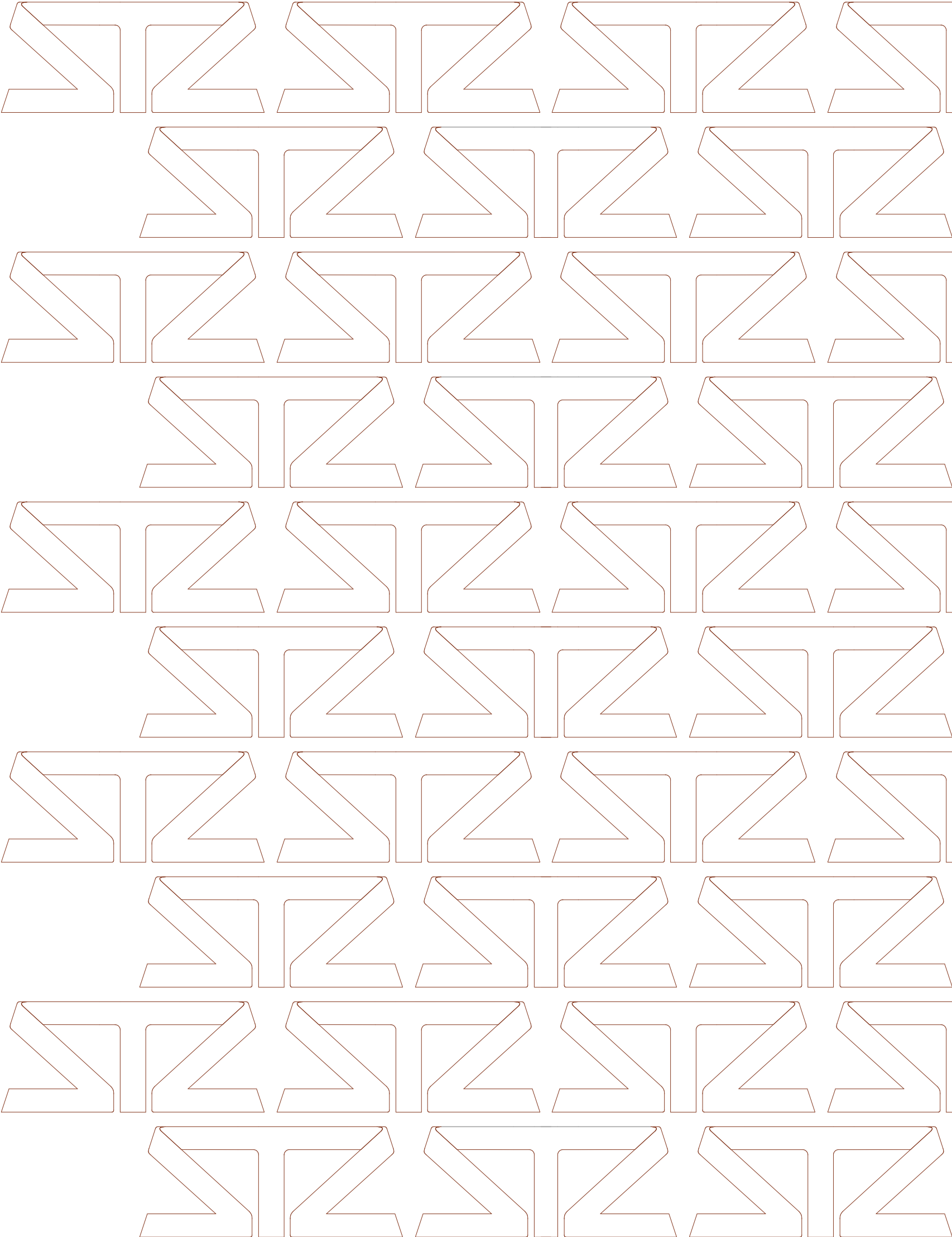


# DEVELOPMENT APPLICATION

**16 Hillcrest Avenue**  
16 Hillcrest Avenue Mona Vale NSW Australia  
Aston Building


SMITH & TZANNES




DRAWING SCHEDULE

DRAWING No.	DESCRIPTION	STATUS	REV & DATE
DA-A-000	TITLE	FOR REVIEW	A - 03/03/2025
DA-A-001	NOTES	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-010	SITE PLAN AND ANALYSIS	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-011	DEMOLITION PLAN - LOWER GROUND	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-012	DEMOLITION PLAN - GROUND	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-013	DEMOLITION PLAN - LEVEL 1	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-014	DEMOLITION PLAN - ROOF	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-020	WASTE MANAGEMENT SITE PLAN	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-100	LOWER GROUND	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-101	GROUND	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-102	LEVEL 1	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-103	ROOF	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-200	NORTH & SOUTH ELEVATION	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-201	EAST & WEST ELEVATION	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-202	SECTIONS	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-203	SECTIONS	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-800	LANDSCAPE CALCULATIONS	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-801	BUILDING HEIGHT BLANKET	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-850	SHADOWS - EXISTING	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-851	SHADOWS - PROPOSED	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-990	3D VIEW	DEVELOPMENT APPLICATION	A - 03/03/2025
DA-A-991	NOTIFICATION PLAN	DEVELOPMENT APPLICATION	A - 03/03/2025


MATERIALS AND FINISHES




PF1 - Paint Finish  
Colour : White Duck




CLD1 - Battened Fibre Cement  
Colour: Surf Mist




MR - Corrugated metal roof.  
Colour: Shale Grey




AW / AD - Aluminium framed  
doors & windows  
Colour: Medium Bronze



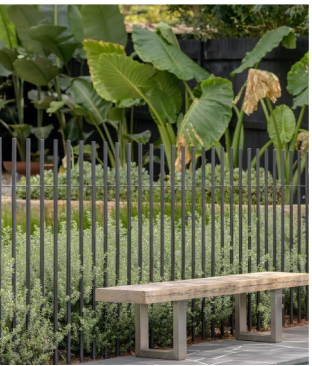
PF2 - Paint Finish  
Colour : Walter Grey or Treasury  
Bronze



CLD2 - Battened Timber



STN - Sandstone



Palisade Fencing

BASIX COMMITMENTS

HOT WATER: electric heat pump system

WATER RATING FOR FIXTURES:  
Showerheads: flow rate no greater than 9 litres per minute or 3 star water rating  
Toilet flushing systems: flow rate no greater than 4 litres per average flush or 3 star water rating  
Kitchen taps: flow rate no greater than 9 litres per minute or minimum 3 star water rating  
Bathroom taps: flow rate no greater than 9 litres per minute or minimum 3 star water rating

RAINWATER TANKS:  
A rainwater tank with a minimum size of 1968.75 L must be installed on site in accordance with, the requirements of all applicable regulatory authorities.  
The rainwater tank must be configured to collect rainwater runoff from at least 20 m2 of roof area.  
The rainwater tank must be connected to a tap located within 10 metres of the edge of the pool.

LIGHTING  
A minimum of 40% of new or altered light fixtures are to be fitted with fluorescent, compact fluorescent, or light emitting-diode (LED) lamps.

OUTDOOR SWIMMING POOL  
The swimming pool must be outdoors  
The swimming pool must not have a capacity greater than 37.2 kilolitres  
The swimming pool must have a pool cover  
A pool pump timer must be installed for the swimming pool  
A solar (electric boosted) heating system must be installed for the swimming pool

INSULATION REQUIREMENTS

Concrete slab on ground floor:  
nil

Suspended floor with enclosed subfloor  
R0.70 (down) (orR1.30 including construction)

Floor above existing dwelling or building  
nil

External wall:framed (weatherboard, fibro, metal clad)  
R1.30 (or R1.70 including construction)

External wall: cavity brick  
nil

Raked ceiling, pitched/skillion roof: framed  
ceiling: R1.24 (up), roof: foil backed blanket (100 mm)

SYMBOL LEGEND

RL+00.000

EXISTING SPOT LEVEL

RL+00.000

PROPOSED SPOT LEVEL

RL+00.000

EXISTING AREA LEVEL

RL+00.000

PROPOSED AREA LEVEL

D01

DOOR TAG. REFER TO DOOR SCHEDULE FOR TYPE

W01

WINDOW TAG. REFER TO WINDOW SCHEDULE FOR TYPE

AREA NOT INCLUDED IN SCOPE OF WORKS

LEGEND

AW

ALUMINIUM FRAME WINDOW

AD

ALUMINIUM FRAME DOOR

BAL

BALUSTRADE

PF#

PAINT FINISH

STN

STONE

TIM

TIMBER

VERSION

DEVELOPMENT APPLICATION

REV A - 03/03/2025

MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD - 240130

DOCUMENT

NOTES

STAGE

DEVELOPMENT APPLICATION

PROJECT

16 Hillcrest Avenue

16 Hillcrest Avenue

Mona Vale

Aston Building

© SMITH & TZANNES PTY LTD

0							10m - 1:200
							5.0m - 1:100
							2.5m - 1:50
							1.25m - 1:25

- NOTES
1. NEVER scale off drawings, use figured dimensions only.

2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.

3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary
- 4.The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.

5.This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

LEGEND  
Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.  
**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**  
Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.  
  
The design is not in a form suitable for use in connection with building work.

ARCHITECTURE URBAN PLANNING

M1/147 McEvoy Street Alexandria NSW 2015

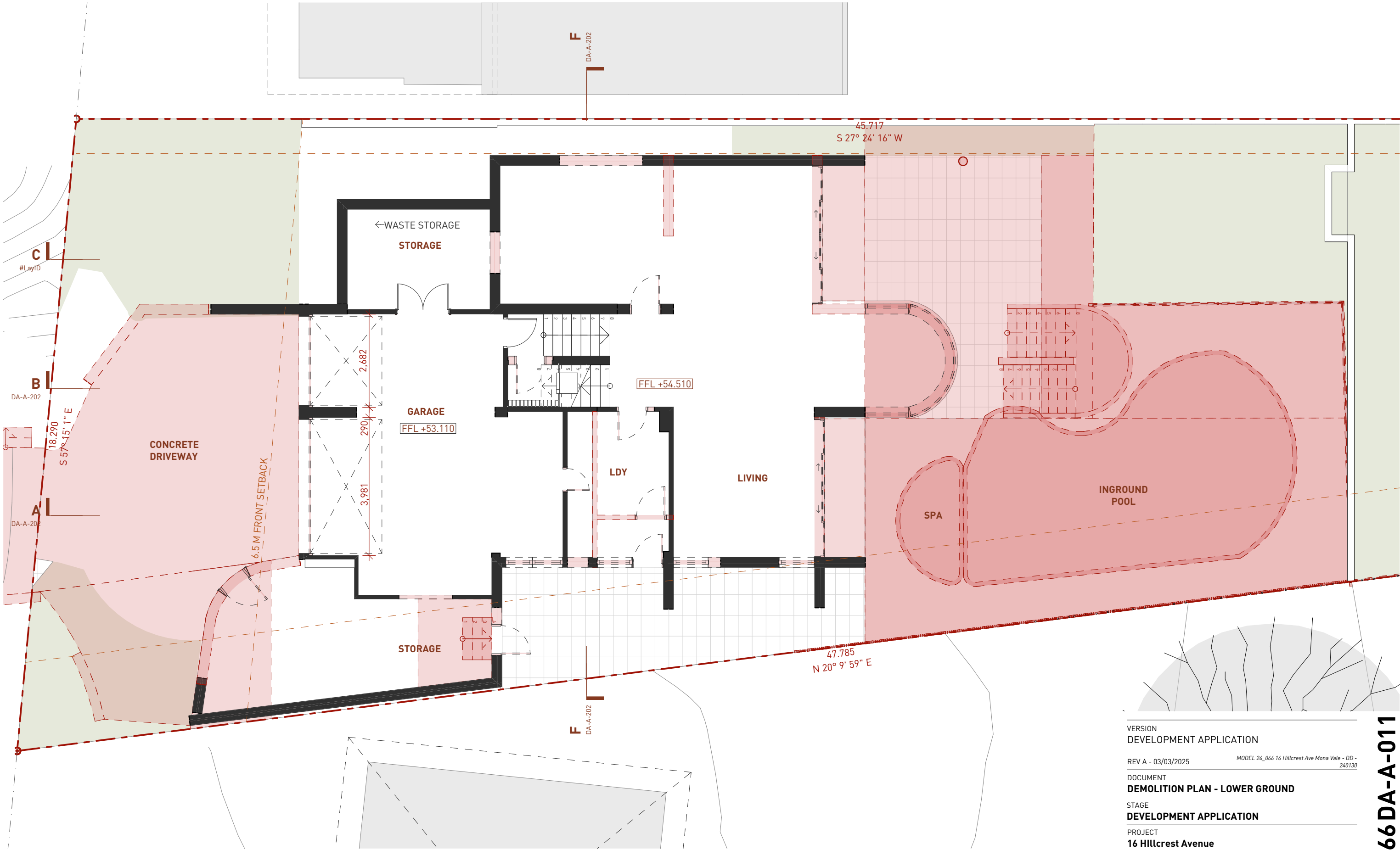
P 02 9516 2022 E email@smithtzannes.com.au

smithtzannes.com.au

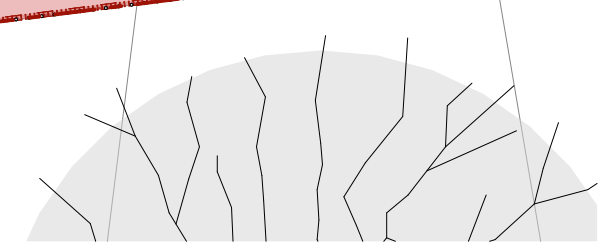
Nominated Architect: Peter Smith (Reg 7024)







GARAGE & LOWER GROUND  
1:100



VERSION  
DEVELOPMENT APPLICATION

REV A - 03/03/2025      MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD - 240130

DOCUMENT  
**DEMOLITION PLAN - LOWER GROUND**

STAGE  
**DEVELOPMENT APPLICATION**

PROJECT  
**16 Hillcrest Avenue**

16 Hillcrest Avenue  
Mona Vale  
**Aston Building**

© SMITH & TZANNES PTY LTD					
0					
					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

- NOTES**
- NEVER scale off drawings, use figured dimensions only.
  - Verify all dimensions on site prior to commencement & report discrepancies to the architect.
  - Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary
  - The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
  - This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

**LEGEND**  
Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**  
Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

The design is not in a form suitable for use in connection with building work.

**ARCHITECTURE URBAN PLANNING**  
M1/147 McEvoy Street Alexandria NSW 2015  
P 02 9516 2022 E email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



24\_066 DA-A-011

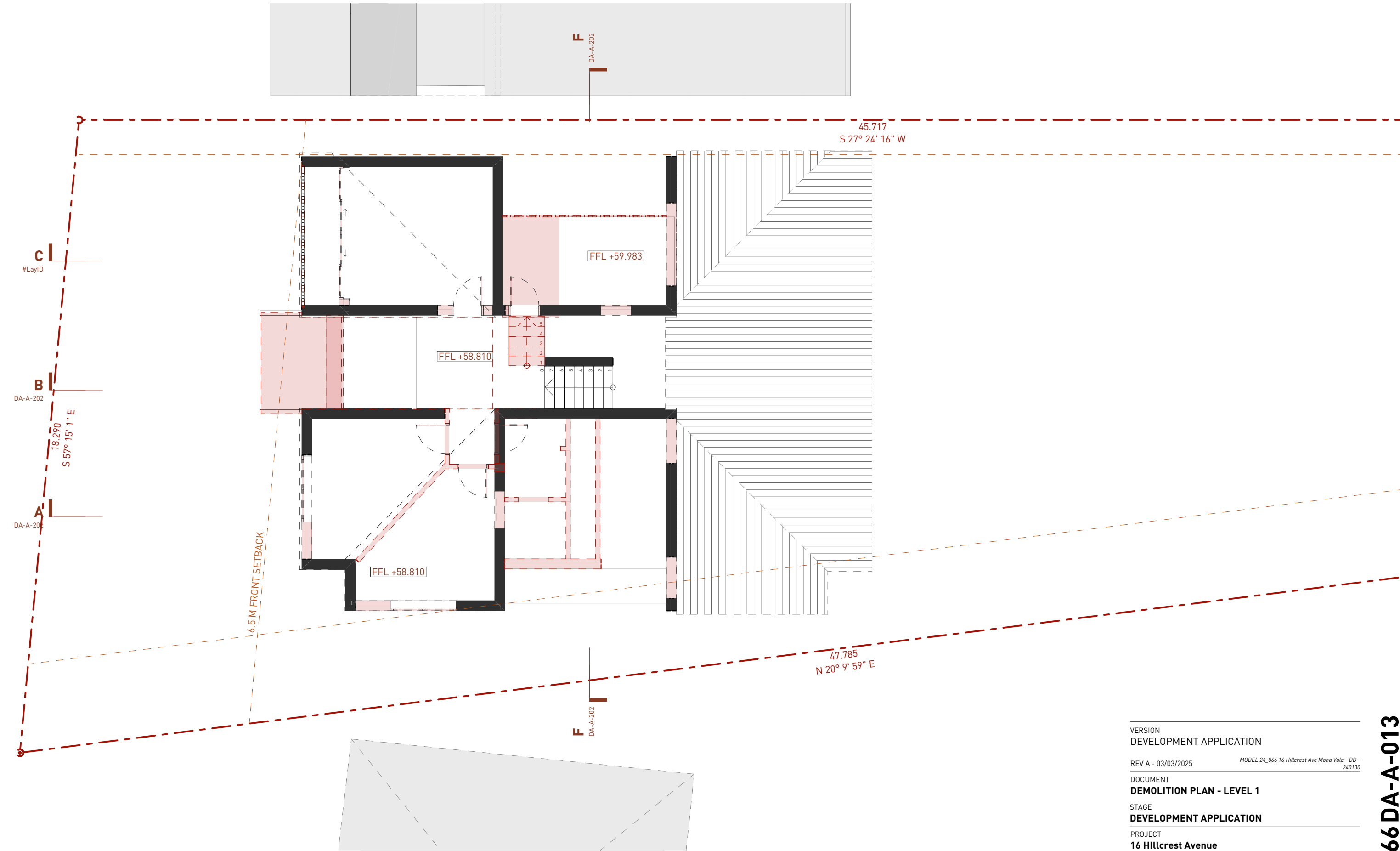




0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25



**24\_066 DA-A-012**



LEVEL 1  
1:100

VERSION  
DEVELOPMENT APPLICATION

REV A - 03/03/2025 MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD - 240130

DOCUMENT  
**DEMOLITION PLAN - LEVEL 1**

STAGE  
**DEVELOPMENT APPLICATION**

PROJECT  
**16 Hillcrest Avenue**

16 Hillcrest Avenue  
Mona Vale  
**Aston Building**

© SMITH & TZANNES PTY LTD					
0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

- NOTES**
1. NEVER scale off drawings, use figured dimensions only.
  2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
  3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary
  4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
  5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

**LEGEND**

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**

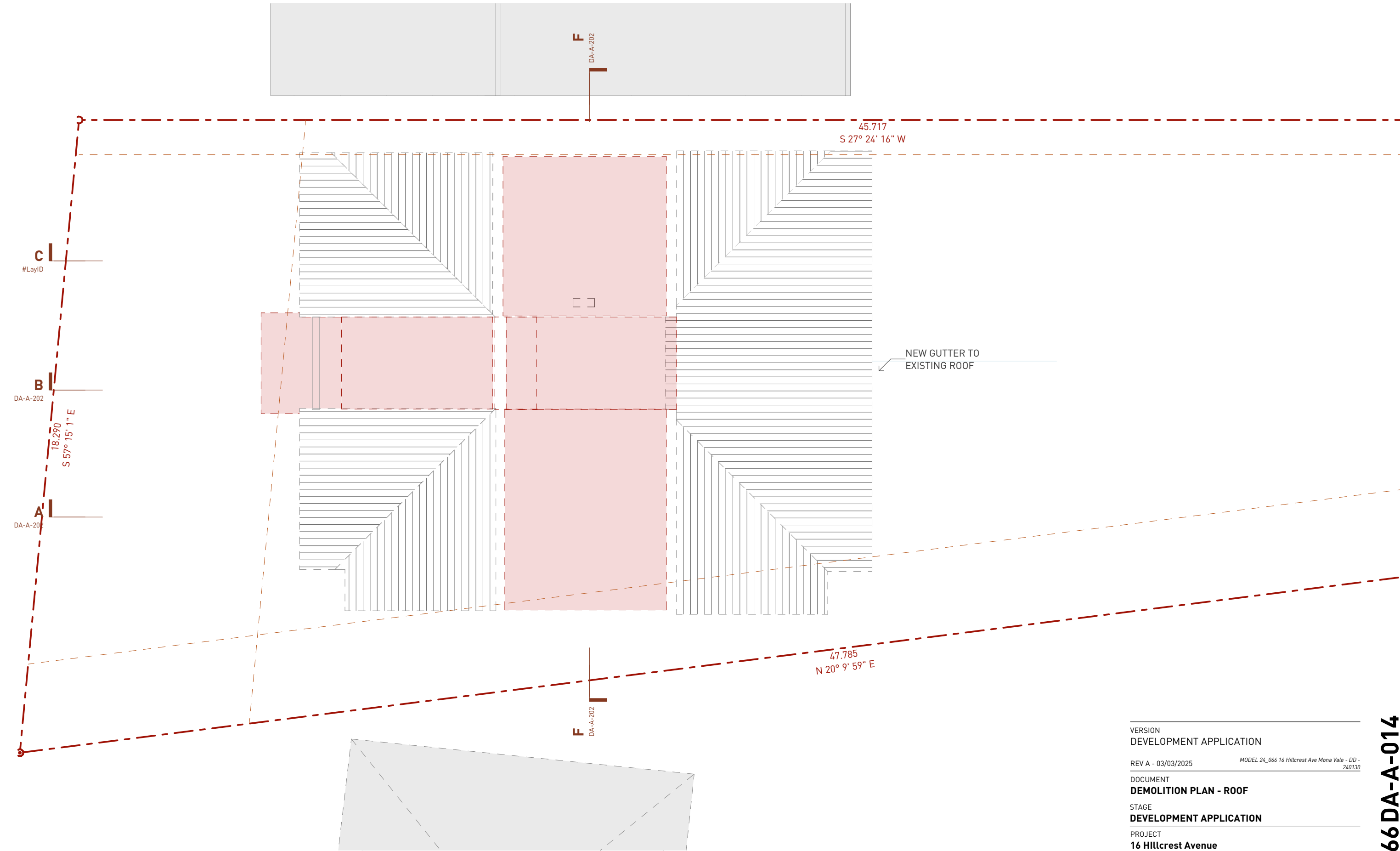
Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

The design is not in a form suitable for use in connection with building work.

**ARCHITECTURE URBAN PLANNING**  
M1/147 McEvoy Street Alexandria NSW 2015  
**P** 02 9516 2022 **E** email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



24\_066 DA-A-013



ROOF  
1:100

VERSION	DEVELOPMENT APPLICATION
REV A - 03/03/2025	MODEL 24_066 16 Hillcrest Ave Mona Vale - DD - 240130
DOCUMENT	DEMOLITION PLAN - ROOF
STAGE	DEVELOPMENT APPLICATION
PROJECT	16 Hillcrest Avenue
	16 Hillcrest Avenue Mona Vale Aston Building

CONSTRUCTION MANAGEMENT

MATERIALS HANDLING

Materials handling and vehicle operations will comply with the Road Transport Act 1999 (NSW) which incorporates the Mass Loading and Access Regulation 1996 and Safety Traffic Management Road Rules Regulations 1999. All loads will be covered to minimise dust and prevent the transfer of sediment onto the roadway.

DILAPIDATION SURVEY

A dilapidation survey is to be undertaken to record the physical condition of any existing structure or situation that may be effected by the proposed development.

TRAFFIC MANAGEMENT PLAN

A traffic management plan has been prepared to meet council and RTA ("Traffic Control Worksite Manual") requirements, by a suitably qualified person (minimum red card' qualification).

WASTE MANAGEMENT

The proposed development will incorporate the waste minimisation principles of Avoid, Reduce, Reuse and Recycle, and conform with the Waste Avoidance and Recovery Act 2001. Specific bins for waste and recycling shall be provided on site.

NOISE CONTROL

To reduce noise from construction and demolition sites, all activities should be carried out in accordance with the requirements of Australian Standard Guidelines AS2436-1981 "Guide to noise control on Construction Maintenance and Demolition sites."

OCCUPATIONAL HEALTH AND SAFETY

All site works must comply with the occupational health and safety requirements of the New South Wales Work Cover Authority.

TOILET FACILITIES

During excavation, demolition and construction phases, toilet facilities are to be provided on the site, at the rate of one toilet for every twenty (20) persons or part of twenty (20) persons employed at the site.

SOIL AND WATER MANAGEMENT

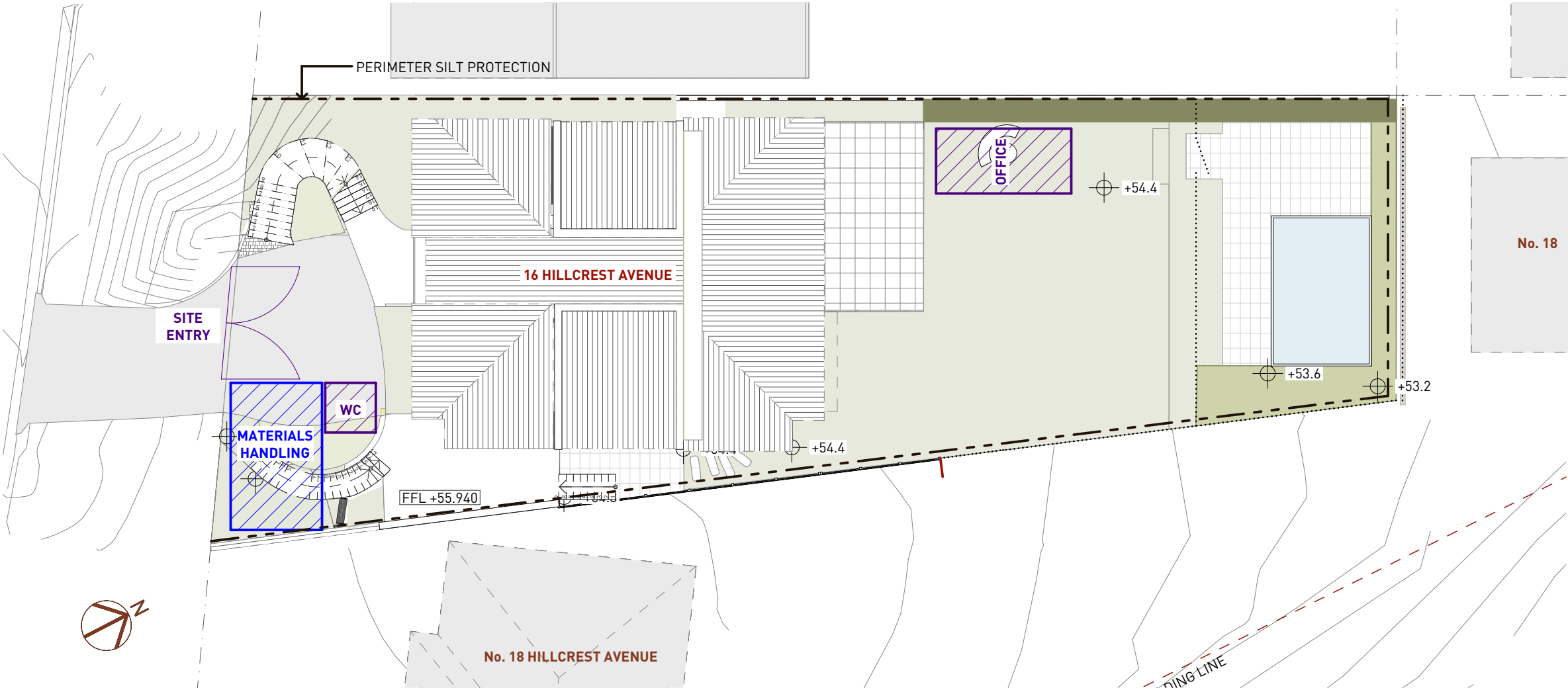
1. Minimise the area of soils exposed at any one time.
2. Conserve top soil.
3. Protect proposed stockpile locations. Use only nominated stockpile locations.
4. Preserve existing vegetation. Implement revegetation as specified on drawings A001 and A120.
5. Prevent soil, sand and sediments leaving the site in an uncontrolled manner.
6. Control surface water flows through the site in a manner that:

- i)Diverts clean run-off around disturbed areas

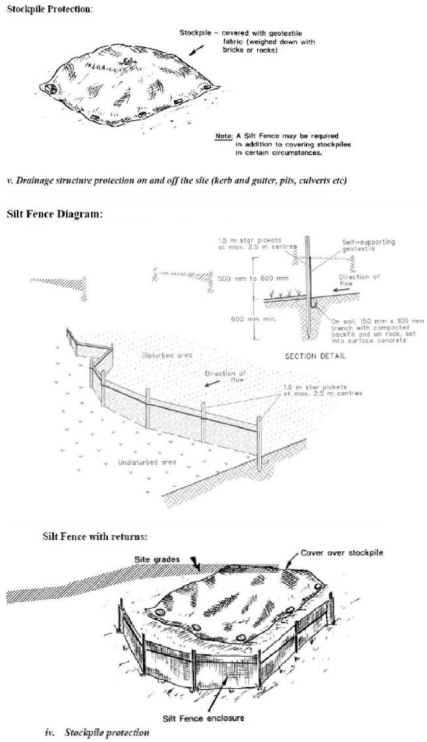
ii) Minimises slope gradient & flow distance within disturbed areas

iii) Ensures surface run-off occurs at non-erodable velocities

iv) Ensures disturbed areas are promptly rehabilitated.
7. Sediment and erosion control measures are to be in place before work commences.
8. Materials are not to be tracked onto the road by vehicles entering or leaving the site.
9. Specified drainage is to be implemented to protect and drain the site during works.
10. A durable sign, available from Council must be erected during the works in a prominent location on site, warning of penalties should appropriate measures required by the Soil and Water Management Plan not be maintained.



1 WASTE MANAGEMENT SITE PLAN  
1:200



Section 1 – Demolition

This section must be completed in accordance with 'Chapter 1 – Demolition' of the Waste Management Guidelines

MATERIALS ON SITE	DESTINATION					
	Evidence such as weighbridge dockets and invoices for waste disposal or recycling must be retained on site for inspection					
	REUSE AND RECYCLING (MOST FAVOURABLE)			DISPOSAL (LEAST FAVOURABLE)		
Types of Waste Material	Estimated Volume (m³) or Weight (t)	ONSITE RE-USE ✓ Specify how material will be reused on site	OFFSITE RECYCLING ✓ Recycling Outlet (RO) ✓ Waste Transport Contractor (WTC)		OFFSITE DISPOSAL ✓ Specify landfill site (LS) ✓ Specify Waste Transport Contractor (WTC)	
			WTC	RO	WTC	LS
Excavated Material	-	-	-	-	-	-
Garden Organics	2 m3	re-use on site for landscaping	-	-	-	-
Bricks	4 m3	-	-	Kimbriki waste and resource recovery centre	OPTION NOT AVAILABLE: These materials must be re-used or separated on or off site and sent for recycling.	
Tiles	1 m3	-	-	Kimbriki waste and resource recovery centre		
Concrete	10 m3	-	-	Kimbriki waste and resource recovery centre		
Timber	2 m3	-	-	Kimbriki waste and resource recovery centre		
Plasterboard	1 m3	-	-	Kimbriki waste and resource recovery centre		
Metals	1 m3	-	-	Kimbriki waste and resource recovery centre	-	-
Asbestos	-	-	-	-	-	-
Other waste (please specify) Glass	2 m3	-	-	Kimbriki waste and resource recovery centre	-	-
Estimated Total % Recovered						

Section 2 – Construction

This section must be completed in accordance with 'Chapter 2 – Construction' of the Waste Management Guidelines

MATERIALS ON SITE	DESTINATION					
	Evidence such as weighbridge dockets and invoices for waste disposal or recycling must be retained on site for inspection					
	REUSE AND RECYCLING (MOST FAVOURABLE)				DISPOSAL (LEAST FAVOURABLE)	
Types of Waste Material	Estimated Volume (m³) or Weight (t)	ONSITE RE-USE ✓ Specify how material will be reused on site	OFFSITE RECYCLING ✓ Specify recycling outlet (RO) ✓ Specify Waste Transport Contractor (WTC)		OFFSITE DISPOSAL ✓ Specify landfill site (LS) ✓ Specify Waste Transport Contractor (WTC)	
			WTC	RO	WTC	LS
* Please specify						
Excavated Material	0 m3	-	-	-	-	-
Garden Organics	37 m3	reuse on site for landscaping	-	-	-	-
Bricks	0 m3	-	-	Kimbriki waste and resource recovery centre	OPTION NOT AVAILABLE: These materials must be re-used or separated on or off site and sent for recycling.	
Tiles	0.1 m3	-	-	Kimbriki waste and resource recovery centre		
Concrete	0.1 m3	-	-	Kimbriki waste and resource recovery centre		
Timber*	0.5 m3	-	-	Kimbriki waste and resource recovery centre		
Plasterboard	0.5 m3	-	-	Kimbriki waste and resource recovery centre		
Metals*	0.5 m3	-	-	Kimbriki waste and resource recovery centre	-	-
Asbestos	0 m3	-	-	-	-	-
Other waste*	-	-	-	-	-	-
Estimated Total % Recovered						

NOTES

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

- 4.The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
- 5.This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

LEGEND

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**

Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

The design is not in a form suitable for use in connection with building work.

VERSION

DEVELOPMENT APPLICATION

REV A - 03/03/2025

MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD - 240130

DOCUMENT

WASTE MANAGEMENT SITE PLAN

STAGE

DEVELOPMENT APPLICATION

PROJECT

16 Hillcrest Avenue

16 Hillcrest Avenue  
Mona Vale  
Aston Building

ARCHITECTURE URBAN PLANNING

M1/147 McEvoy Street Alexandria NSW 2015  
P 02 9516 2022 E email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



24\_066 DA-A-020





0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.

5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**

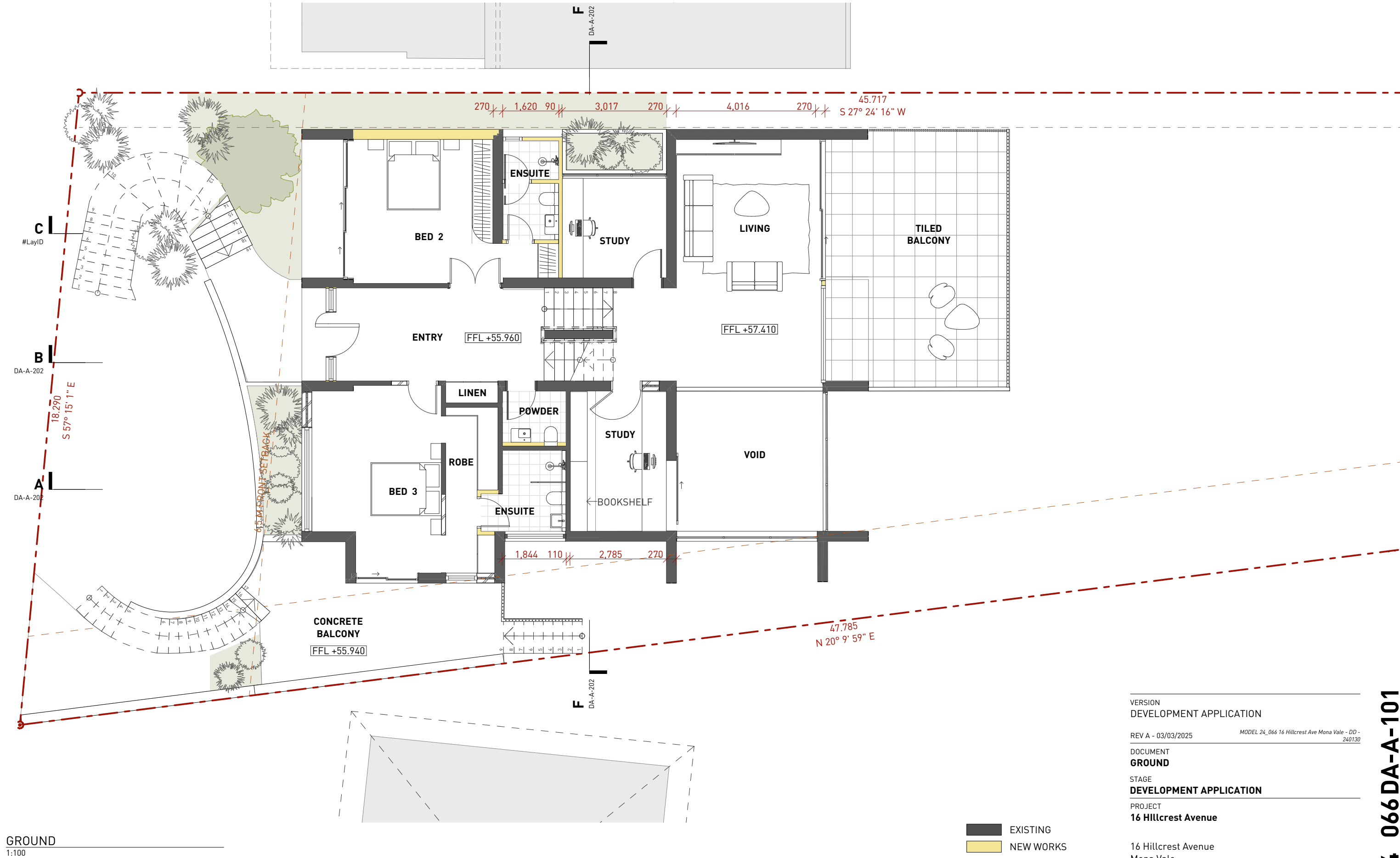
Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

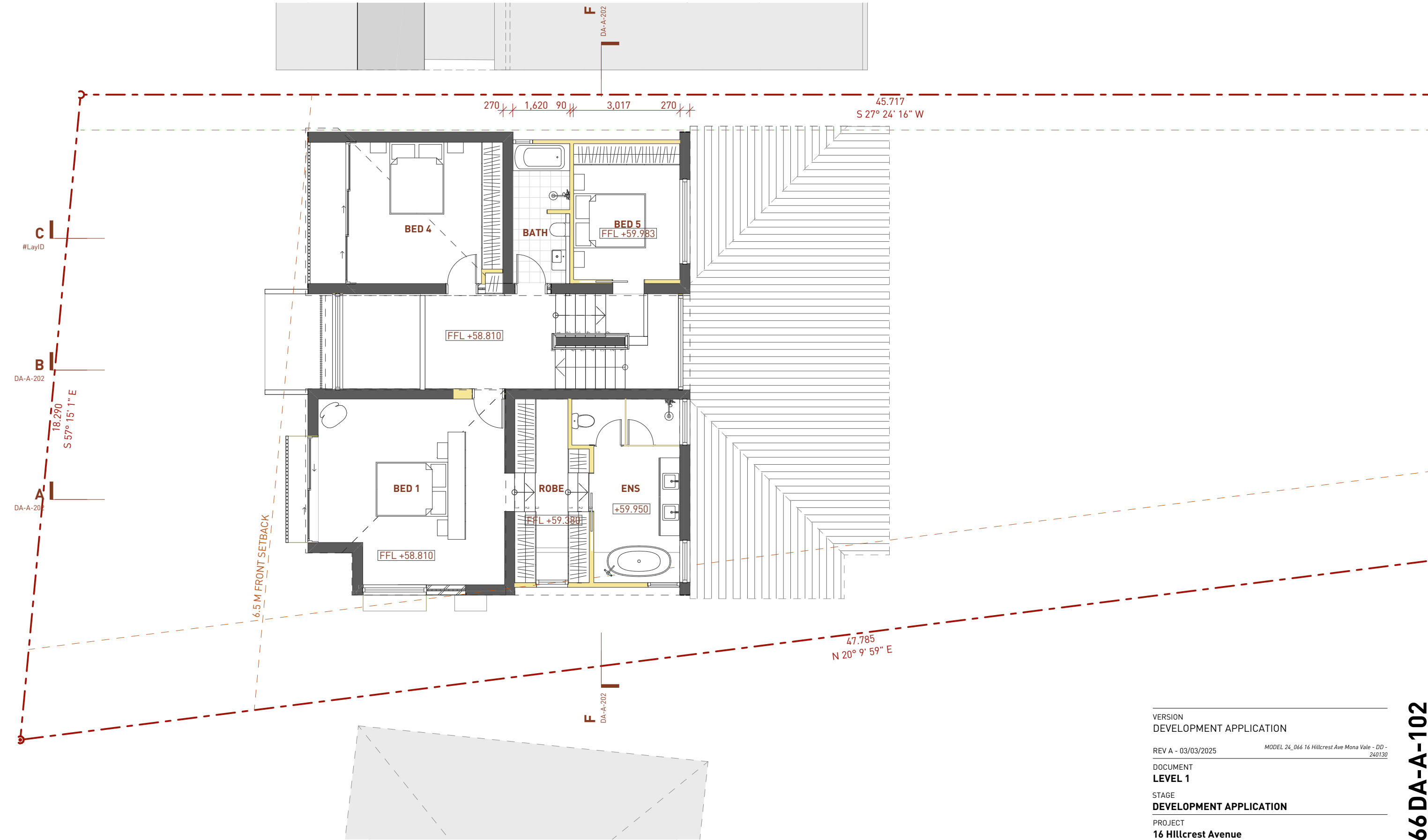
The design is not in a form suitable for use in connection with building work.

**ARCHITECTURE URBAN PLANNING**  
M1/147 McEvoy Street Alexandria NSW 2015  
**P** 02 9516 2022 **E** email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



**24 066 DA-A-100**





LEVEL 1  
1:100

EXISTING  
NEW WORKS

NOTES

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

LEGEND

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.  
**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**  
Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.  
The design is not in a form suitable for use in connection with building work.

VERSION  
DEVELOPMENT APPLICATION  
REV A - 03/03/2025  
DOCUMENT  
**LEVEL 1**  
STAGE  
**DEVELOPMENT APPLICATION**  
PROJECT  
**16 Hillcrest Avenue**  
16 Hillcrest Avenue  
Mona Vale  
**Aston Building**

ARCHITECTURE URBAN PLANNING  
M1/147 McEvoy Street Alexandria NSW 2015  
P 02 9516 2022 E email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



24\_066 DA-A-102



ROOF  
1:100

EXISTING  
NEW WORKS

- NOTES**
1. NEVER scale off drawings, use figured dimensions only.
  2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
  3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary
  4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
  5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

**LEGEND**  
Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**  
Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

The design is not in a form suitable for use in connection with building work.

VERSION  
DEVELOPMENT APPLICATION

REV A - 03/03/2025

DOCUMENT  
ROOF

STAGE  
DEVELOPMENT APPLICATION

PROJECT  
16 Hillcrest Avenue

16 Hillcrest Avenue  
Mona Vale  
Aston Building

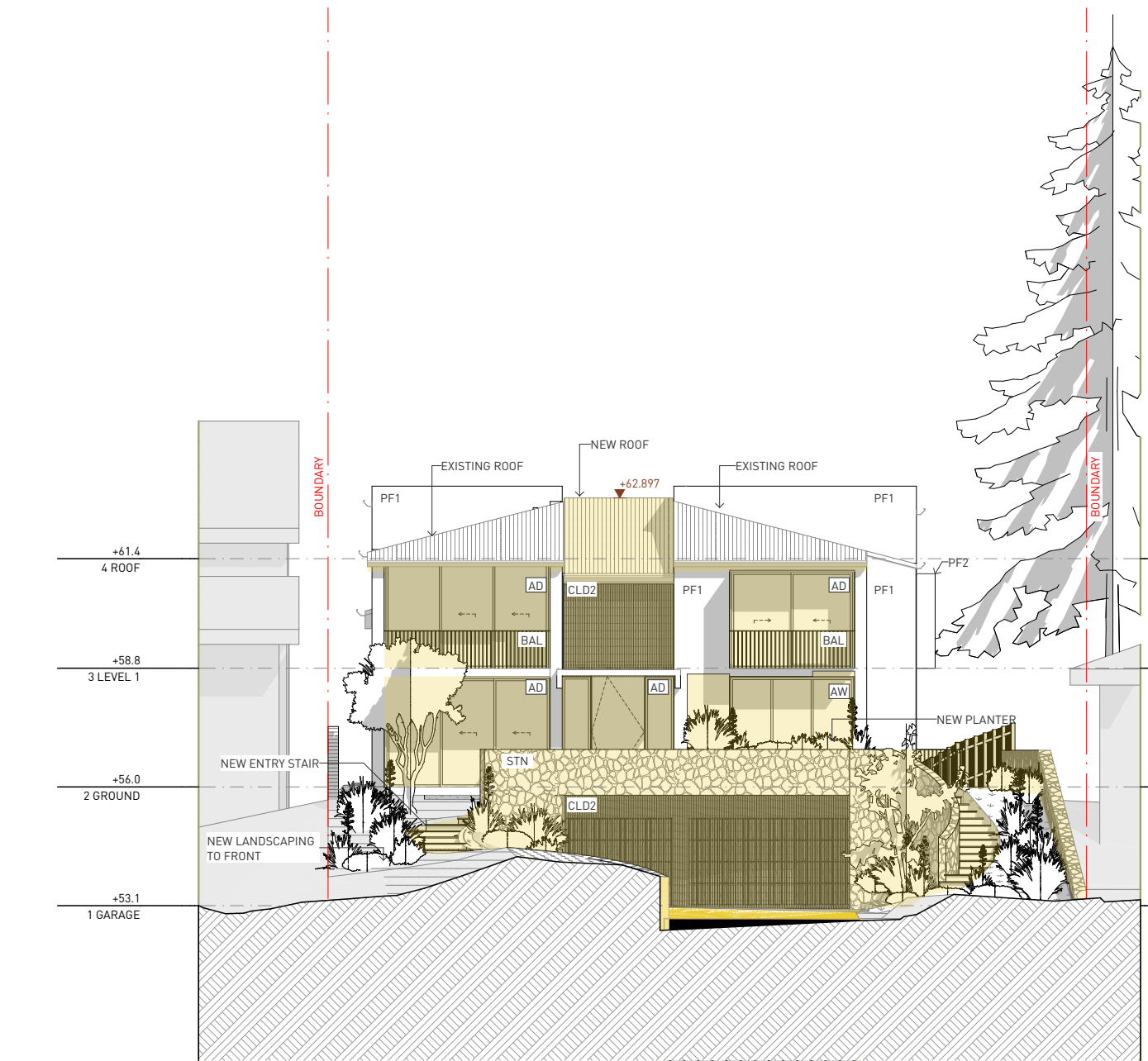
MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD - 240130

ARCHITECTURE URBAN PLANNING  
M1/147 McEvoy Street Alexandria NSW 2015  
P 02 9516 2022 E email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)

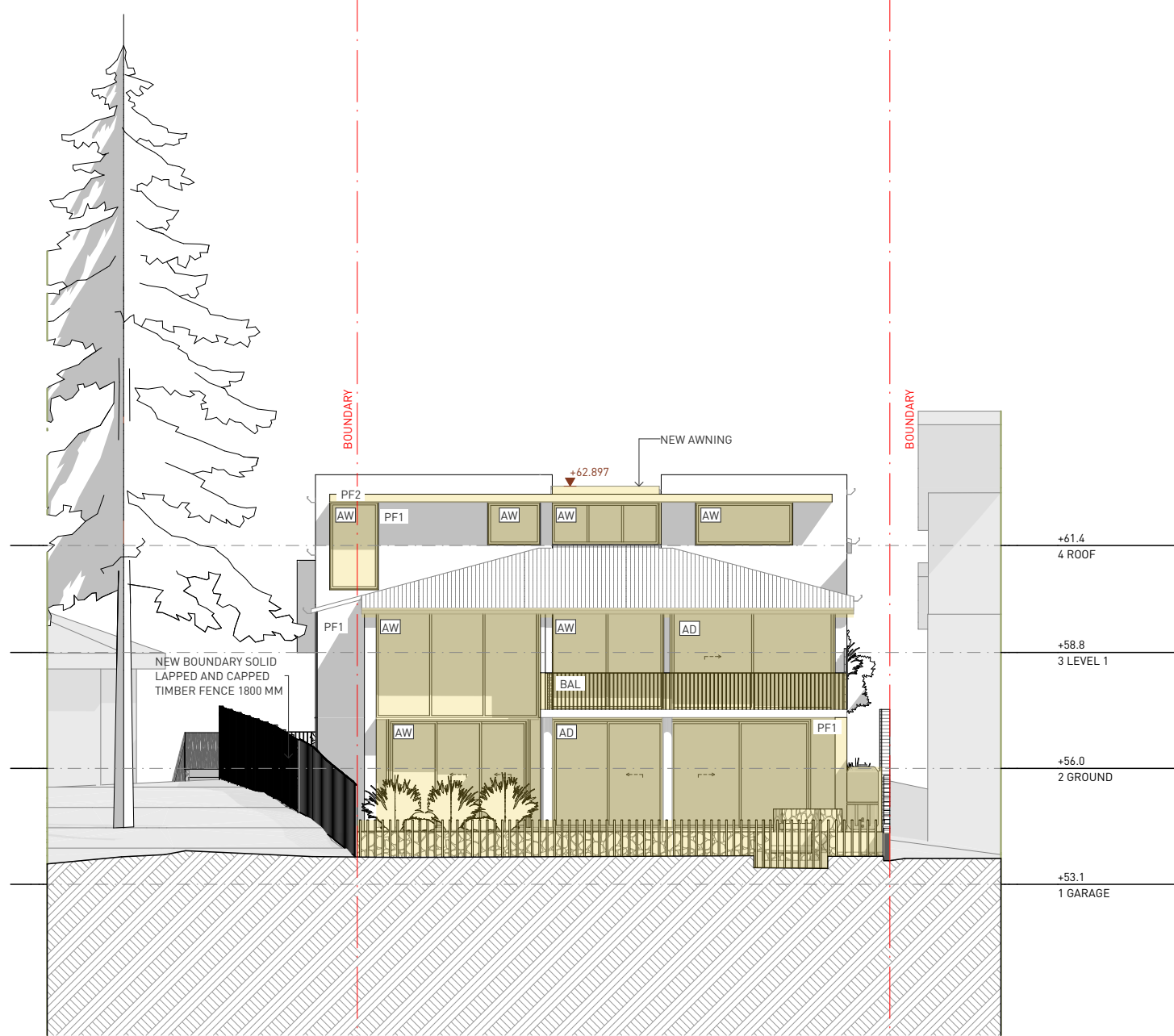


24\_066 DA-A-103





1 SOUTH ELEVATION  
1:150



1 NORTH ELEVATION  
1:150

EXISTING  
NEW WORKS

NOTES

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

LEGEND

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.  
**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**  
Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.  
The design is not in a form suitable for use in connection with building work.

VERSION  
DEVELOPMENT APPLICATION

REV A - 03/03/2025

MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD - 240130

DOCUMENT  
**NORTH & SOUTH ELEVATION**

STAGE  
**DEVELOPMENT APPLICATION**

PROJECT  
**16 Hillcrest Avenue**

16 Hillcrest Avenue  
Mona Vale  
**Aston Building**

**ARCHITECTURE URBAN PLANNING**  
M1/147 McEvoy Street Alexandria NSW 2015  
P 02 9516 2022 E email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



24\_066 DA-A-200





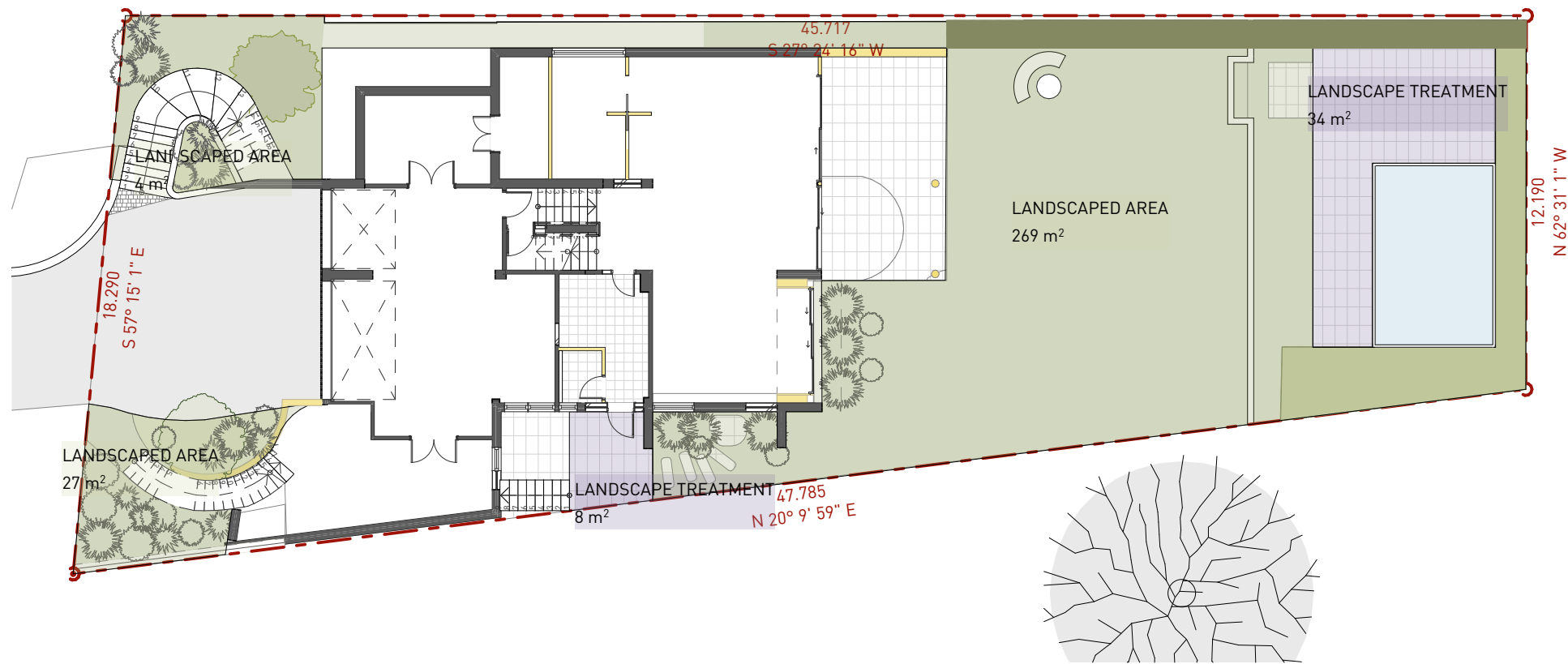


**24\_066 DA-A-203**



SMITH & TZANNES





SITE AREA 705.1

MIN LANDSCAPE 423 m2 = 60%

IMPERVIOUS LANDSCAPE TREATMENT = 42.3 {6%}

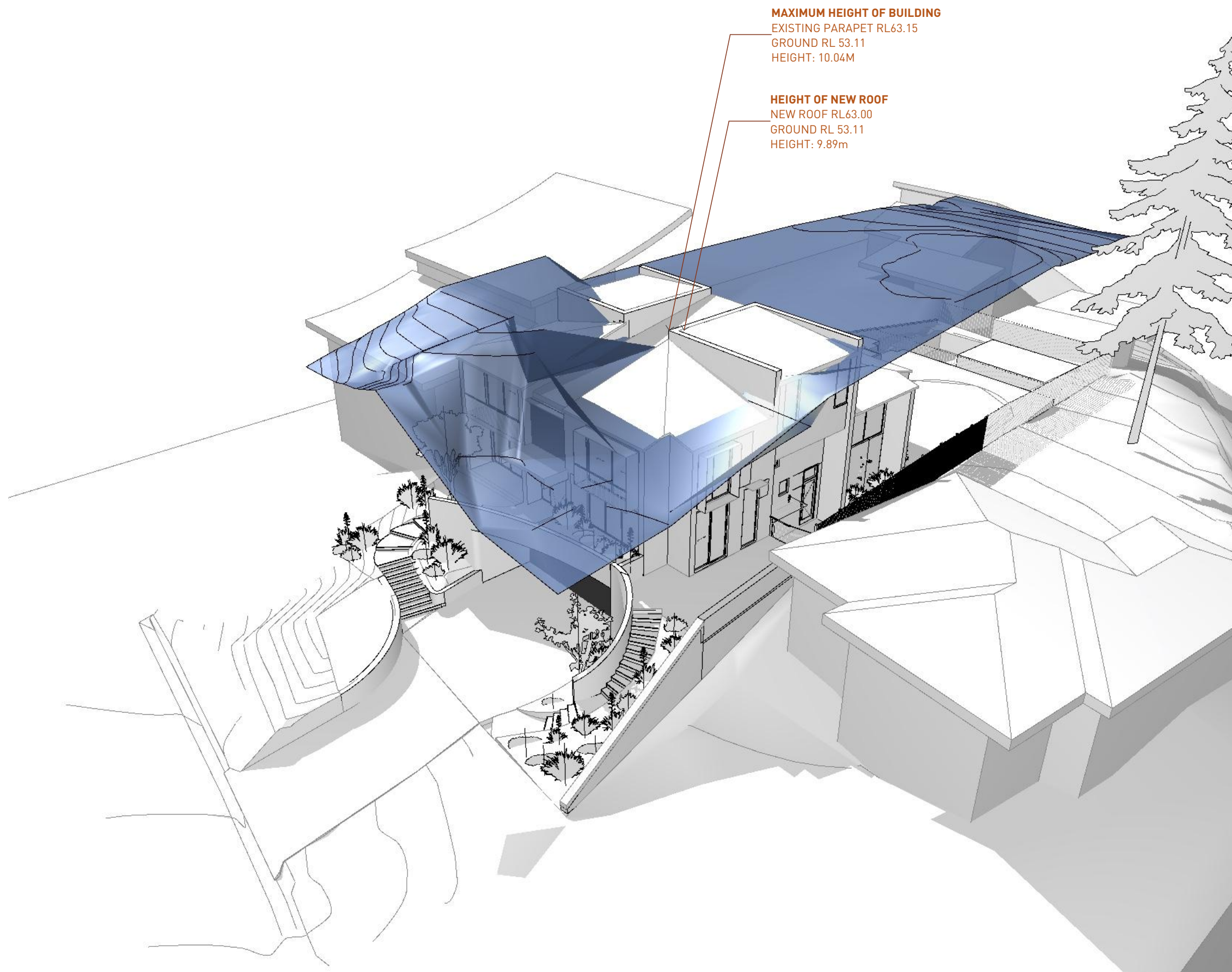
TYPE	AREA
LANDSCAPE TREATMENT	
	42
	<b>42 m<sup>2</sup></b>
LANDSCAPED AREA	
	300
	<b>300 m<sup>2</sup></b>
	<b>342 m<sup>2</sup></b>



0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

The design is not in a form suitable for use in connection with building work.

**24\_066 DA-A-800**



**MAXIMUM HEIGHT OF BUILDING**  
EXISTING PARAPET RL63.15  
GROUND RL 53.11  
HEIGHT: 10.04M

**HEIGHT OF NEW ROOF**  
NEW ROOF RL 63.00  
GROUND RL 53.11  
HEIGHT: 9.89m

VERSION  
DEVELOPMENT APPLICATION

MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD -  
240130

DOCUMENT  
**BUILDING HEIGHT BLANKET**

STAGE  
DEVELOPMENT APPLICATION

PROJECT  
**16 Hillcrest Avenue**

16 Hillcrest Avenue  
Mona Vale  
**Aston Building**

**ARCHITECTURE URBAN PLANNING**  
M1/147 McEvoy Street Alexandria NSW 2015  
P 02 9516 2022 E email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



**24 066 DA-A-801**

## 1 Building Height Blanket

© SMITH & TZANNES PTY LTD

0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

## NOTES

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

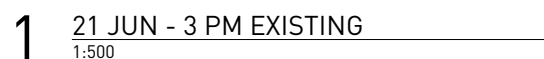
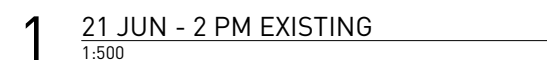
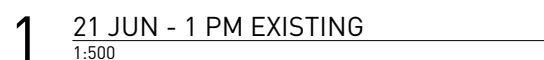
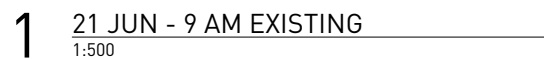
### LEGEND

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**

Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

The design is not in a form suitable for use in connection with building work.



0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.

5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**

Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

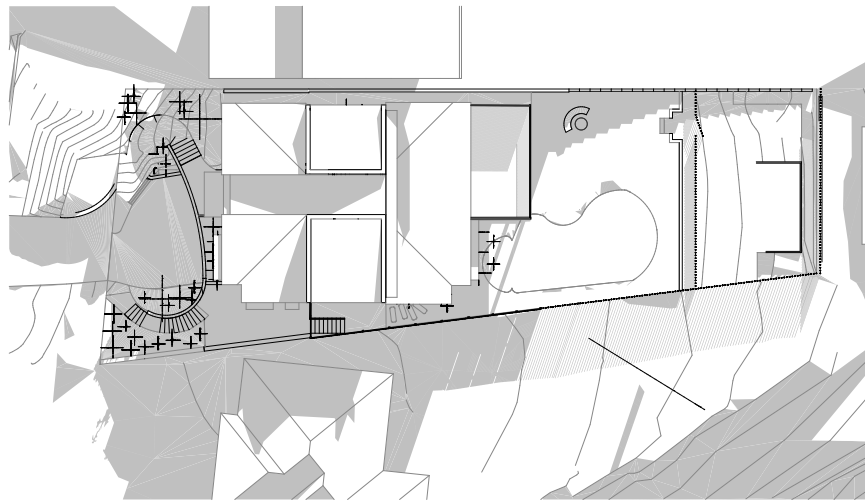
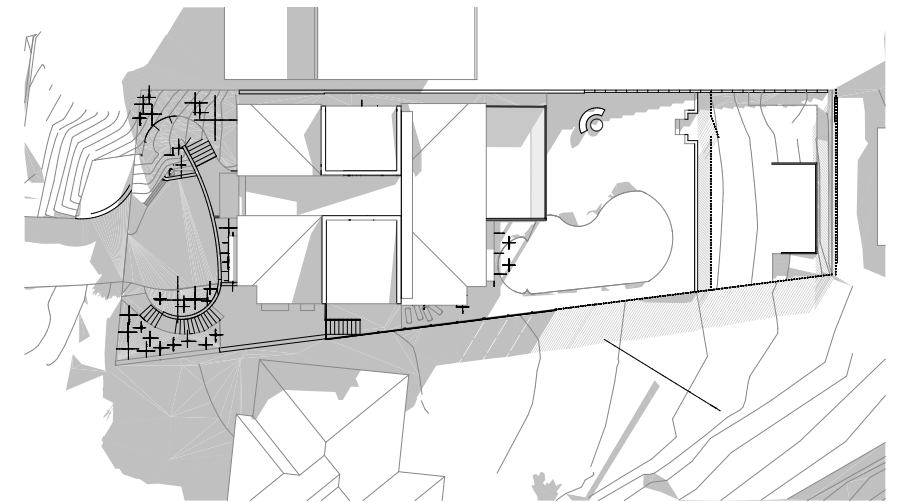
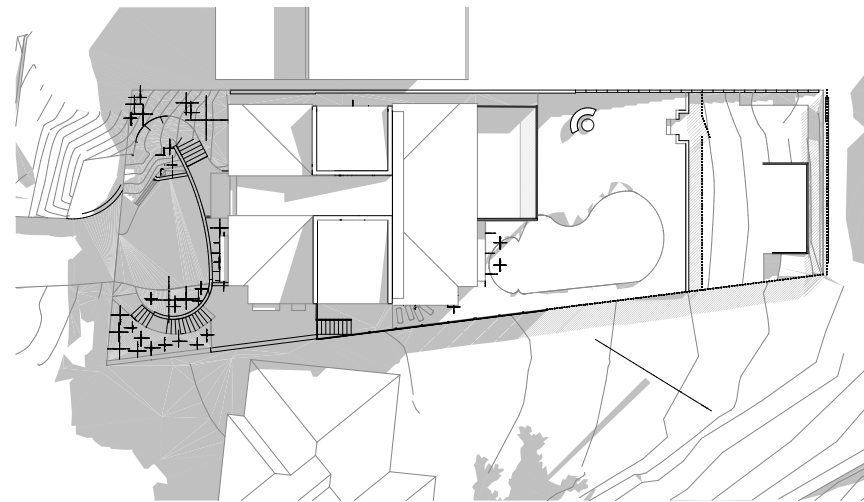
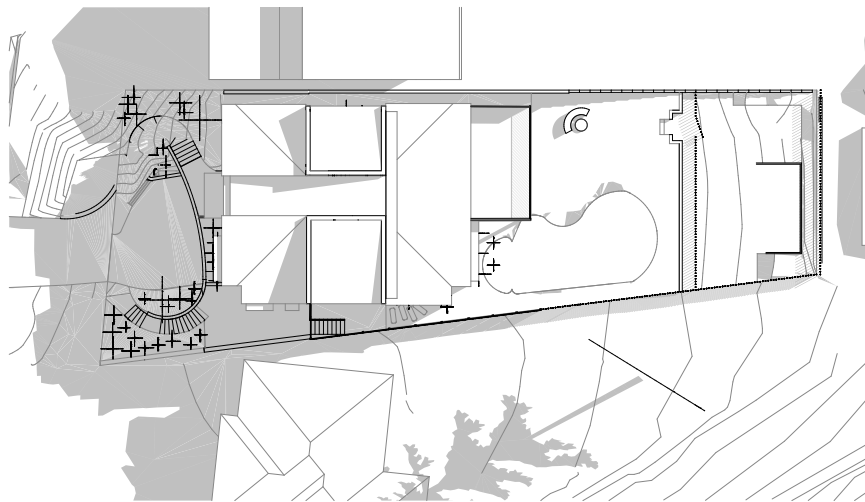
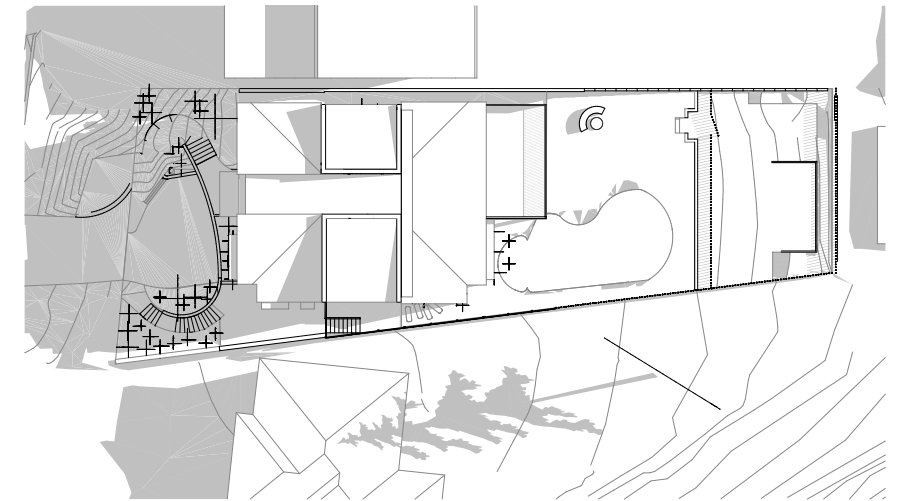
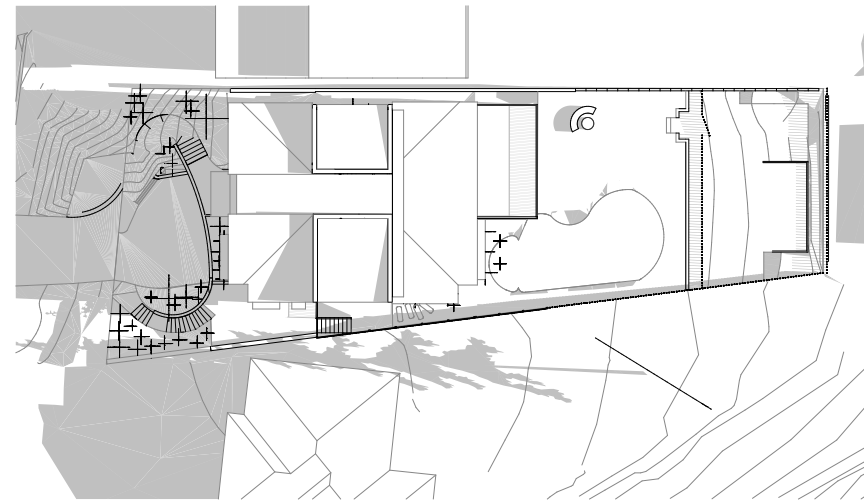
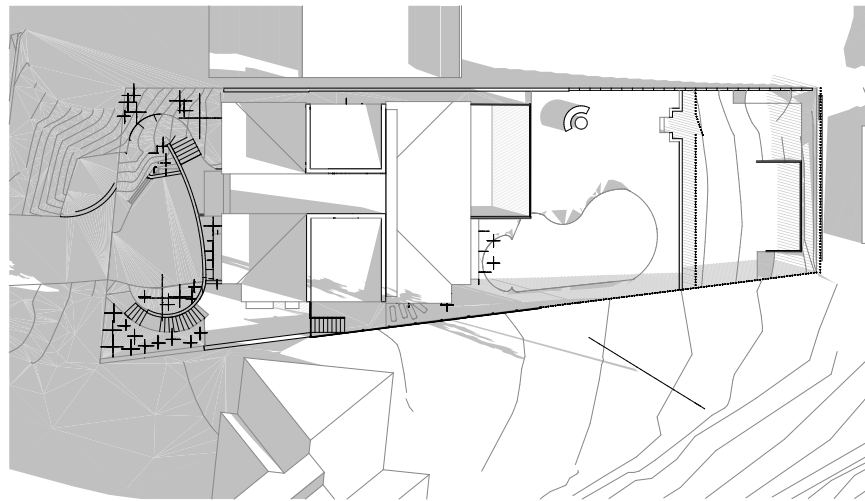
The design is not in a form suitable for use in connection with building work.

**ARCHITECTURE URBAN PLANNING**  
M1/147 McEvoy Street Alexandria NSW 2015  
**P** 02 9516 2022 **E** email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



**24\_066DA-A-850**





VERSION  
DEVELOPMENT APPLICATION

REV A - 03/03/2025

MODEL 24\_066 16 Hillcrest Ave Mona Vale - DD -  
240130

DOCUMENT  
**SHADOWS - PROPOSED**

STAGE  
**DEVELOPMENT APPLICATION**

PROJECT  
**16 Hillcrest Avenue**

16 Hillcrest Avenue  
Mona Vale  
**Aston Building**

**ARCHITECTURE URBAN PLANNING**  
M1/147 McEvoy Street Alexandria NSW 2015  
**P** 02 9516 2022 **E** email@smithtznnes.com.au  
smithtznnes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



**24\_066DA-A-851**

© SMITH & TZANNES PTY LTD

0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

## NOTES

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

4. The copyright of this design remains the property of SMITH & TZANNES. This design is not to be used, copied or reproduced without the authority of SMITH & TZANNES.
5. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

### LEGEND

Refer to the notes page for a legend that includes further notes and an explanation of abbreviations.

**NOTES REGARDING DEVELOPMENT APPLICATION DRAWINGS**

Minor changes to form and configuration may be required when drawings are subsequently prepared for construction purposes after the grant of development consent.

The design is not in a form suitable for use in connection with building work.





## 3D VIEW

16 Hillcrest Avenue

24\_066

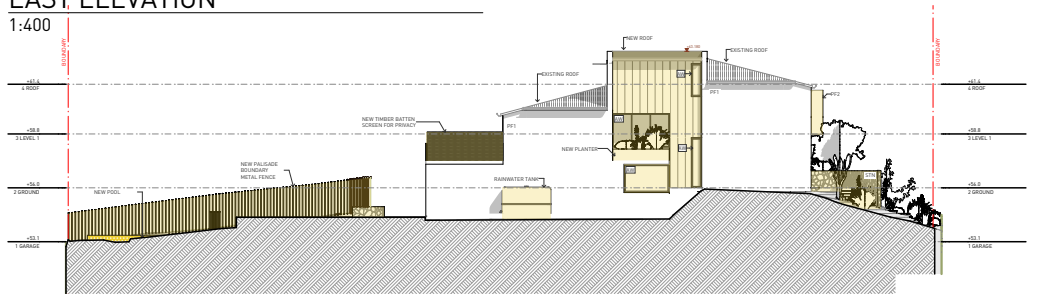
REV A - 03/03/2025

smithtzannes.com.au

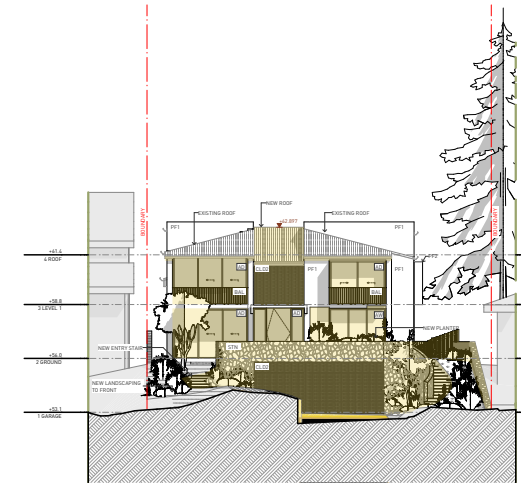
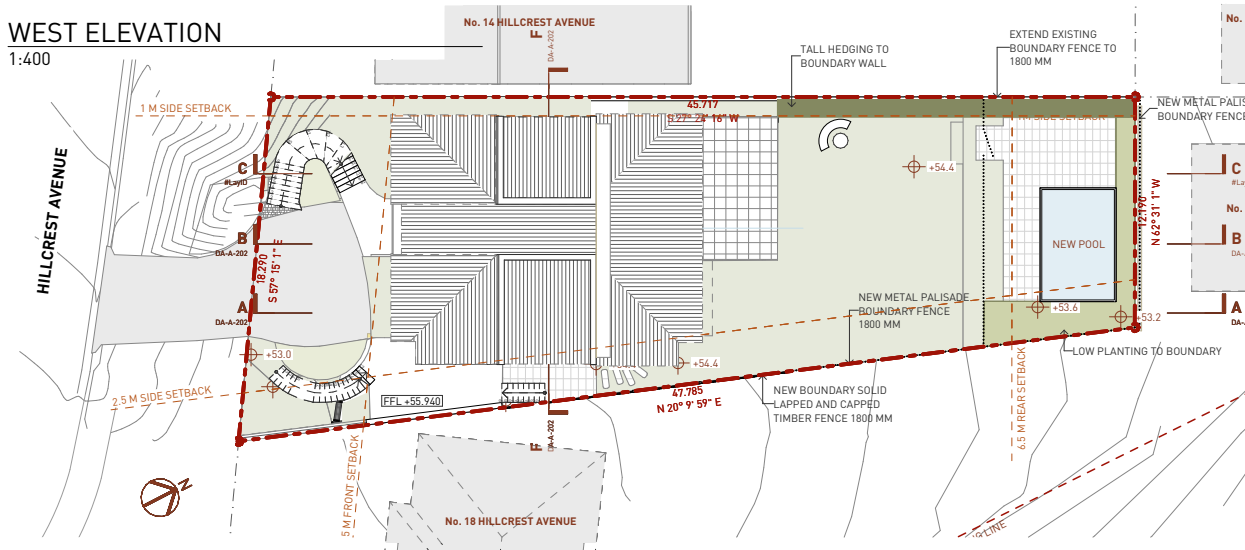
DA-A-990



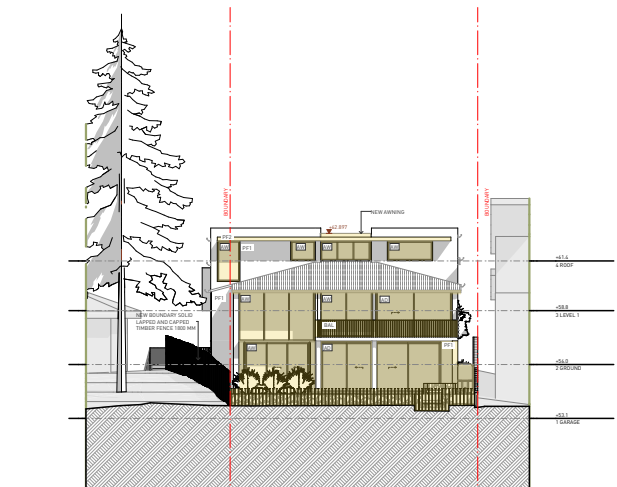
## 6 EAST ELEVATION 1:400



## 7 WEST ELEVATION 1:400



## 1 SOUTH ELEVATION 1:400



## 2 NORTH ELEVATION 1:400

## 3 SITE PLAN 1:400 NOTIFICATION PLAN

16 Hillcrest Avenue  
24\_066  
REV A - 03/03/2025