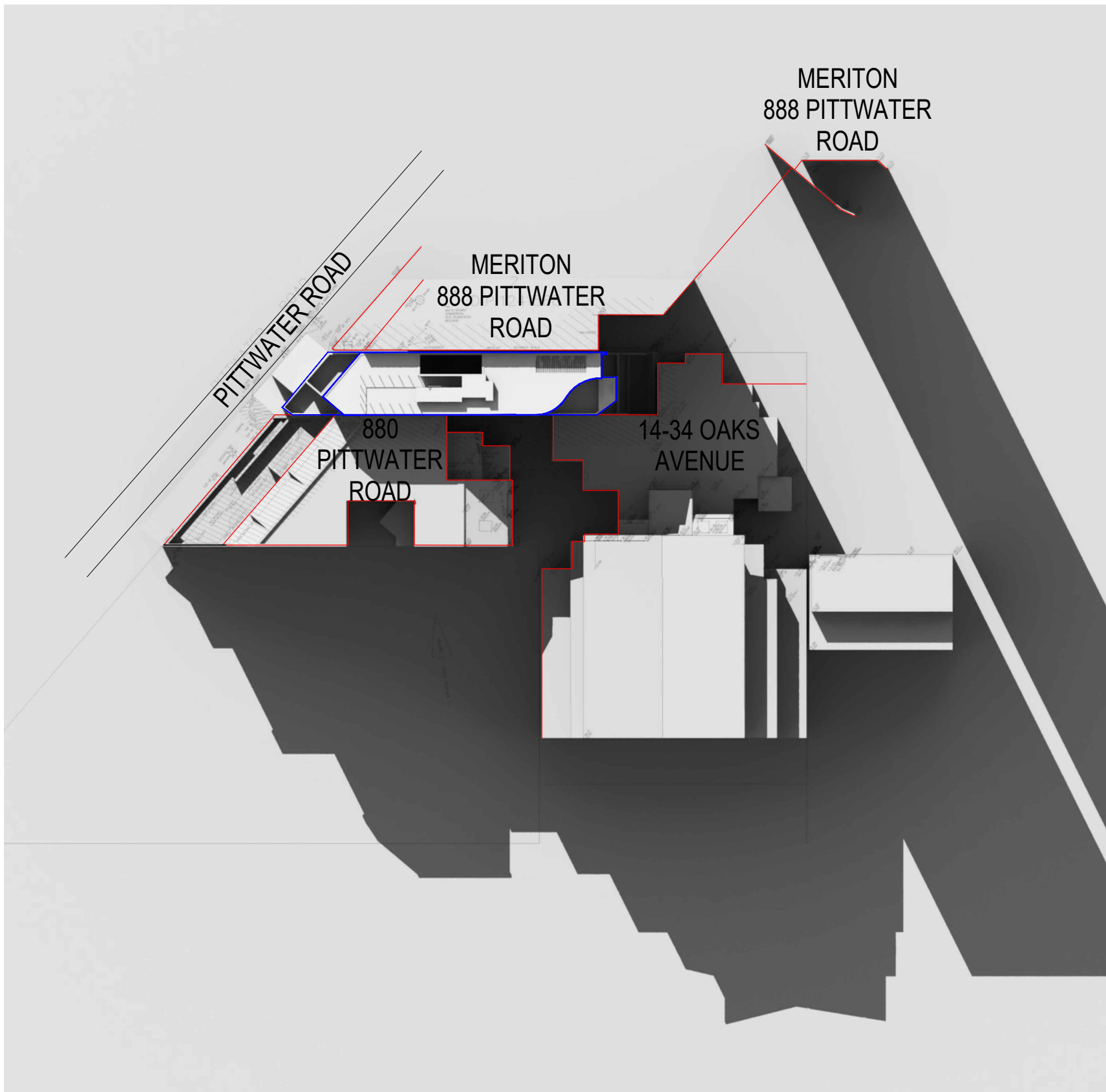
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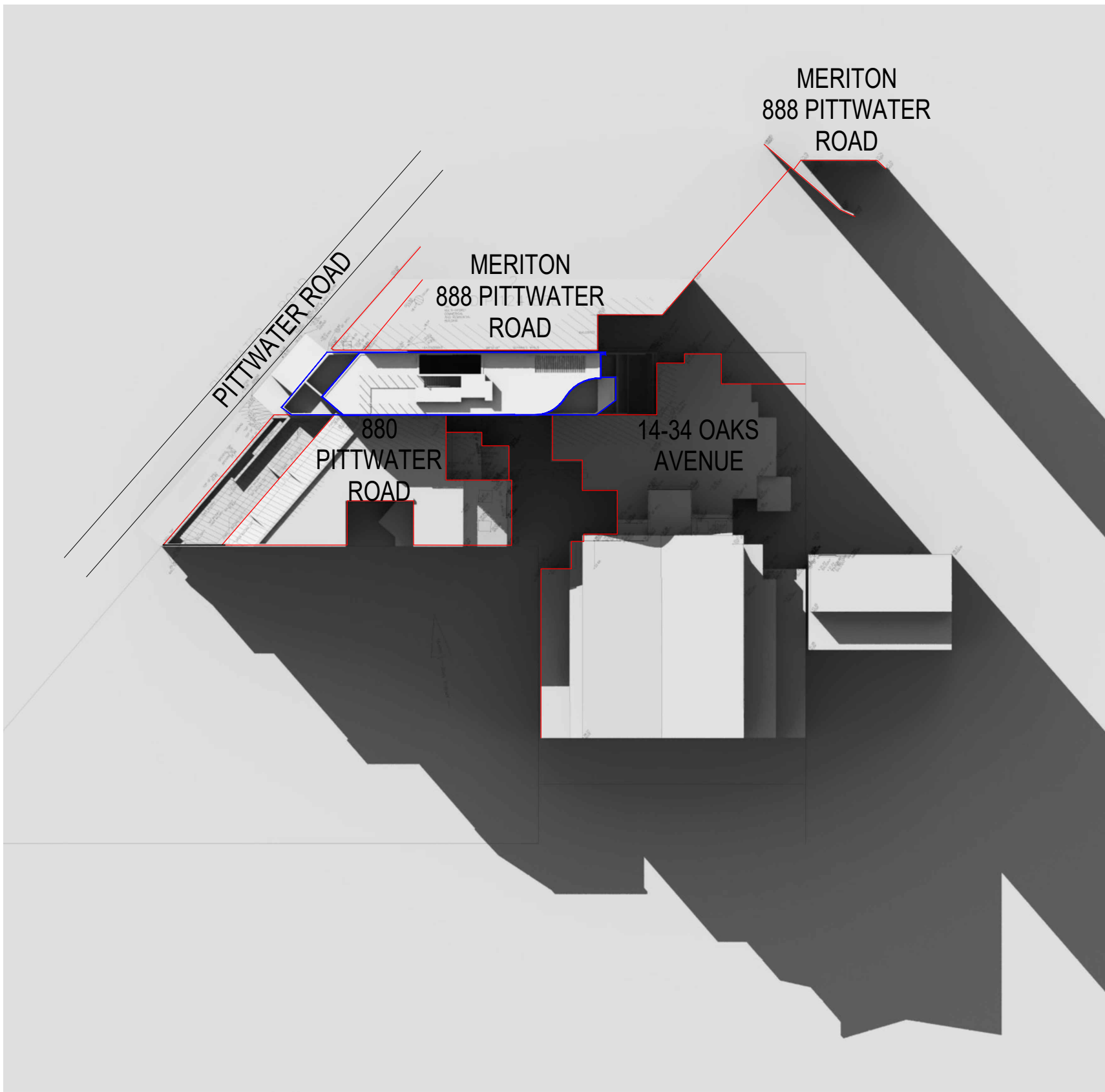
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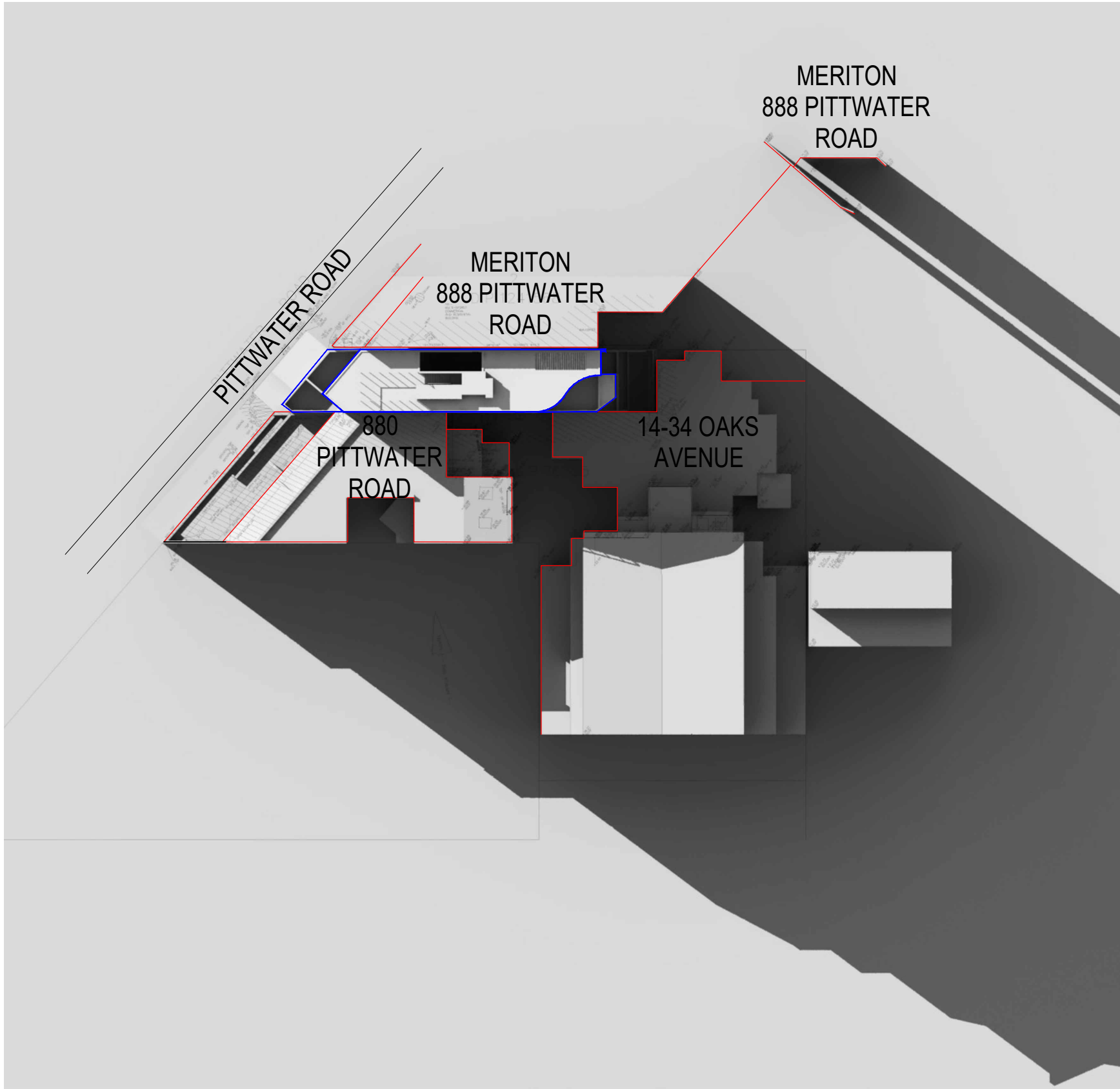
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1:00pm  
21th JUNE



2:00pm  
21th JUNE



3:00pm  
21th JUNE

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PROJECT  
ARH DEE WHY  
882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
SHADOW DIAGRAMS  
SHEET 02

SCALE  
N.T.S.

APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

MT  
PG  
NOV 2020  
DA

PROJECT NUMBER  
20036

DRAWING NUMBER

A401

ISSUE

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PROPOSED  
DEVELOPMENT

14-34 OAKS  
AVENUE

14-34 OAKS AVENUE  
LEVEL 04 TERRACE

MERITON SUITES  
ALREADY IMPEDING  
SOLAR ACCESS

01 JUNE 9:00 AM

880 PITTWATER ROAD

PROPOSED  
DEVELOPMENT

14-34 OAKS  
AVENUE

MERITON SUITES  
ALREADY IMPEDING  
SOLAR ACCESS

02 JUNE 10:00 AM

880 PITTWATER ROAD

14-34 OAKS  
AVENUE

PROPOSED  
DEVELOPMENT

14-34 OAKS AVENUE  
LEVEL 04 TERRACE

MERITON SUITES  
ALREADY IMPEDING  
SOLAR ACCESS

03 JUNE 11:00 AM

880 PITTWATER ROAD

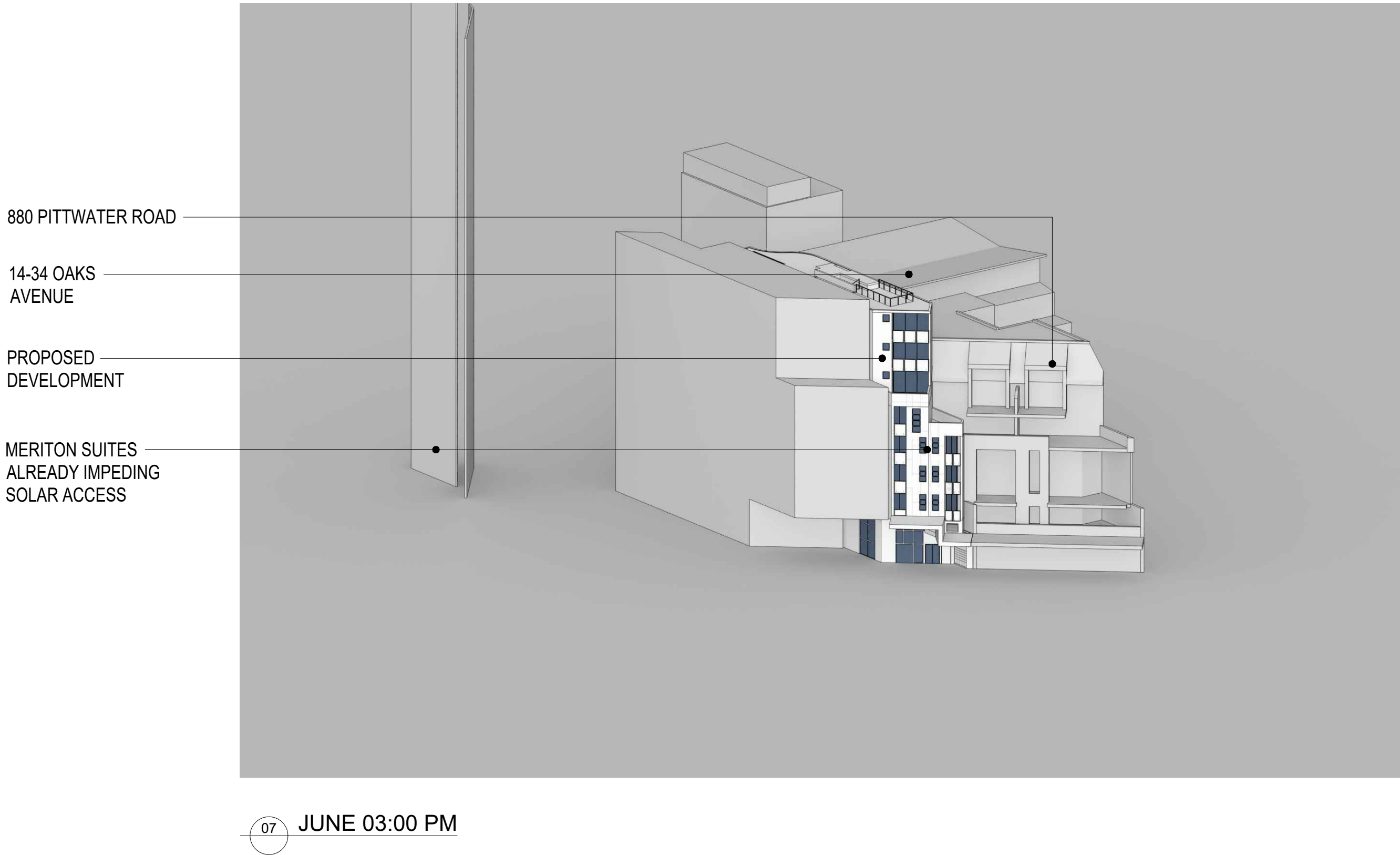
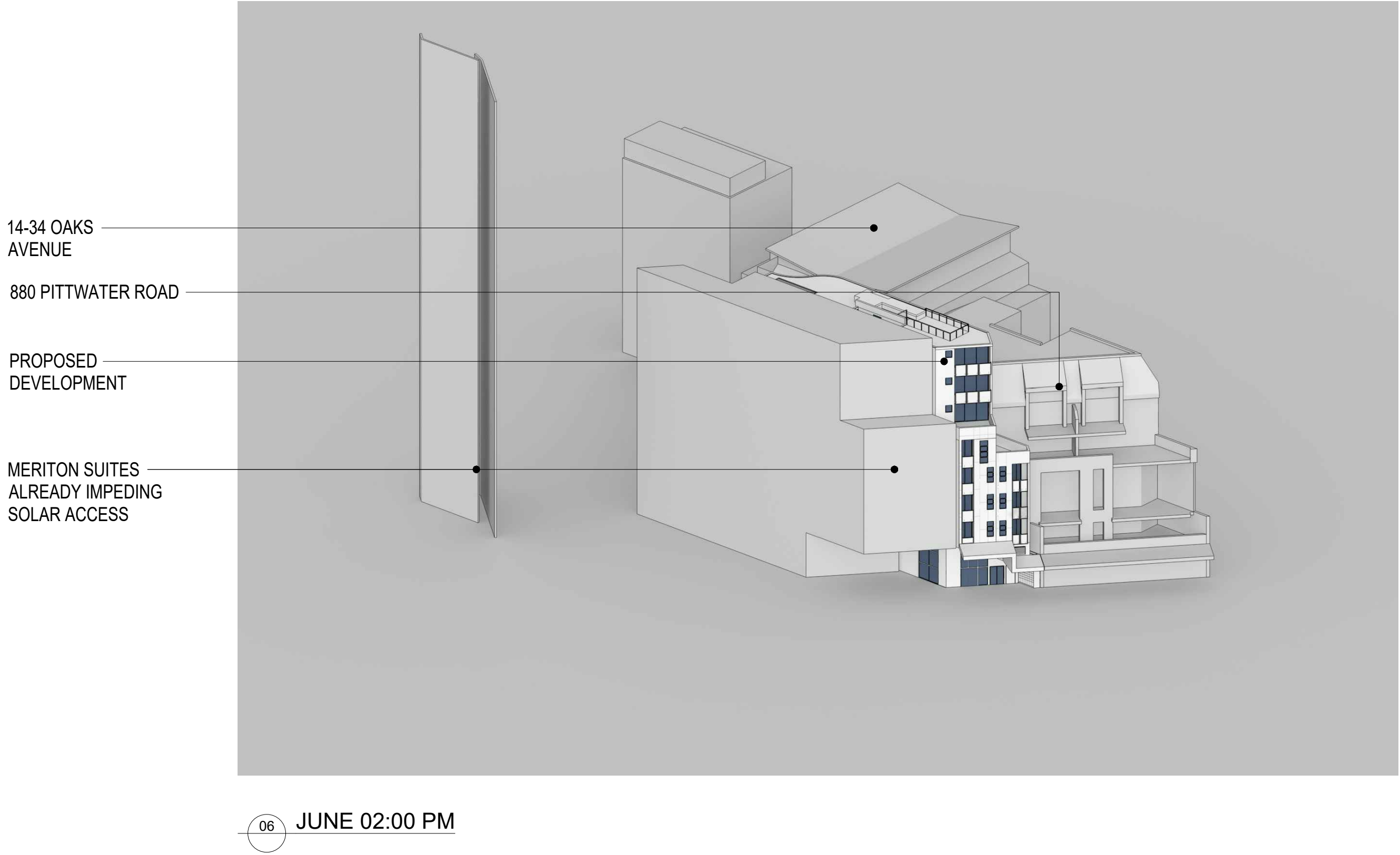
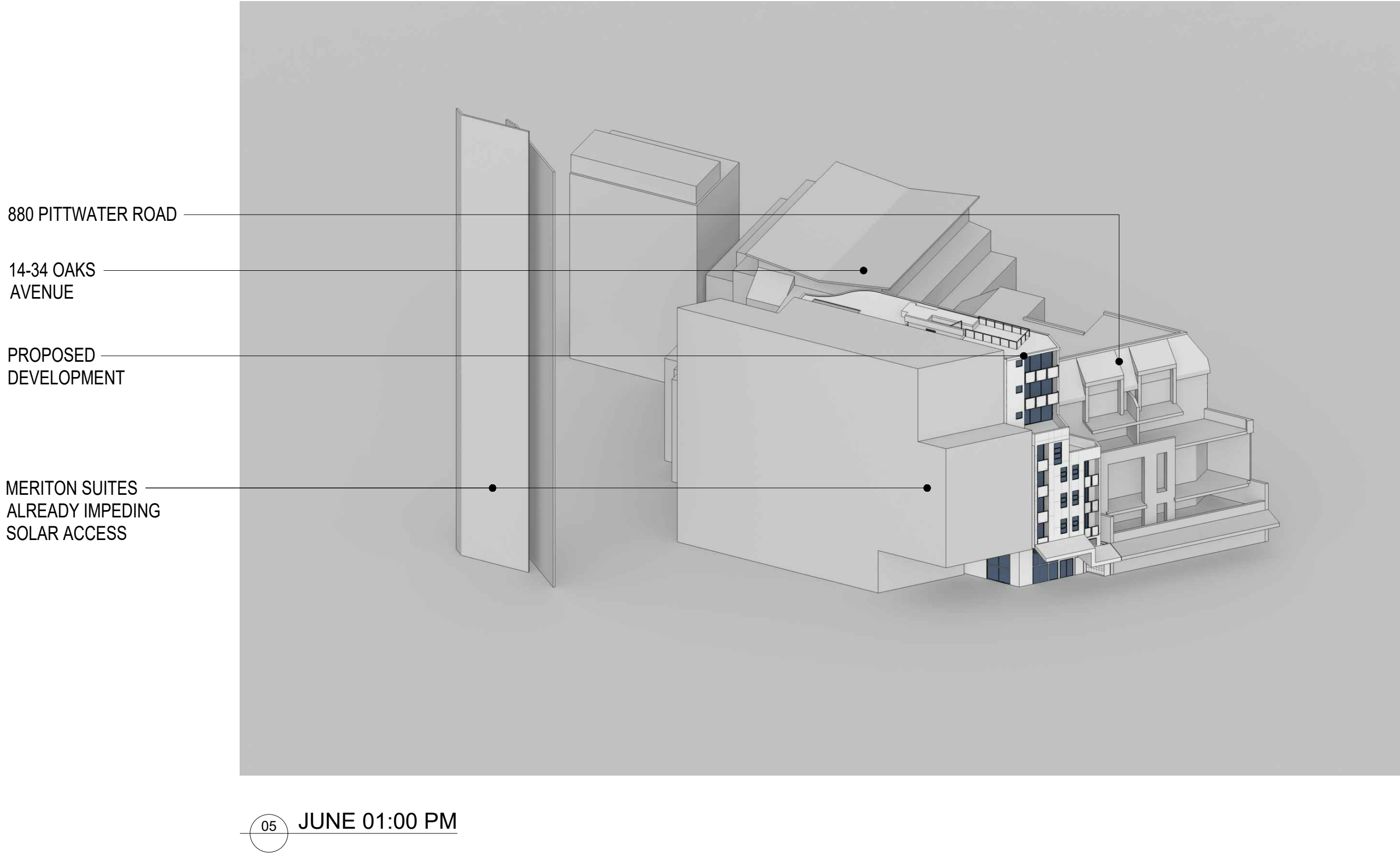
14-34 OAKS  
AVENUE

PROPOSED  
DEVELOPMENT

14-34 OAKS AVENUE  
LEVEL 04 TERRACE

MERITON SUITES  
ALREADY IMPEDING  
SOLAR ACCESS

04 JUNE 12:00 PM



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ISSUE	DATE	AMENDMENTS

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DEVELOPMENT LINK

PROJECT  
ARH DEE WHY  
882A PITTWATER ROAD, DEE WHY NSW 2099

TITLE  
SOLAR STUDIES WINTER  
SHEET 02

SCALE N.T.S.  
APPROVED  
DRAWN MT  
CHECKED PG  
DATE NOV 2020  
STATUS DA

PROJECT NUMBER  
20036

DRAWING NUMBER

A403

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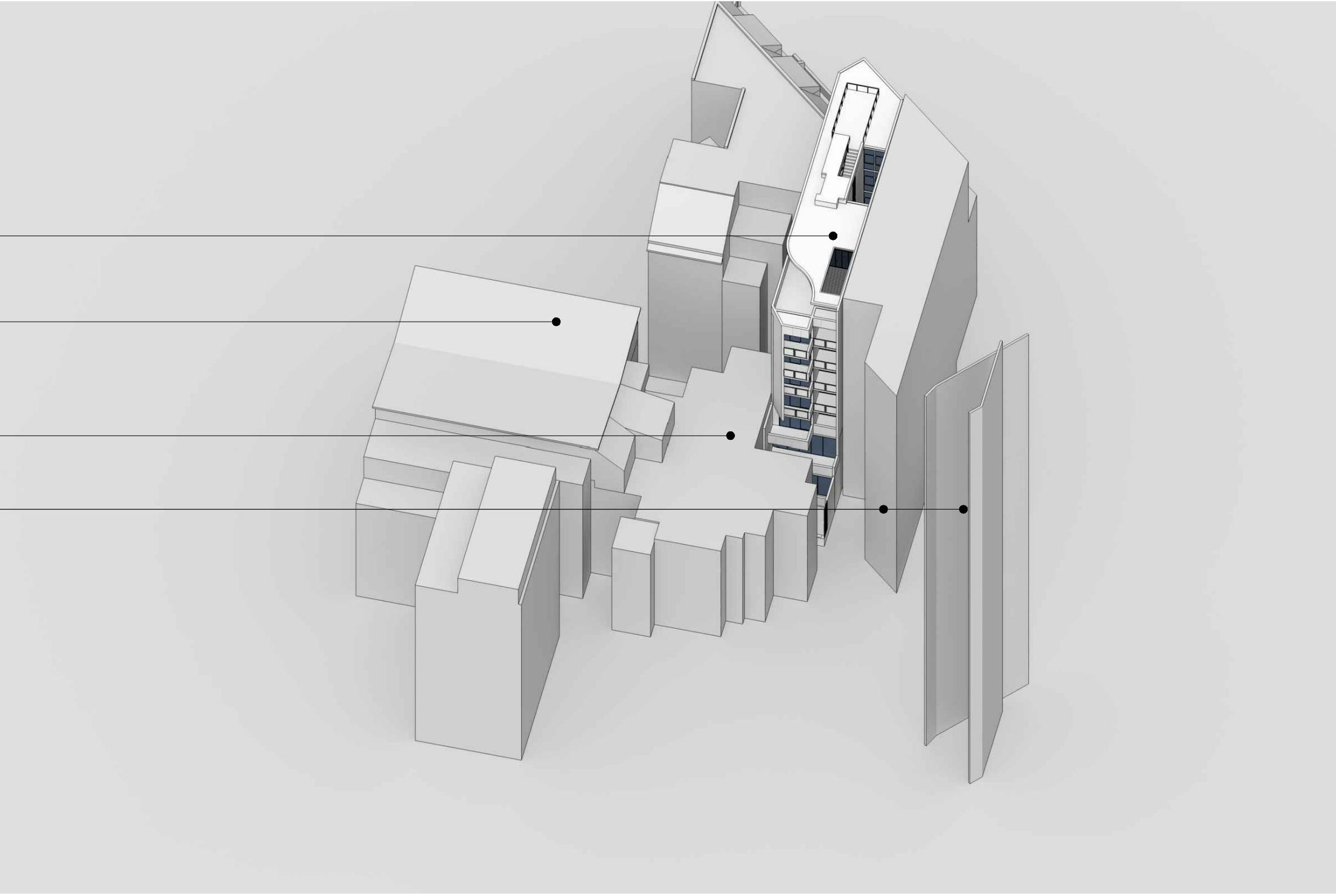


PROPOSED  
DEVELOPMENT

14-34 OAKS  
AVENUE

14-34 OAKS AVENUE  
LEVEL 04 TERRACE

MERITON SUITES  
ALREADY IMPEDING  
SOLAR ACCESS



01 DECEMEBER 9:00 AM

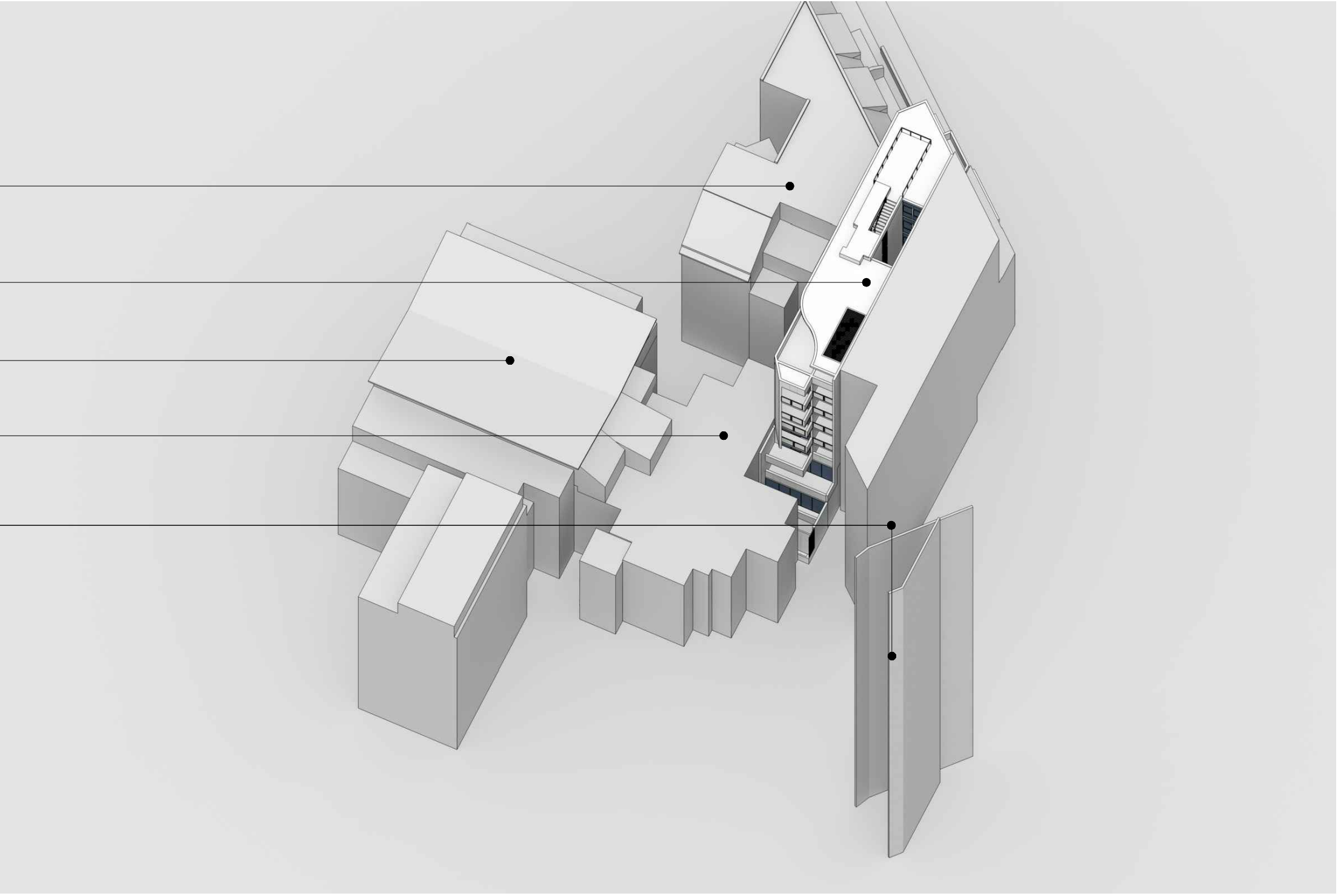
880 PITTWATER ROAD

PROPOSED  
DEVELOPMENT

14-34 OAKS  
AVENUE

14-34 OAKS AVENUE  
LEVEL 04 TERRACE

MERITON SUITES  
ALREADY IMPEDING  
SOLAR ACCESS



02 DECEMEBER 10:00 AM

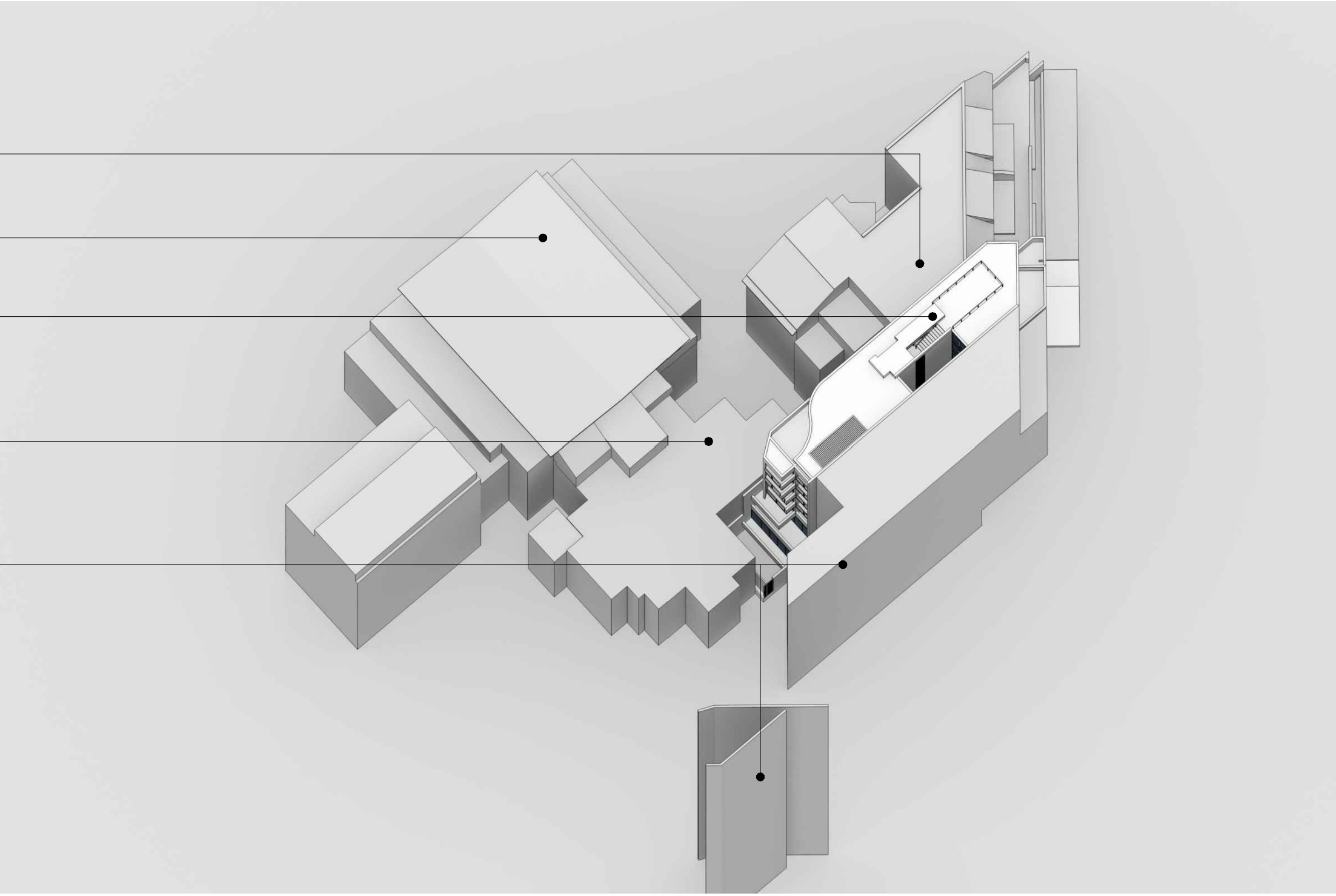
880 PITTWATER ROAD

14-34 OAKS  
AVENUE

PROPOSED  
DEVELOPMENT

14-34 OAKS AVENUE  
LEVEL 04 TERRACE

MERITON SUITES  
ALREADY IMPEDING  
SOLAR ACCESS



03 DECEMEBER 11:00 AM

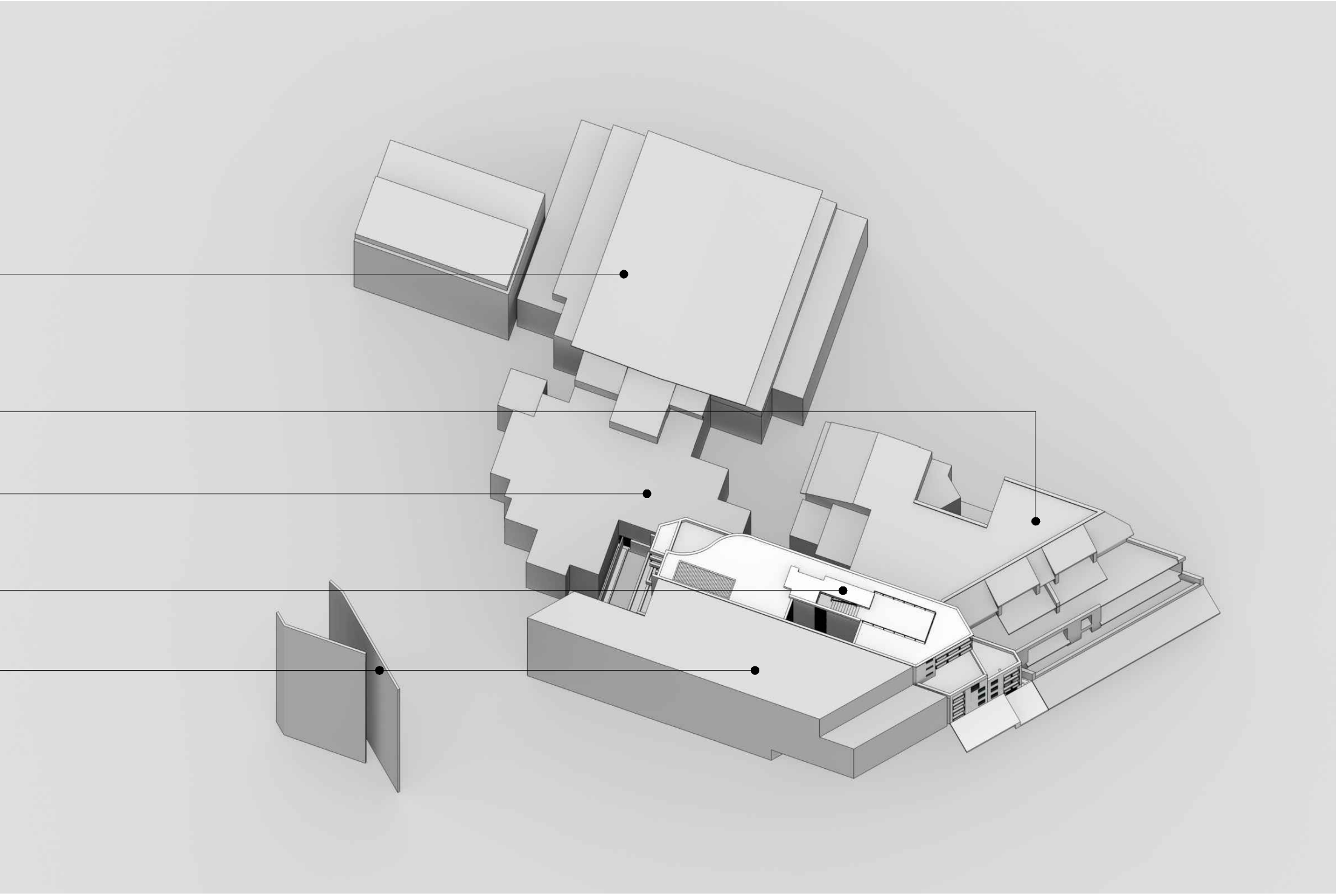
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AVENUE

880 PITTWATER ROAD

14-34 OAKS AVENUE  
LEVEL 04 TERRACE

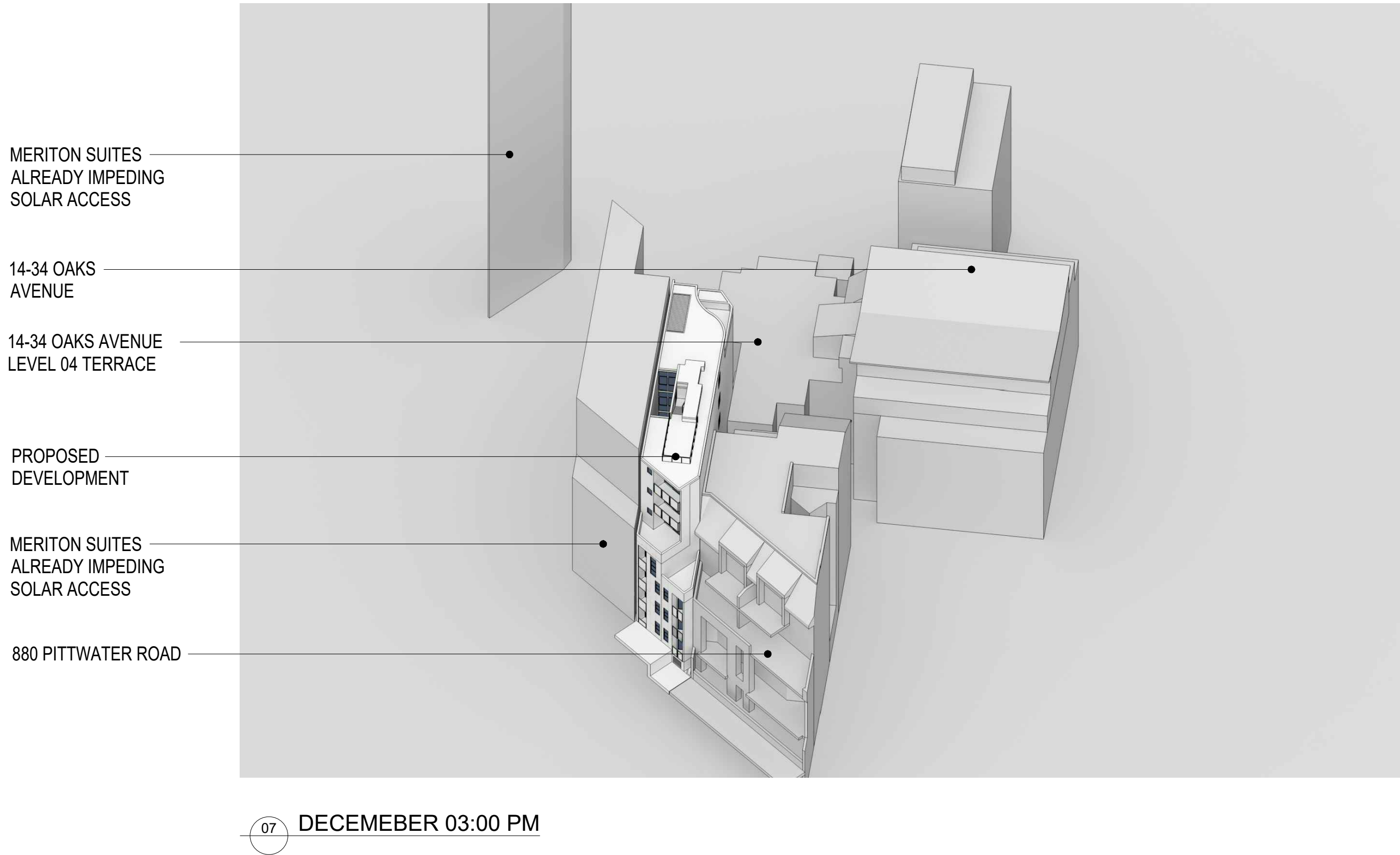
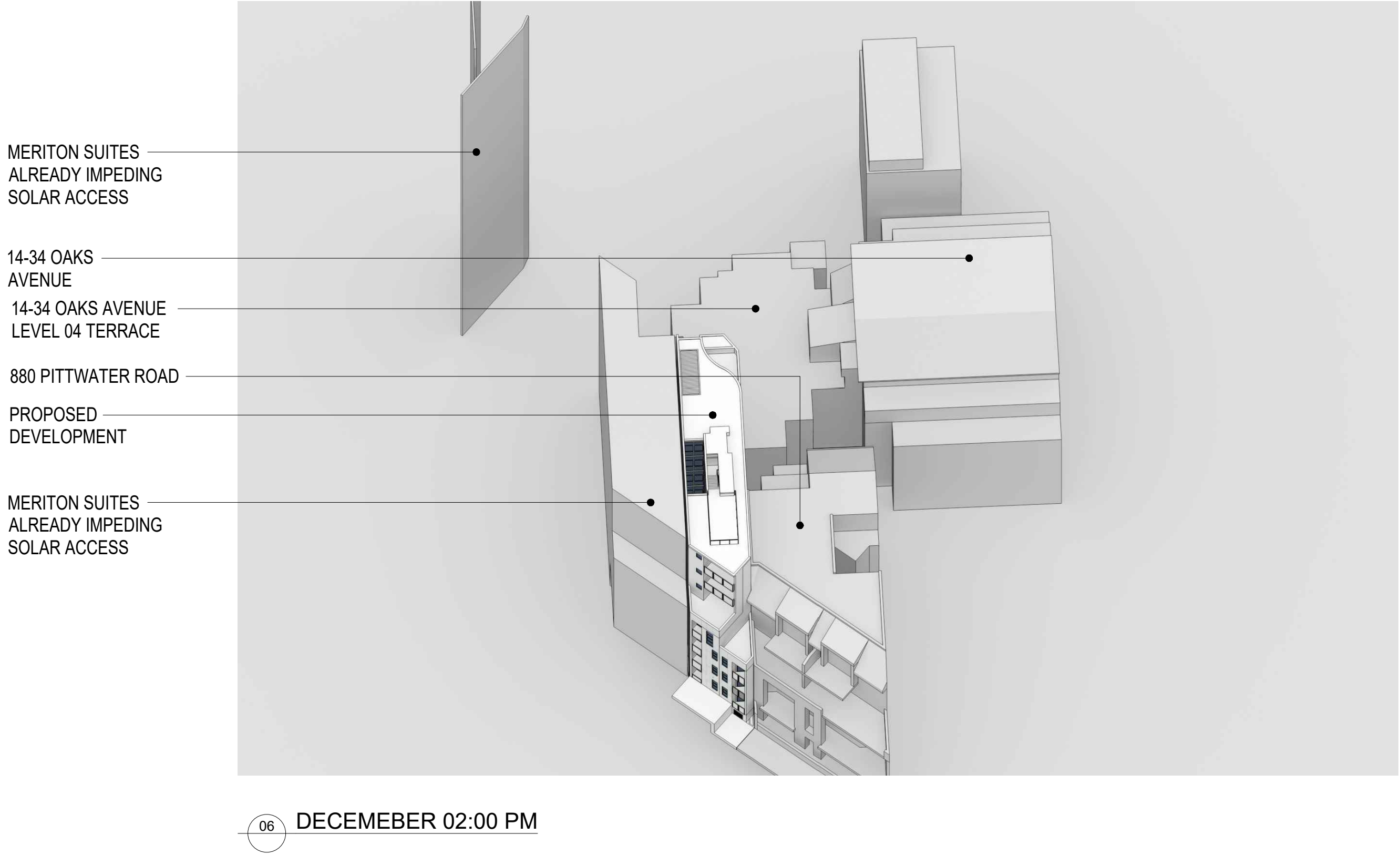
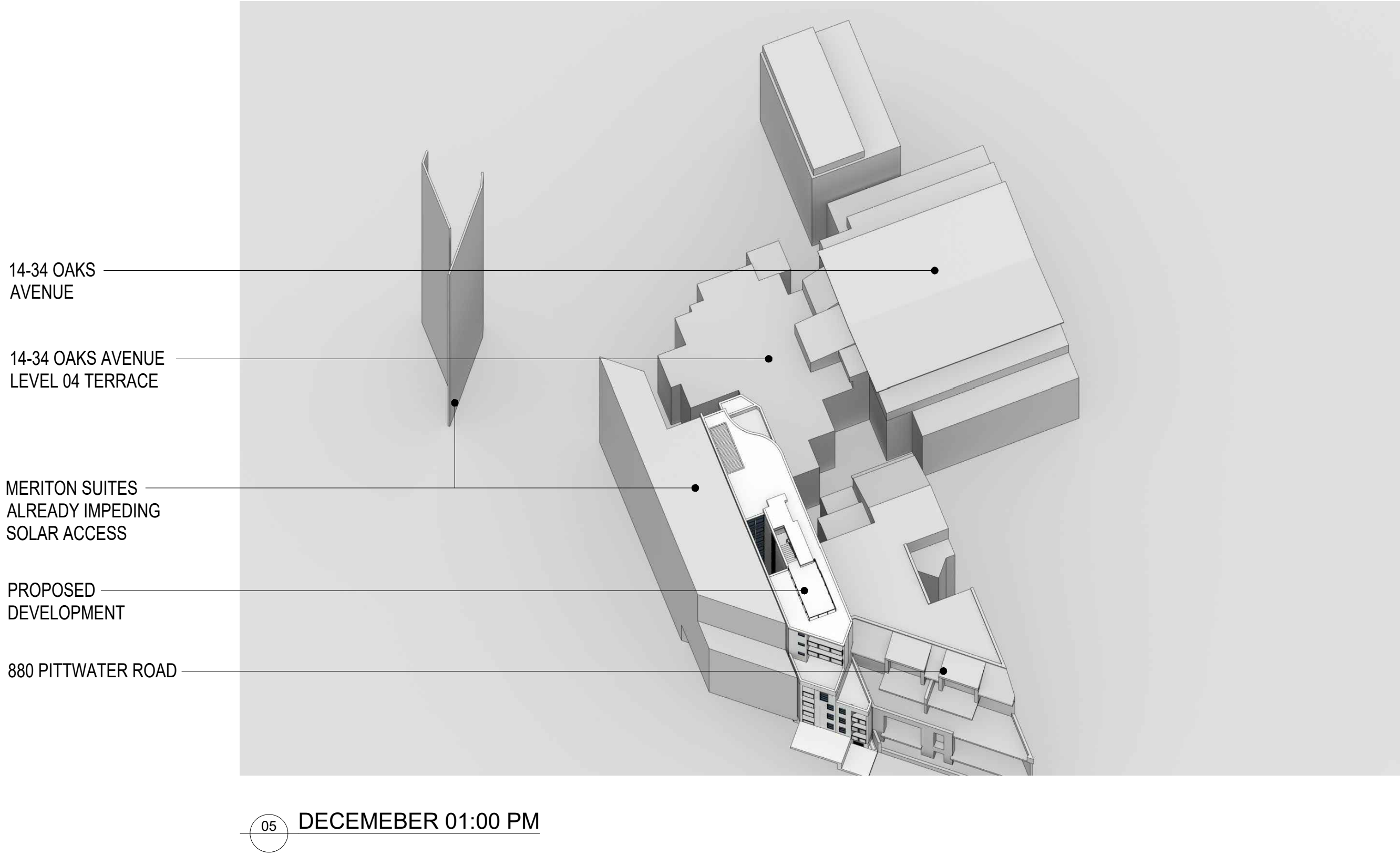
PROPOSED  
DEVELOPMENT

MERITON SUITES  
ALREADY IMPEDING  
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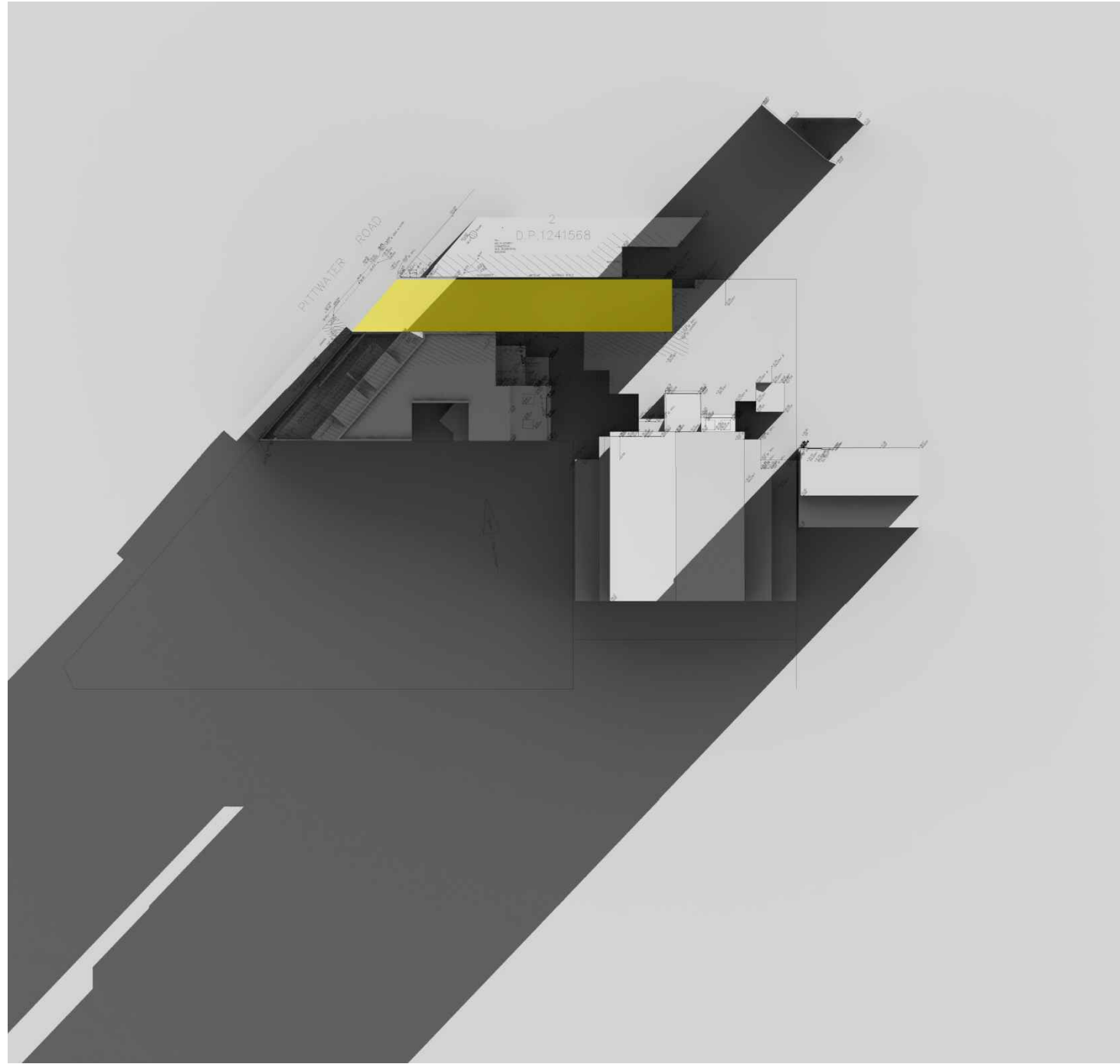


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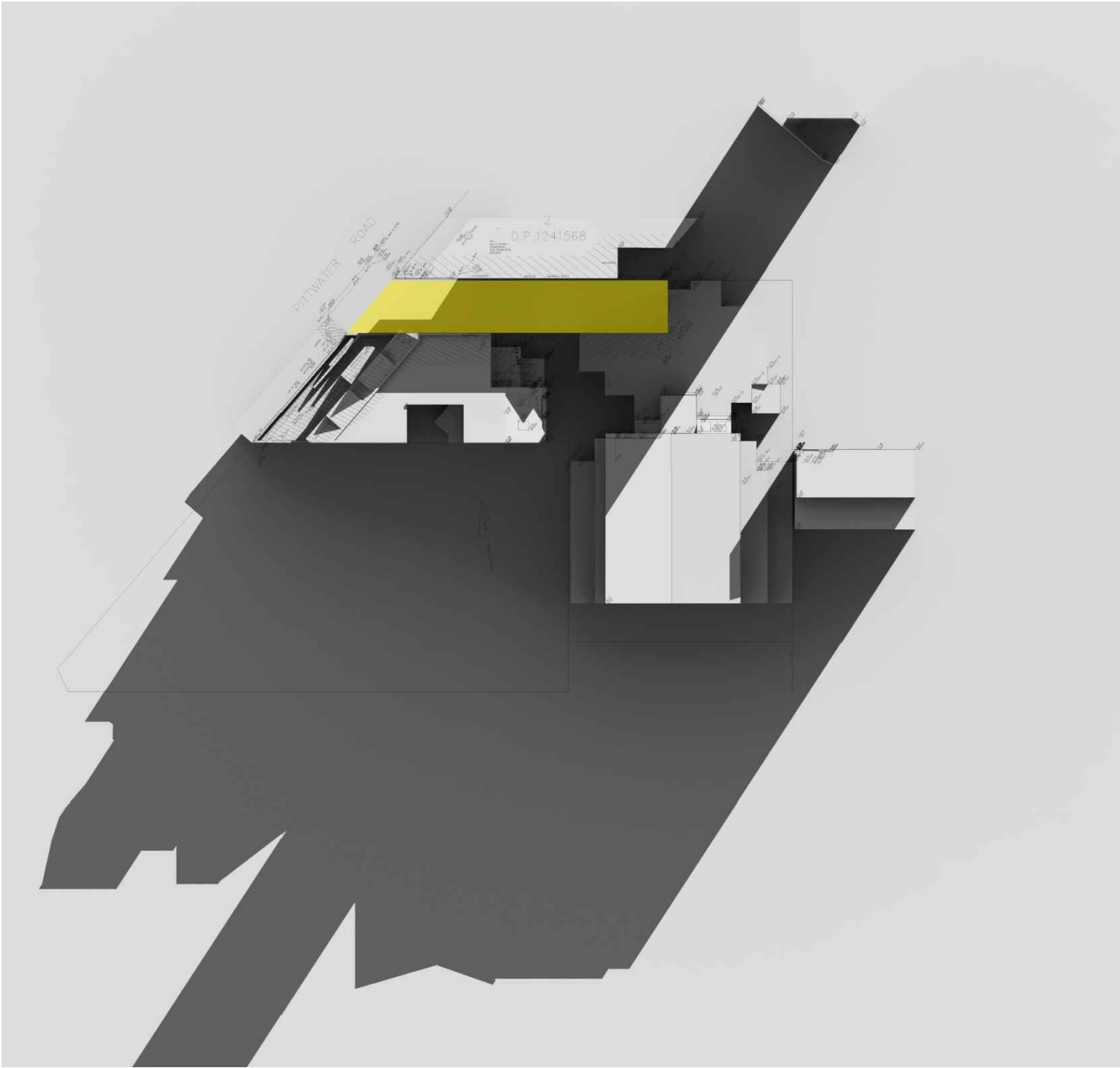




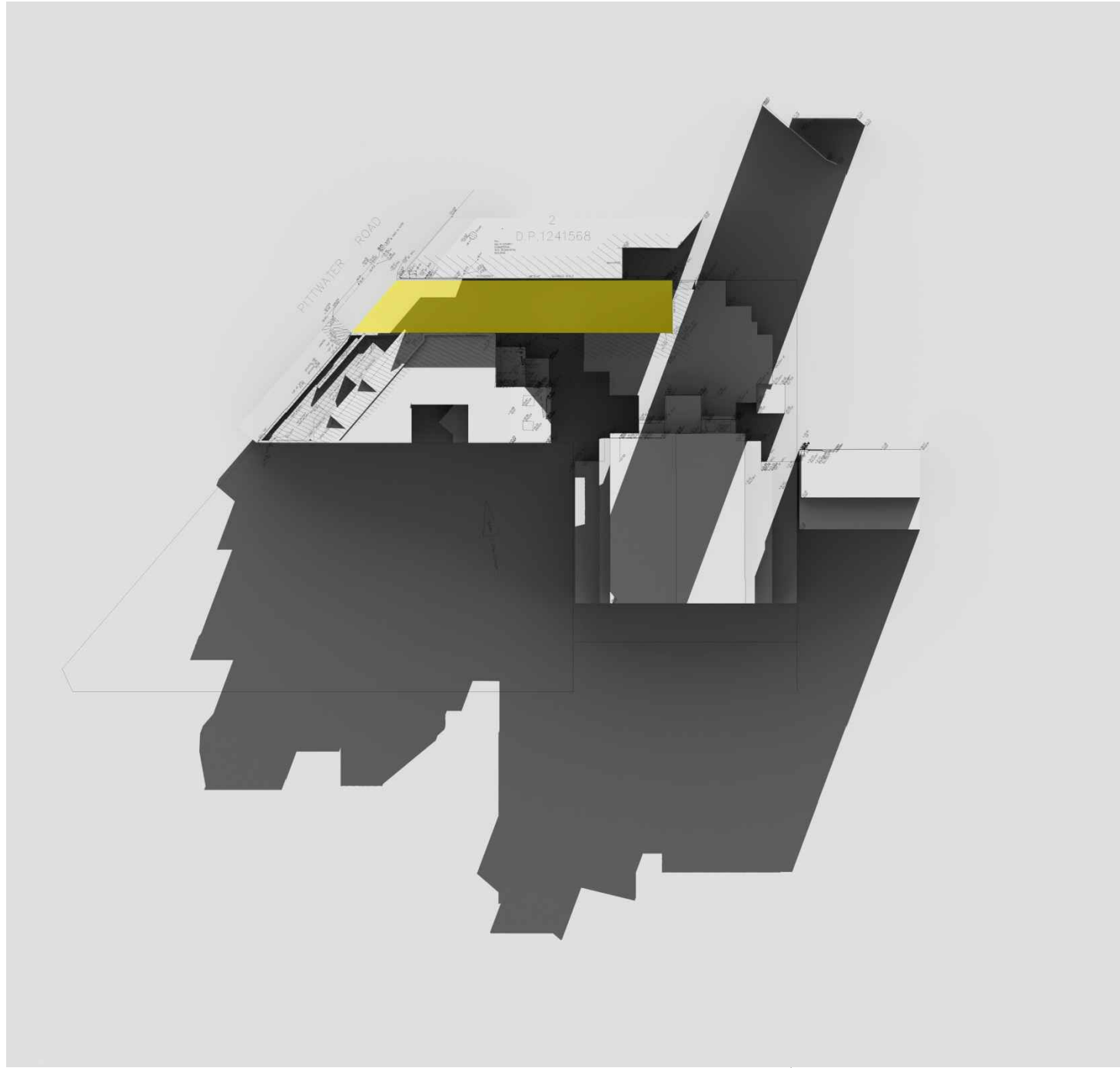




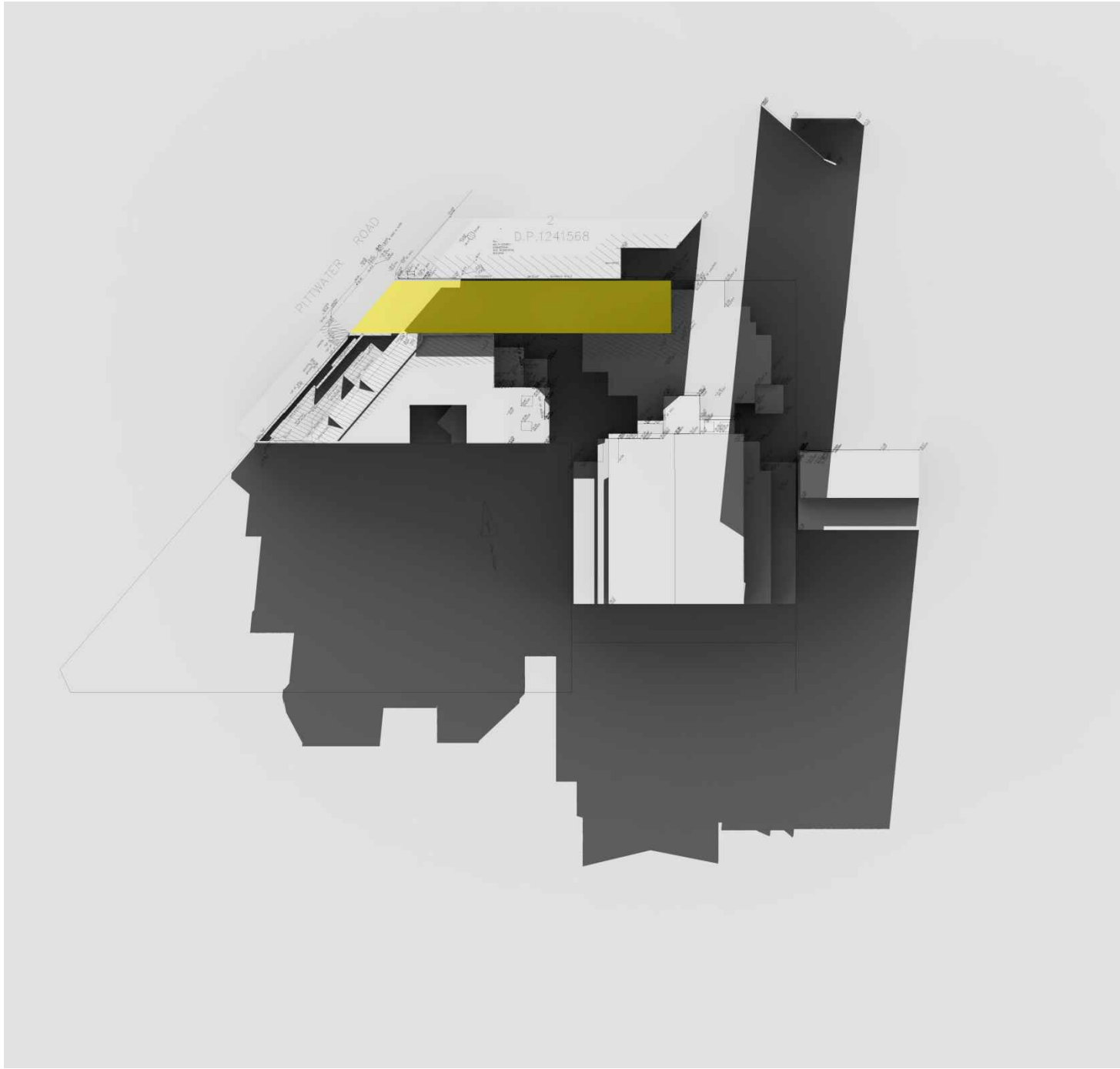
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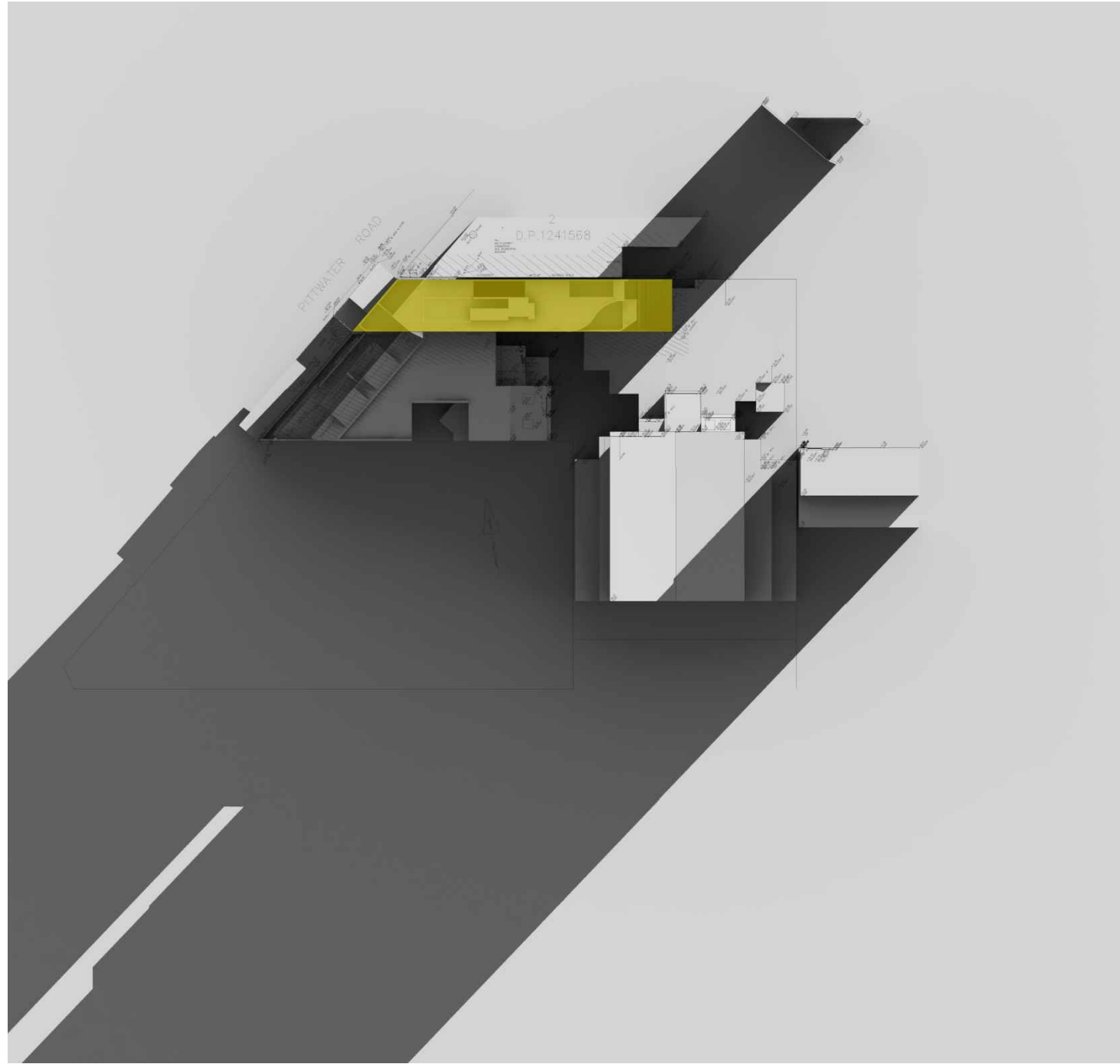
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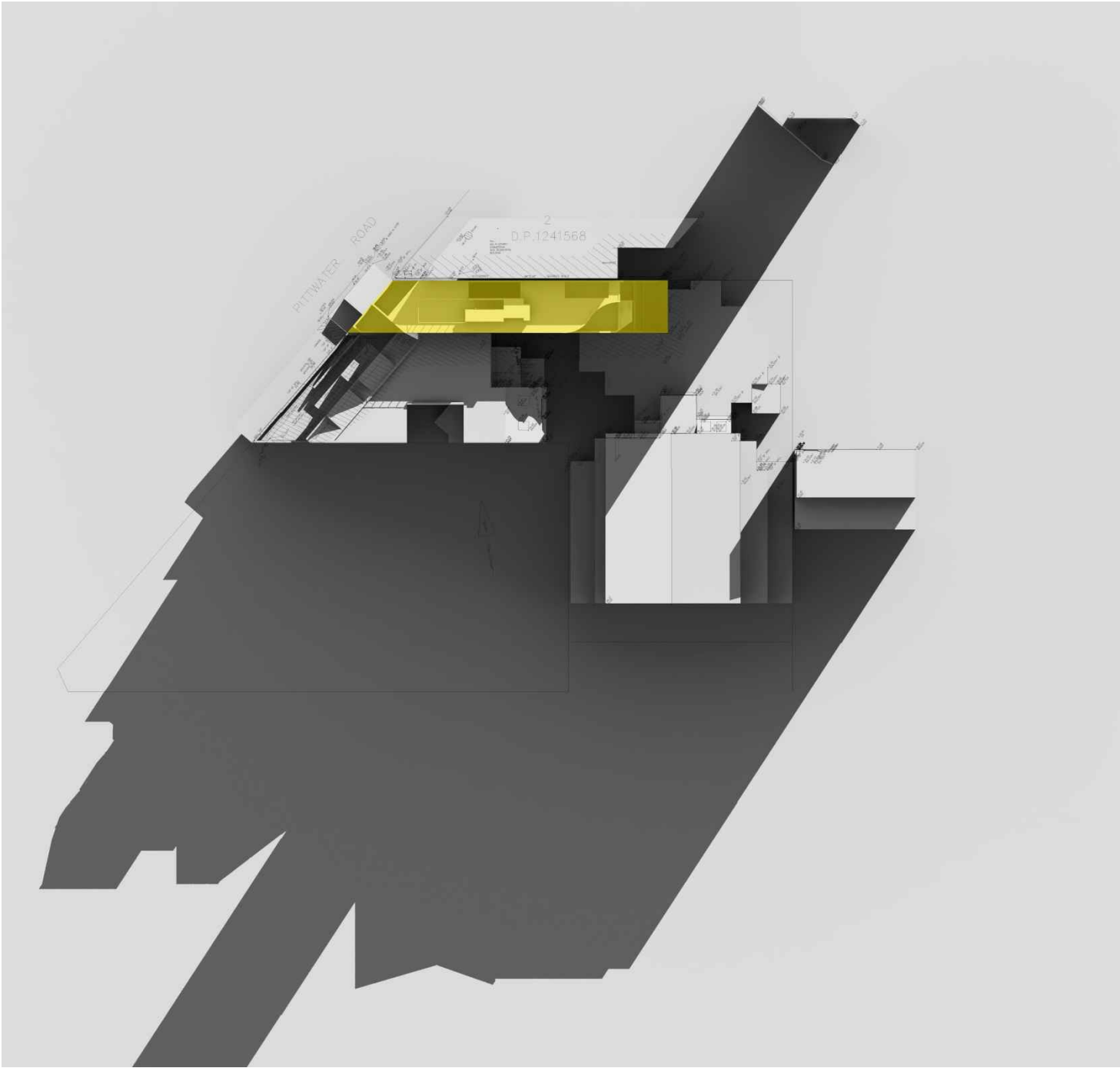
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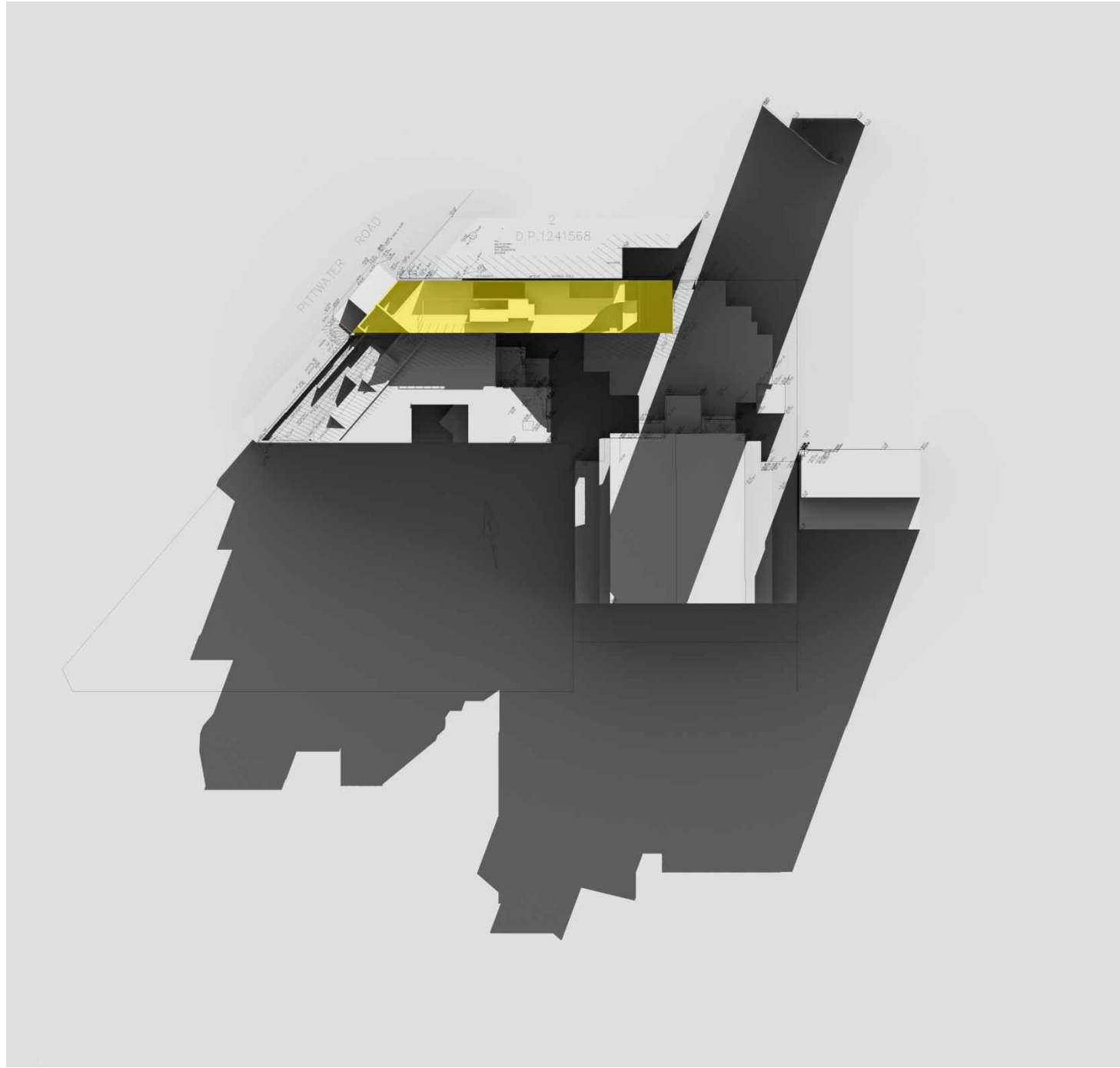
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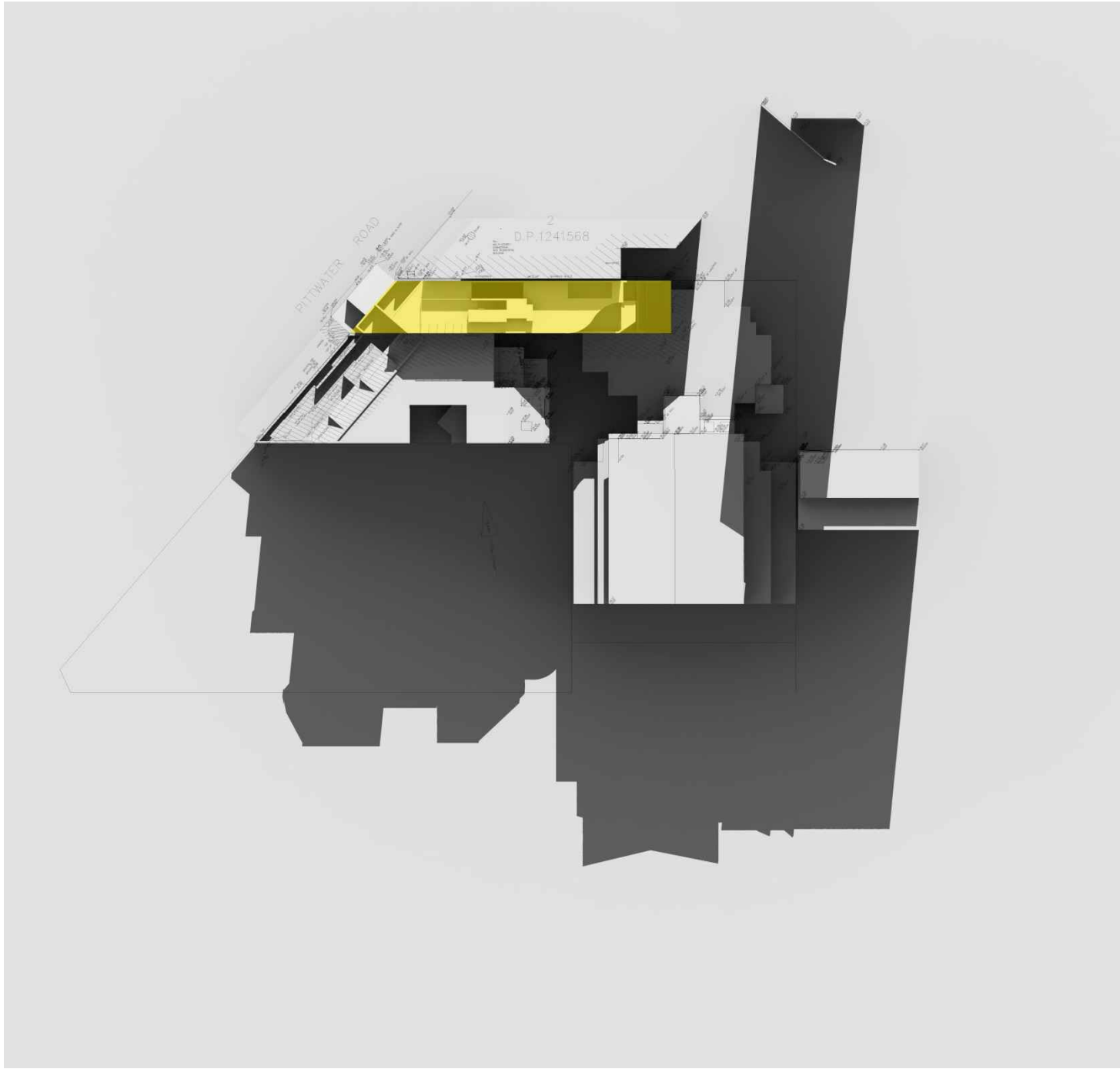
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04 JUNE 09:00 AM - PROPOSED

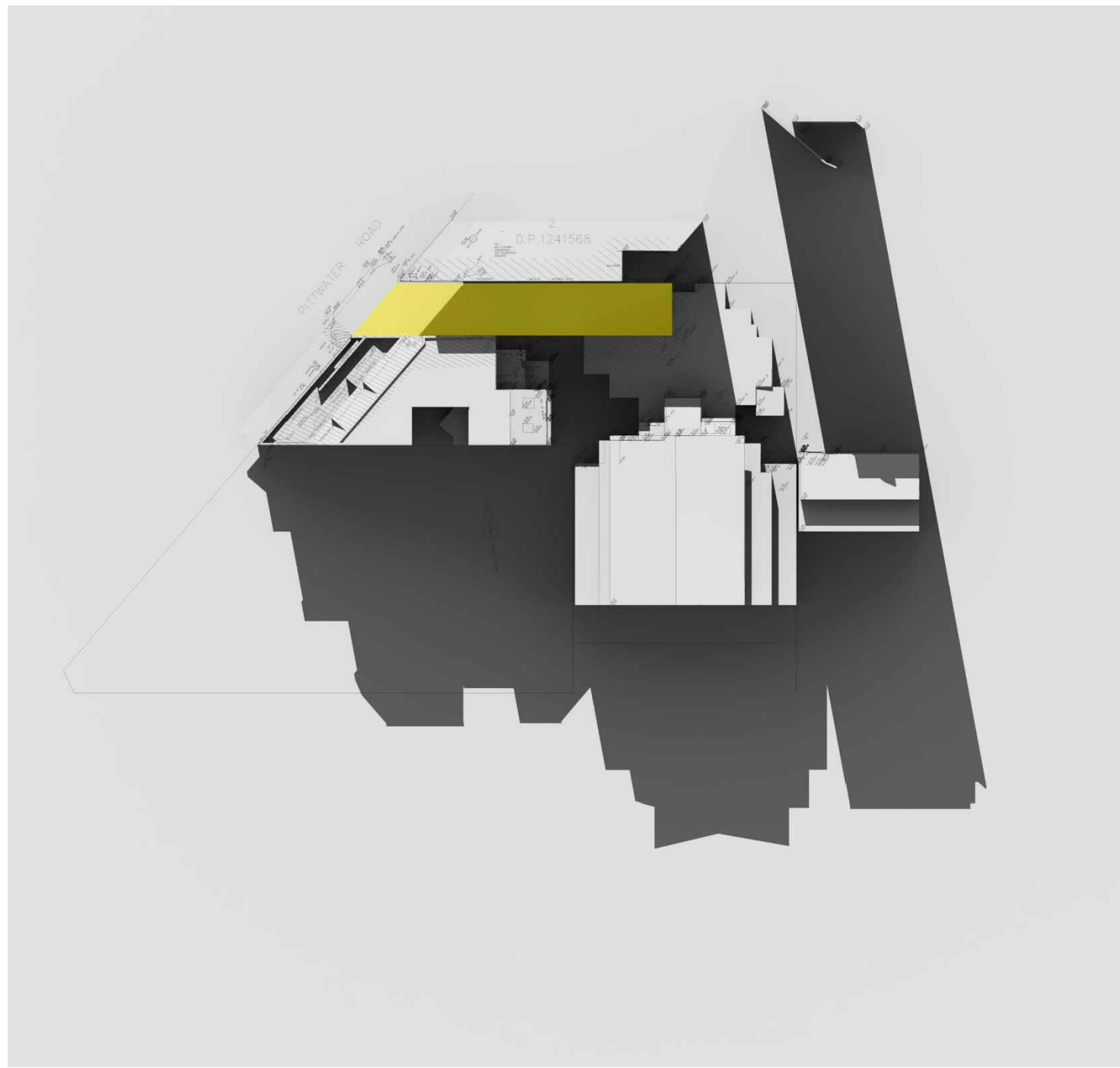


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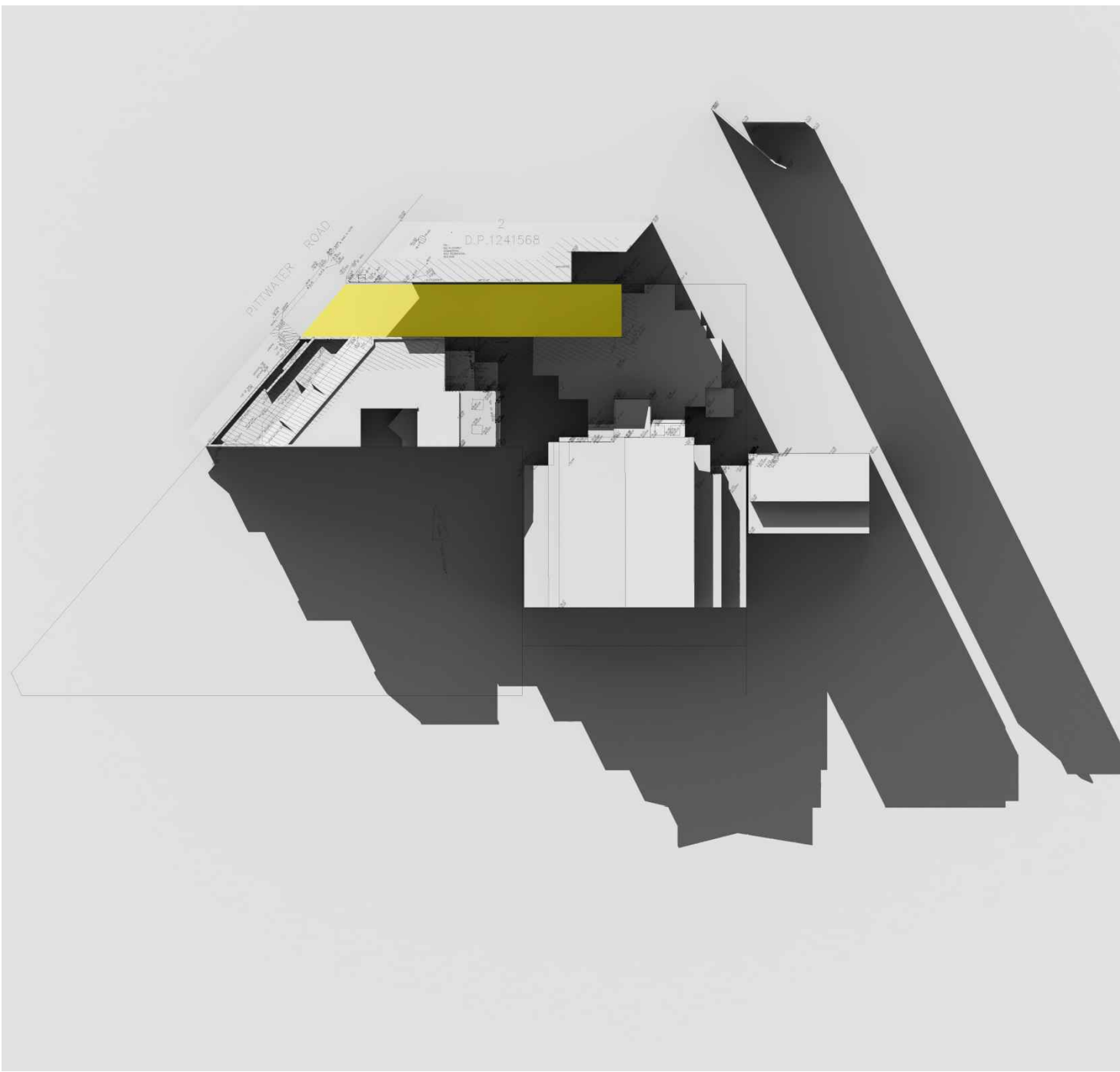


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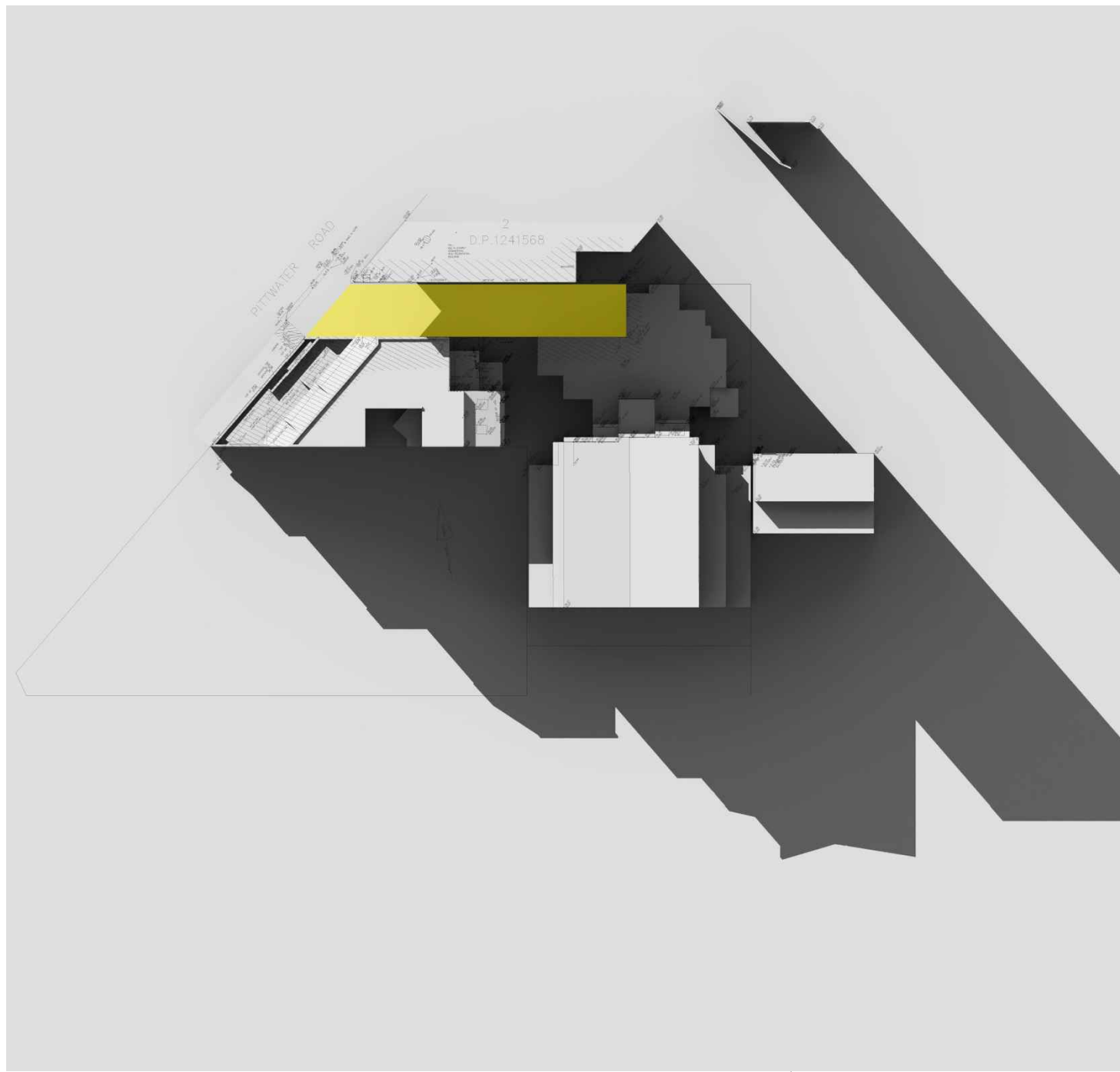




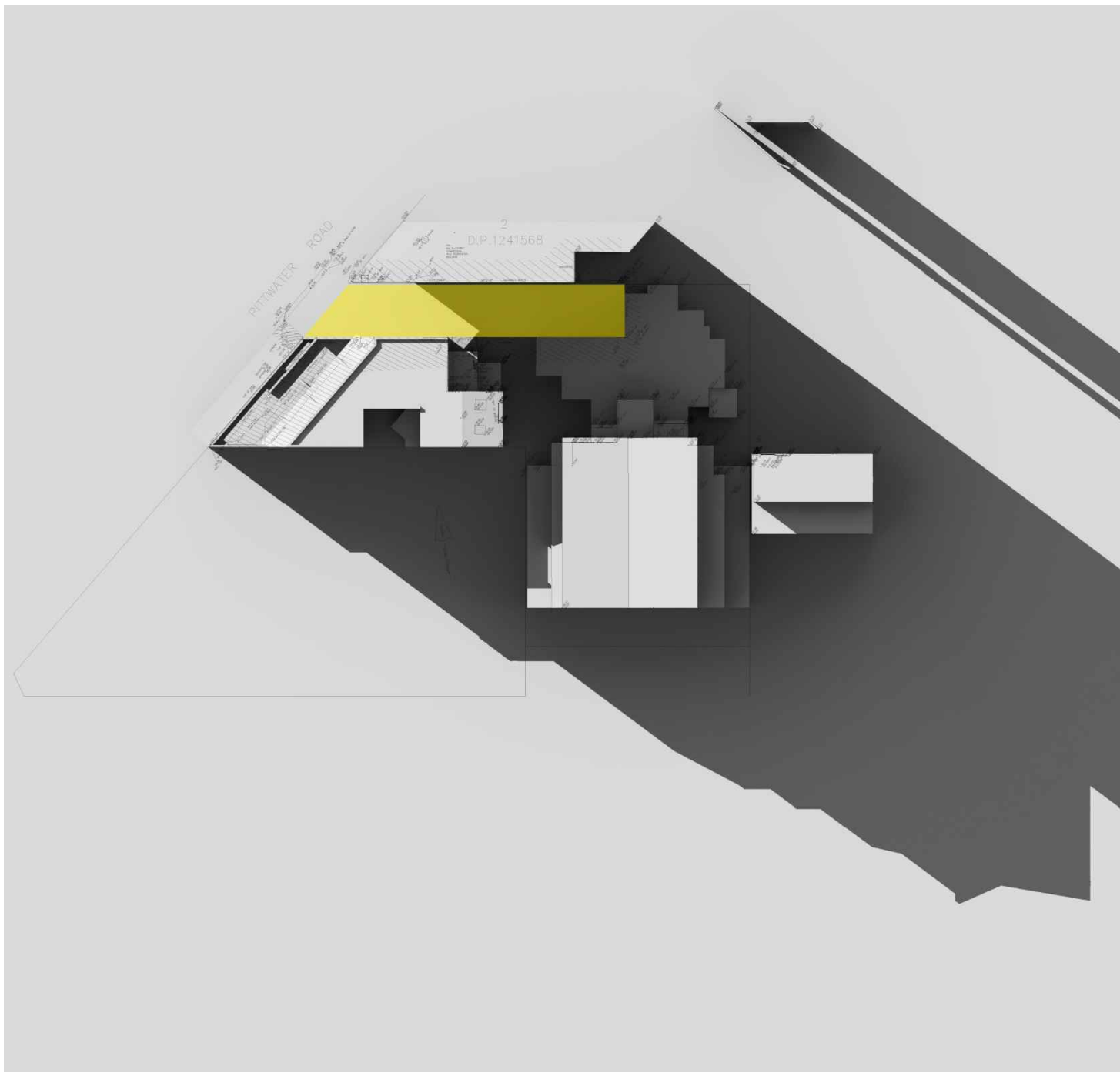
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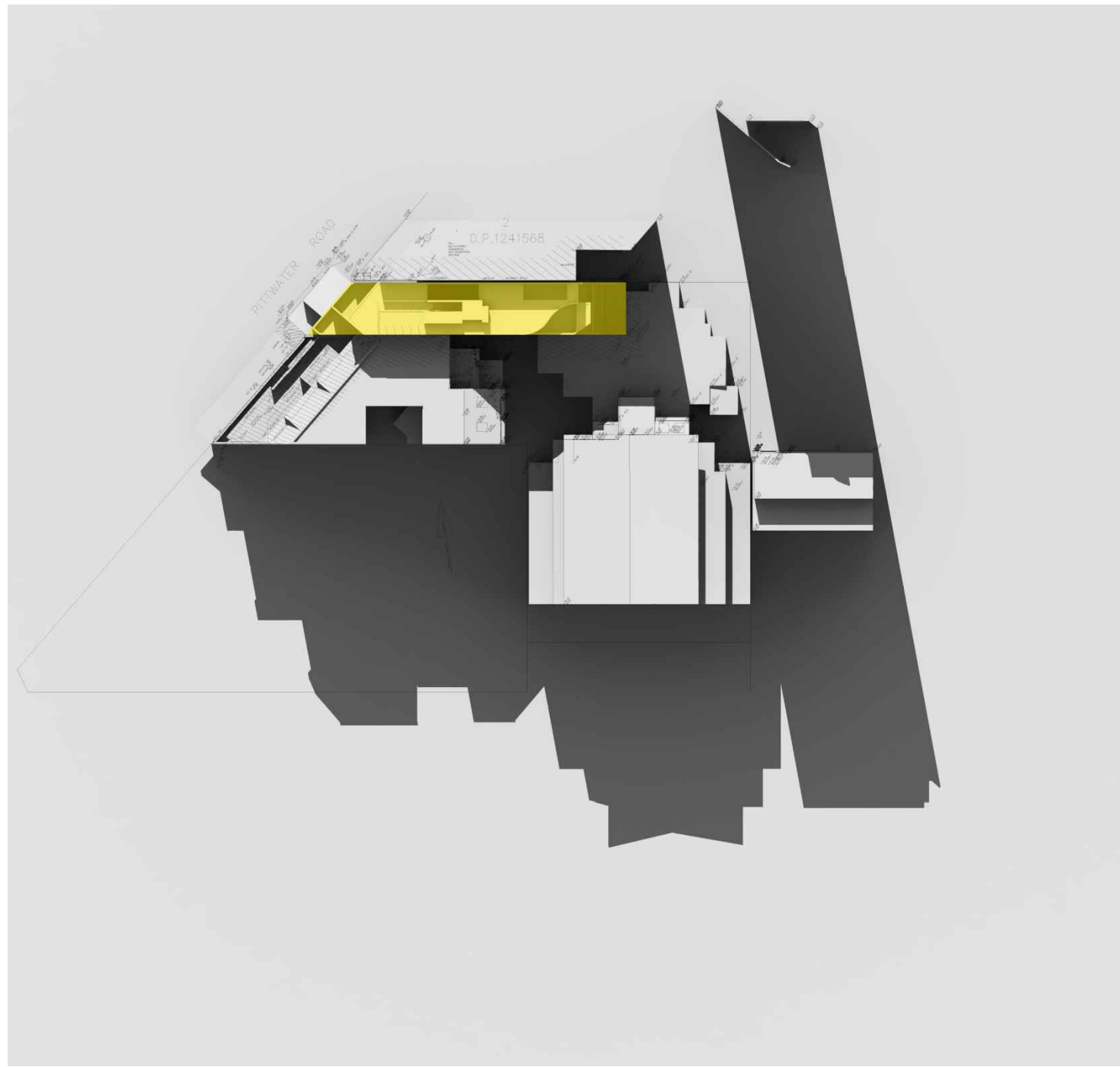
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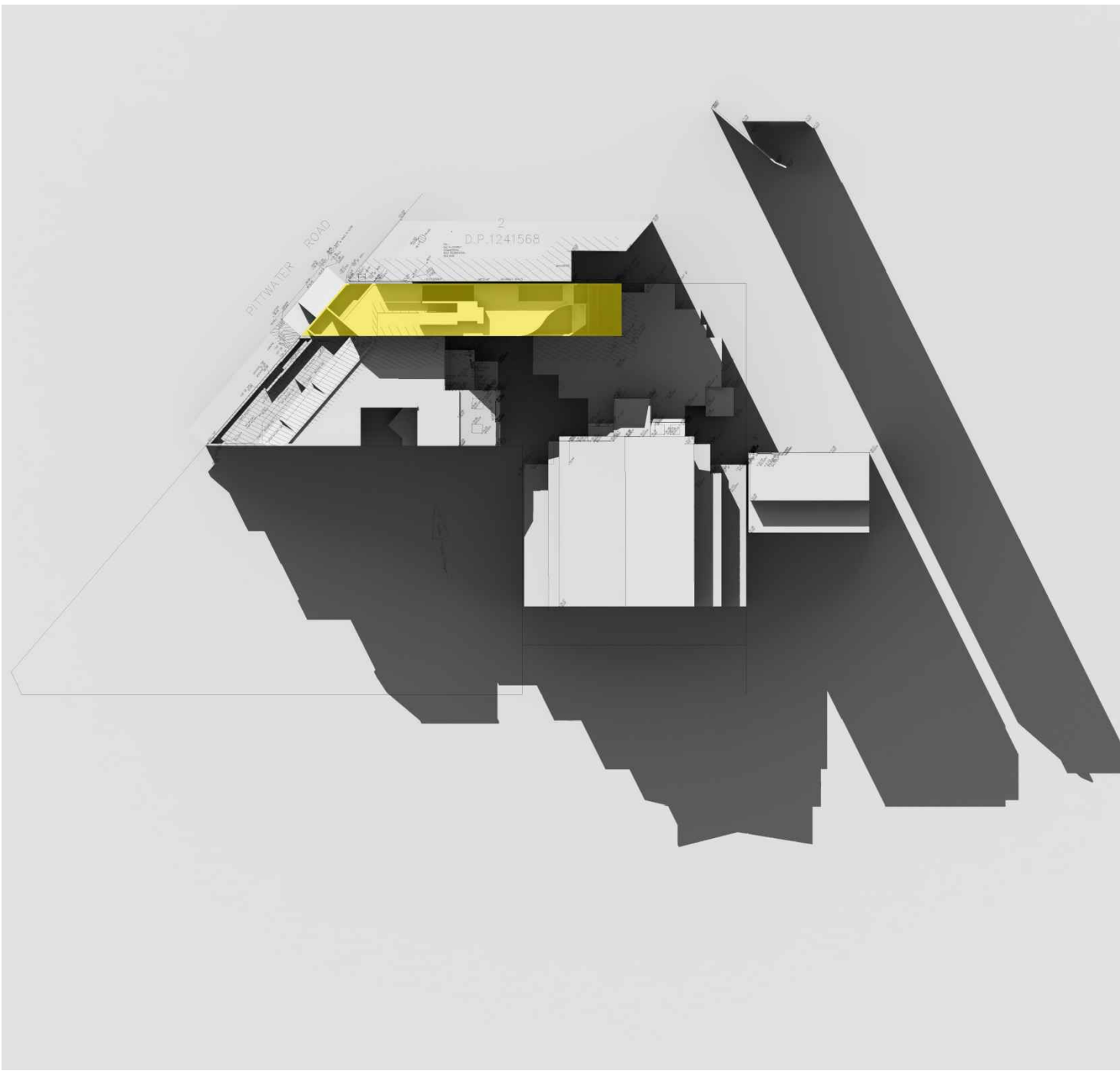
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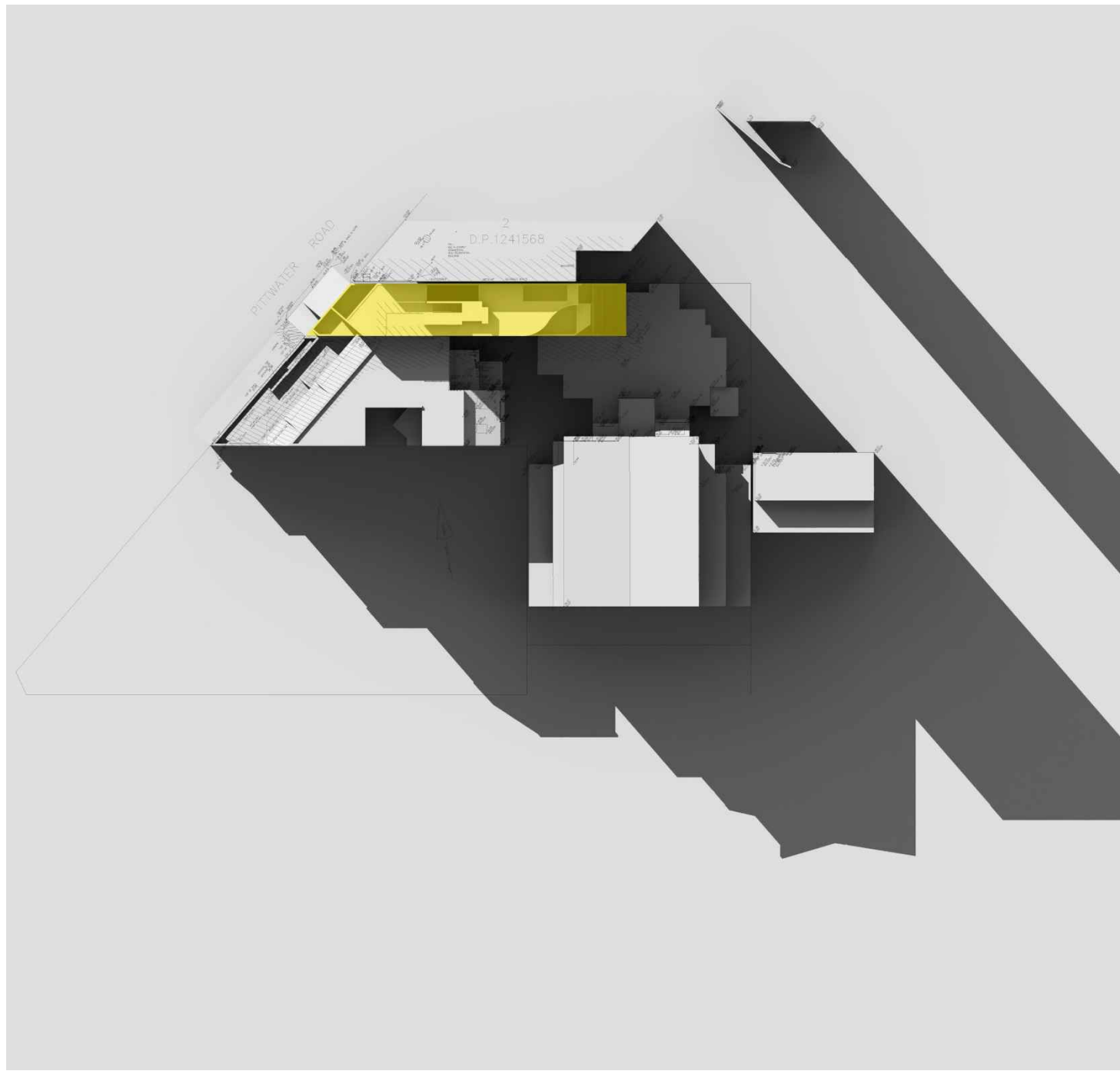
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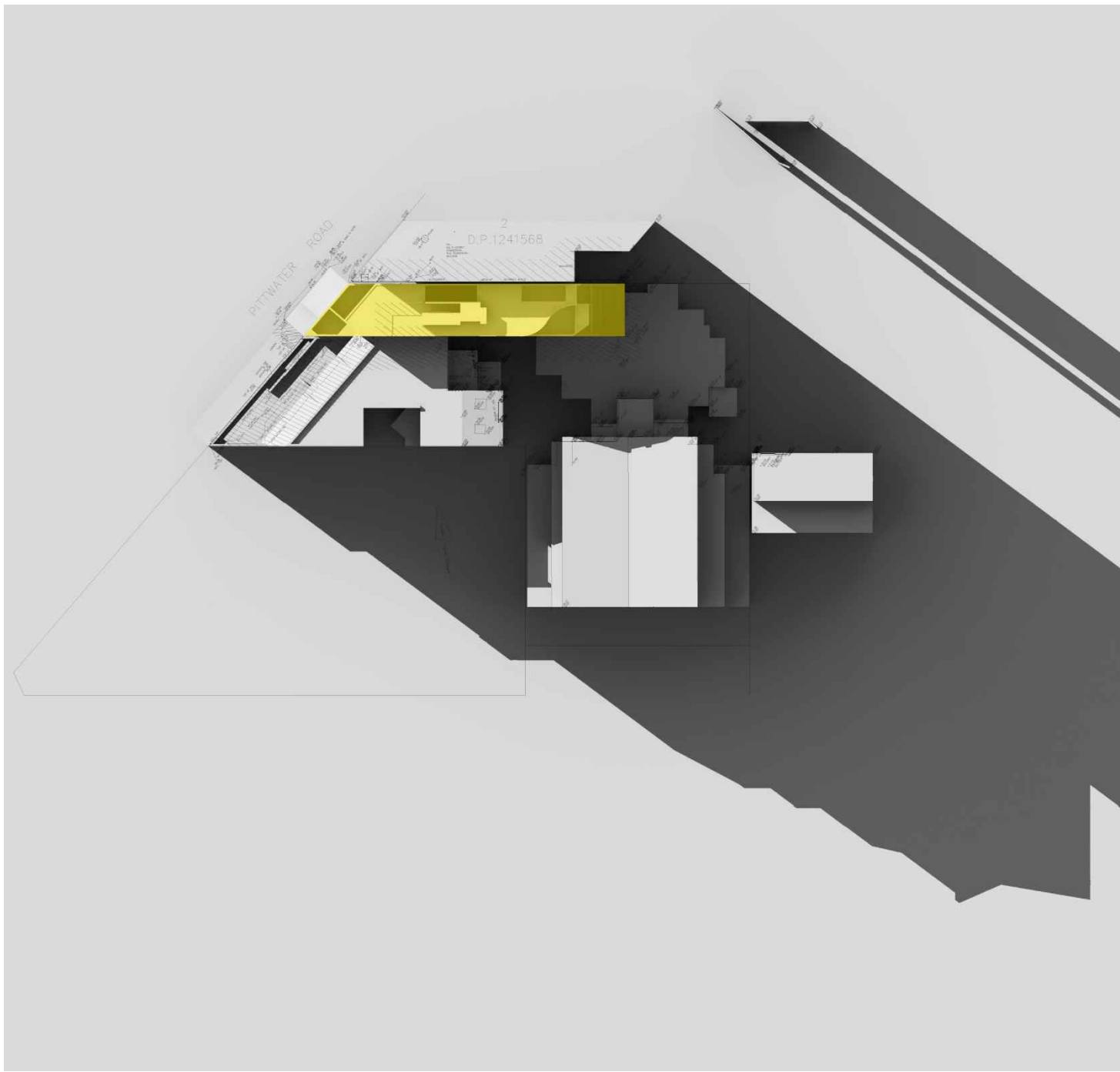
10 JUNE 12:00 PM - PROPOSED



12 JUNE 01:00 PM - PROPOSED



14 JUNE 02:00 PM - PROPOSED



16 JUNE 03:00 PM - PROPOSED





01 PHOTOMONTAGE 01  
VIEW 01



02 PHOTOMONTAGE 02  
VIEW 02







# ARH Dee Why

## Landscape Development Application

### 882A Pittwater Road, Dee Why

#### Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plans	1:50
102	Landscape Plans	1:50
501	Landscape Details	As Shown

PLANT SCHEDULE						
Symbol	Botanic Name	Common Name	Mature H x W (m)	Pot Size	Spacing	Quantity
Ground Floor						
Shrubs & Accents						
Ai	<i>Alcantarea imperialis 'Rubra'</i>	Bromeliad	0.7 x 0.7	300mm	as shown	3
By	<i>Beschomeria yuccoides</i>	Mexican Lily	1 x 1	300mm	as shown	6
RSM	<i>Raphiolepis indica 'Snow Maiden'</i>	Snow Maiden	0.75 x 0.5	300mm	as shown	6
Vo	<i>Viburnum odoratissimum</i>	Sweet Viburnum	3 x 2	300mm	as shown	7
Groundcovers & Grasses						
Dr	<i>Dichondra repens</i>	Kidney Weed	0.1 x 0.1	150mm	5/m <sup>2</sup>	12
LSL	<i>Liriope 'Silver Lawn'</i>	Silver Lawn	0.35 x 0.4	150mm	5/m <sup>2</sup>	24
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.2 x 1	150mm	5/m <sup>2</sup>	24
Level 6						
Trees						
Pr	<i>Plumeria rubra</i>	Frangipani	6 x 3	2m Tall	as shown	1
Shrubs & Accents						
Aa	<i>Agave 'Blue Glow'</i>	Fox tail Agave	1.2 x 1	300mm	as shown	5
RSM	<i>Rhaphiolepis indica 'Snow Maiden'</i>	Snow Maiden	0.75 x 0.5	300mm	as shown	6
Groundcovers & Grasses						
Cg	<i>Carpobrotus glaucescens</i>	Pig Face	0.2 x 1	150mm	5/m <sup>2</sup>	30
SCS	<i>Senecio serpens</i>	Blue Chalk Sticks	0.6 x 0.6	150mm	5/m <sup>2</sup>	5
Level 8						
Trees						
Pr	<i>Plumeria rubra</i>	Frangipani	6 x 3	2m Tall	as shown	1
Shrubs & Accents						
Aa	<i>Agave 'Blue Glow'</i>	Fox tail Agave	1.2 x 1	300mm	as shown	7
RSM	<i>Rhaphiolepis indica 'Snow Maiden'</i>	Snow Maiden	0.75 x 0.5	300mm	as shown	15
Groundcovers & Grasses						
Cg	<i>Carpobrotus glaucescens</i>	Pig Face	0.2 x 1	150mm	5/m <sup>2</sup>	93
SCS	<i>Senecio serpens</i>	Blue Chalk Sticks	0.6 x 0.6	150mm	5/m <sup>2</sup>	16

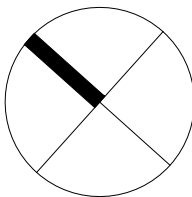
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#### LEGEND

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

C	Architectural Coordination	SK	NM	10.03.2021
B	For Review	NN	NM	09.02.2021
A	For Review	JM	NM	30.11.2020
Issue	Revision Description	Drawn	Check	Date



S I T E I M A G E

Landscape Architects

Level 1, 3-5 Baptist Street  
Randfern NSW 2016  
Australia

Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
Development Link

Project:  
ARH Dee Why  
882A Pittwater Rd, Dee Why

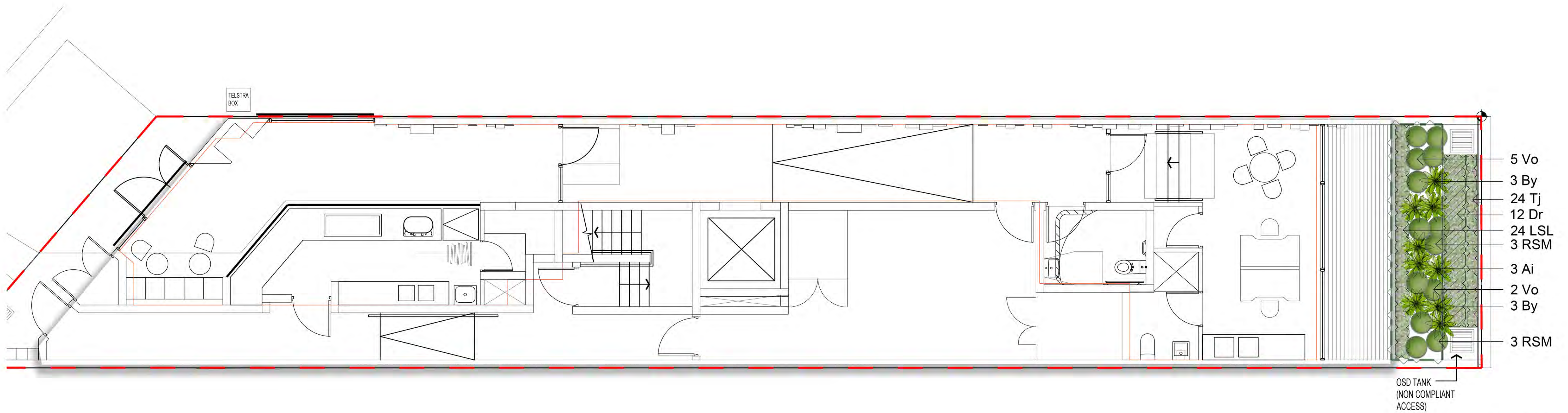
Drawing Name:  
Landscape Coversheet

DEVELOPMENT APPLICATION

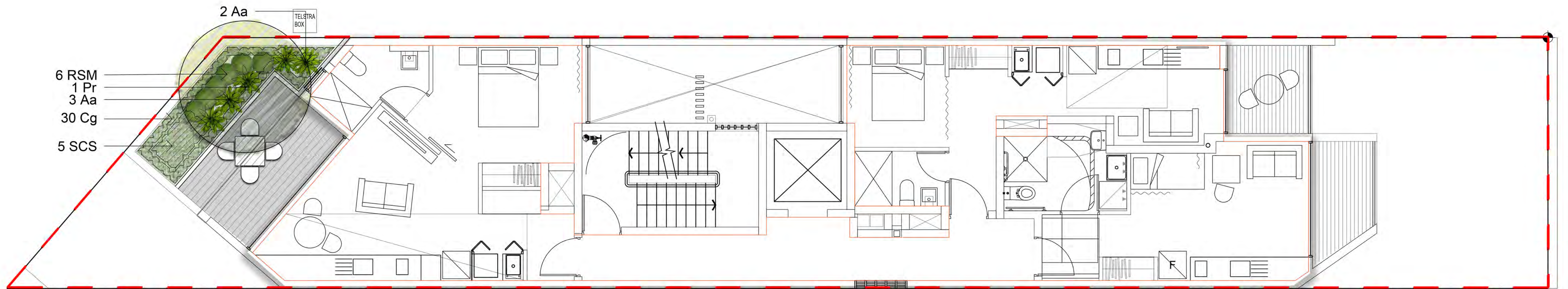
Scale:  
Job Number:  
SS20-4552

Drawing Number:  
Issue:  
000 C





Ground Floor - 1:50



Level 6 - 1:50

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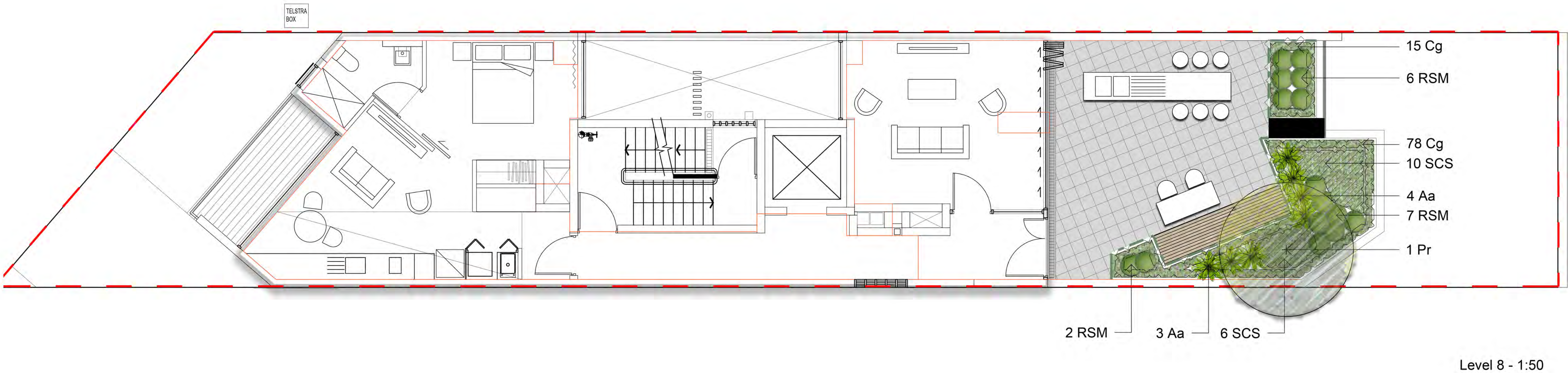
LEGEND	
	Boundary
	Proposed Tree (Refer Detail & Plant Schedule)
	Shrubs & Accents (Refer Detail & Plant Schedule)
	Groundcover/Grasses (Refer Detail & Plant Schedule)
	Paving Type 1
	Paving Type 2
	Timber Seat
	Shade Sail

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Development Link  
Project:  
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882A Pittwater Rd, Dee Why

Drawing Name:  
Landscape Plans  
DEVELOPMENT APPLICATION  
Scale: 1:50 @ A1  
Job Number:  
SS20-4552  
Drawing Number:  
101  
Issue:  
C





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A	For Review	JM	NM	30.11.2020
Issue	Revision Description	Drawn	Check	Date

LEGEND

Boundary

Proposed Tree  
(Refer Detail & Plant Schedule)

Shrubs & Accents  
(Refer Detail & Plant Schedule)

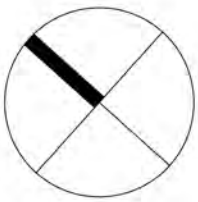
Groundcover/ Grasses  
(Refer Detail & Plant Schedule)

Paving Type 1

Paving Type 2

Timber Seat

Shade Sail



SITE IMAGE

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Development Link

Project:  
ARH Dee Why  
882A Pittwater Rd, Dee Why

Drawing Name:  
Landscape Plans

DEVELOPMENT APPLICATION

Scale: 1:50 @ A1

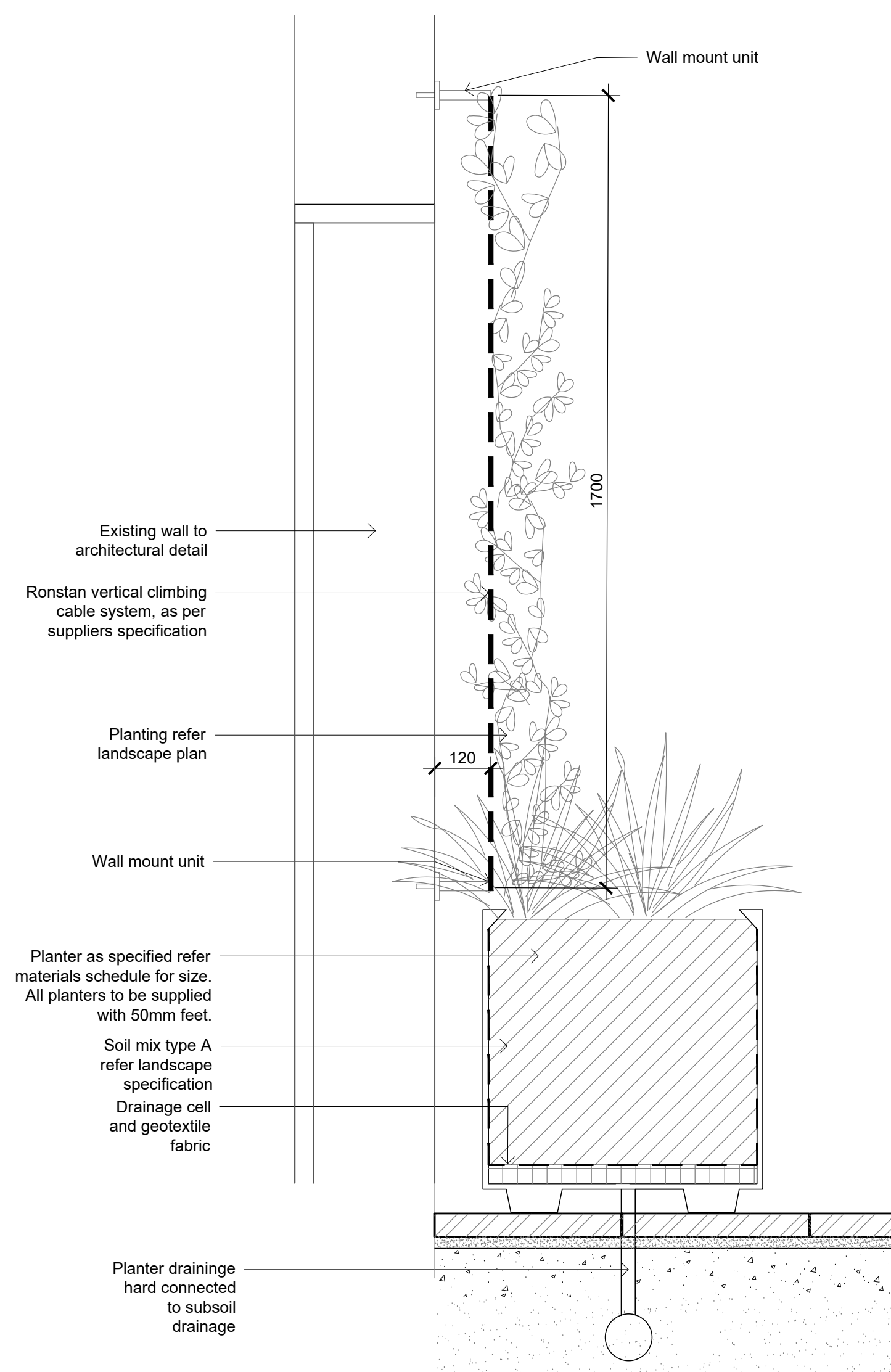
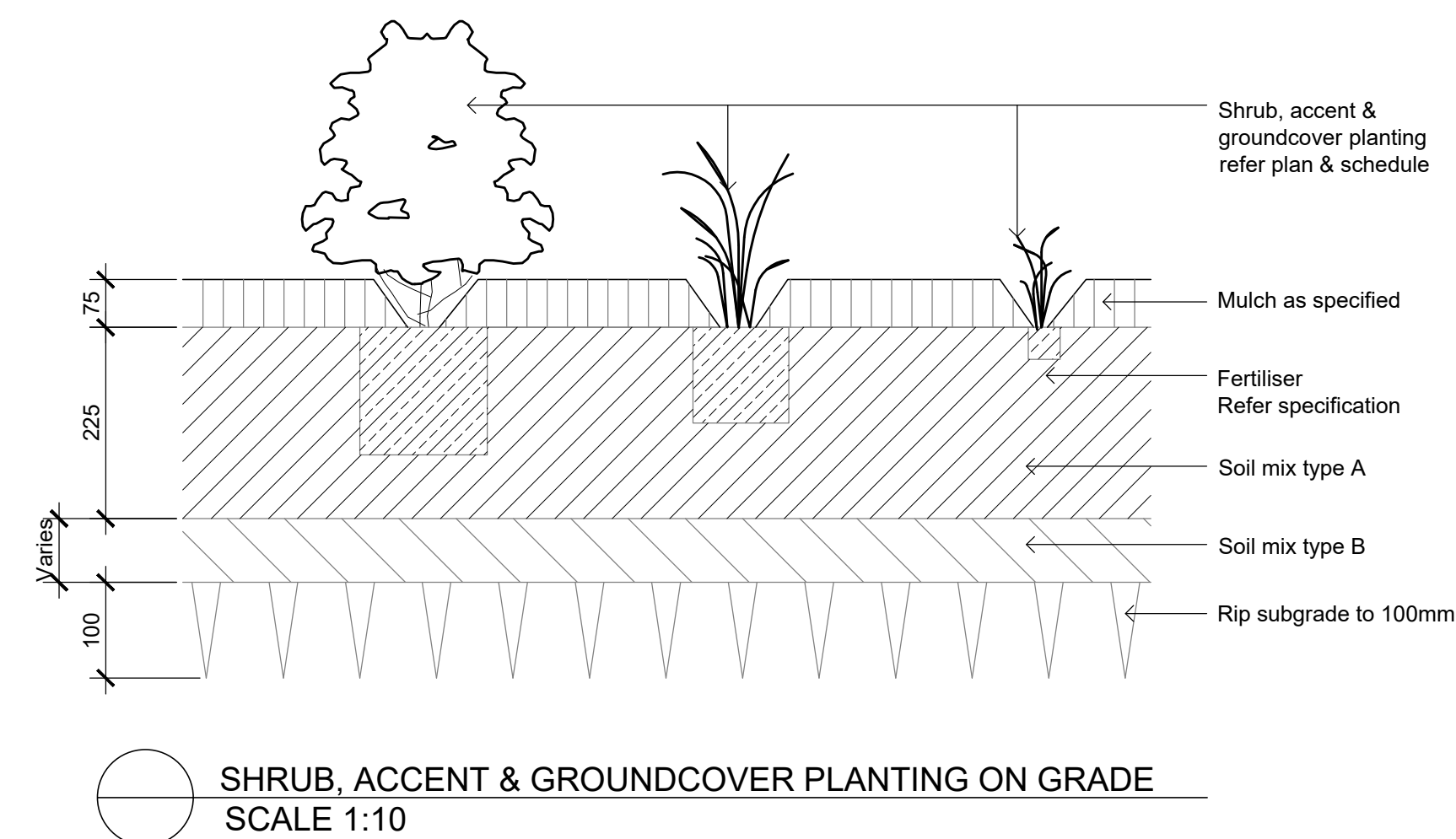
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SS20-4552

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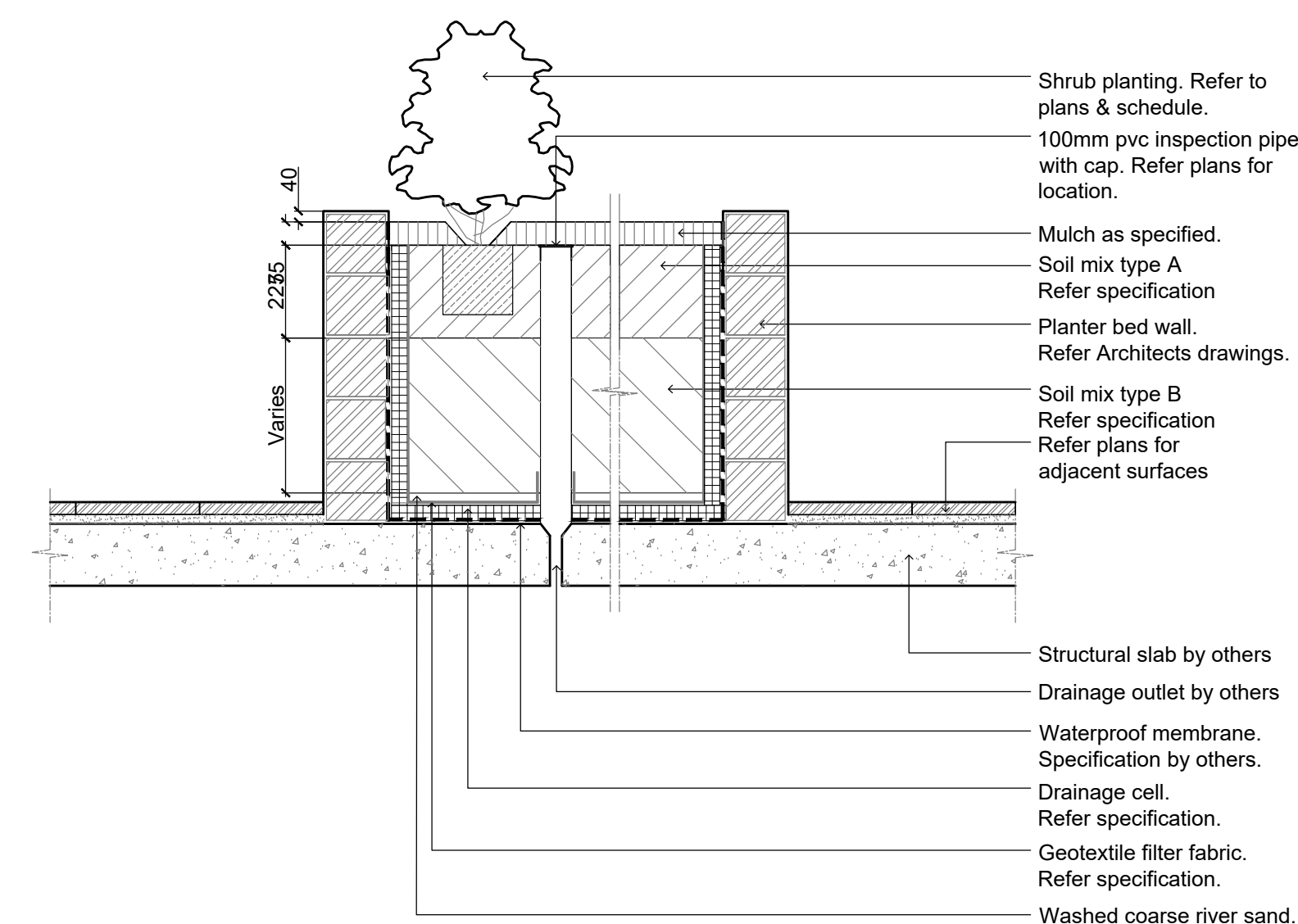
Drawing Number:  
102

Issue:  
C





Climbing Trellis



TYP. RAISED PLANTER BED ON SUSPENDED SLAB - SECTION  
SCALE 1:20

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B	For Review	NN	NM	09.02.2021
A	For Review	JM	NM	30.11.2020
Issue	Revision Description	Drawn	Check	Date

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Client:  
**Development Link**

Project:  
ARH Dee Why  
882A Pittwater Rd, Dee Why

Drawing Name:  
Landscape Details

DEVELOPMENT APPLICATION

Scale: As Shown

Job Number: SS20-4552

Drawing Number: 501

Issue: B