

PROPOSED  
RESIDENCE

Client: S & E Filletti  
Site: 985 Pittwater Rd  
Collaroy 2097  
Lot 5, DP 10519

|     |                              |
|-----|------------------------------|
| AA  | Front Page                   |
| A01 | Site Plan/Analysis           |
| A02 | Ground Floor Plan            |
| A03 | First Floor Plan             |
| A04 | Elevations                   |
| A05 | Elevations                   |
| A06 | Section & Driveway Profile   |
| A07 | Shadow Diagram               |
| A08 | Electrical Plan Ground Floor |
| A09 | Electrical Plan First Floor  |
| A10 | Gas Plan                     |
| A-A | Wet Area Details             |
| A-B | Wet Area Details             |

BASIX® commitments

|                         |                  |
|-------------------------|------------------|
| Assessor                | Mr. Daniel Warda |
| Date                    | 25 / 02 / 2020   |
| BASIX Certificate No.   | 1080641S         |
| NatHERS Certificate No. | 0004619011       |

project details

|              |  |
|--------------|--|
| Site Address | Lot 5, 985 Pittwater Road, Collaroy NSW 2097 |
| Municipality | Northern Beaches                             |
| Reference    | 7556   |

thermal comfort

|                     |   |
|---------------------|---|
| Floors              | 300mm Waffle Pod Slab as per job number 7556                      |
| Cantilevered Floors | N/A   |
| External Walls      | R2.0 Bulk Insulation to all external walls I Light                |
| Internal Walls      | Same value as external wall applied to Garage internal walls only |
| Ceilings            | R3.5 Bulk Insulation to all trussed ceilings over living areas    |
| Roof                | Concrete Roof Tiles I Dark  |
| Roof Insulation     | Sarking   |

|   |            |     |       |      |
|---|------------|-----|-------|------|
| Wideline Sliding Windows (Aluminium Framed - 6.38mm Comfort Plus Neutral) | U - Value: | 4.5 | SHGC: | 0.46 |
| • To sliding windows excluding any mentioned below                        |            |     |       |      |
| Wideline Sliding Door (Aluminium Framed - 6.38mm Comfort Plus Neutral)    | U - Value: | 4.4 | SHGC: | 0.44 |
| • To sliding doors excluding any mentioned below                          |            |     |       |      |
| Wideline Bi-Fold Door (Aluminium Framed - 6.38mm Comfort Plus Neutral)    | U - Value: | 4.6 | SHGC: | 0.38 |
| • To bi-fold doors excluding any mentioned below                          |            |     |       |      |
| Wideline Sliding Window (Aluminium Framed - Standard 3mm Clear)           | U - Value: | 6.4 | SHGC: | 0.76 |
| • To sliding windows in wet areas   |            |     |       |      |

Note: U-Value may be lower but not higher than the nominated values  
Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only  
Skylights N/A

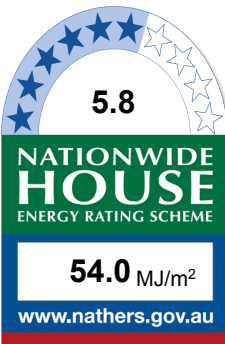
water

energy

|                    |                            |                  |                                      |
|--------------------|----------------------------|------------------|--------------------------------------|
| Landscape Area     | 200m²                      | Hot Water System | Gas Instantaneous   6 Stars          |
| W.C's              | 3 Star                     | Cooling System   | 3-Phase Ducted Air-Con   EER 3.0-3.5 |
| Kitchen Taps       | 3 Star                     | Heating System   | 3-Phase Ducted Air-Con   EER 3.0-3.5 |
| Shower Heads       | 3 Star (>7.5 but <=9L/min) | Ventilation      | As Per Basix Assessment              |
| Basin Taps         | 3 Star                     | PV System        | N/A                                  |
| Alternative Water  | 3000L Rain Water Tank      | Cooking          | Gas Cooktop & Electric Oven          |
| Roof Water To Tank | 100m²                      | Drying           | Outdoor Clothesline                  |
| Alt. Water Uses    | W.C, Garden & Laundry      | Lighting         | As Per BASIX Certificate             |

swimming pool

|                 |     |
|-----------------|-----|
| Pool / Spa      | N/A |
| Shading / Timer | N/A |
| Cover           | N/A |



Certificate no.: 0004619011  
Assessor Name: Daniel.Warda  
Accreditation no.: 101182  
Certificate date: 25 Feb 2020  
Dwelling Address: 985 Pittwater Road  
Collaroy, NSW 2097

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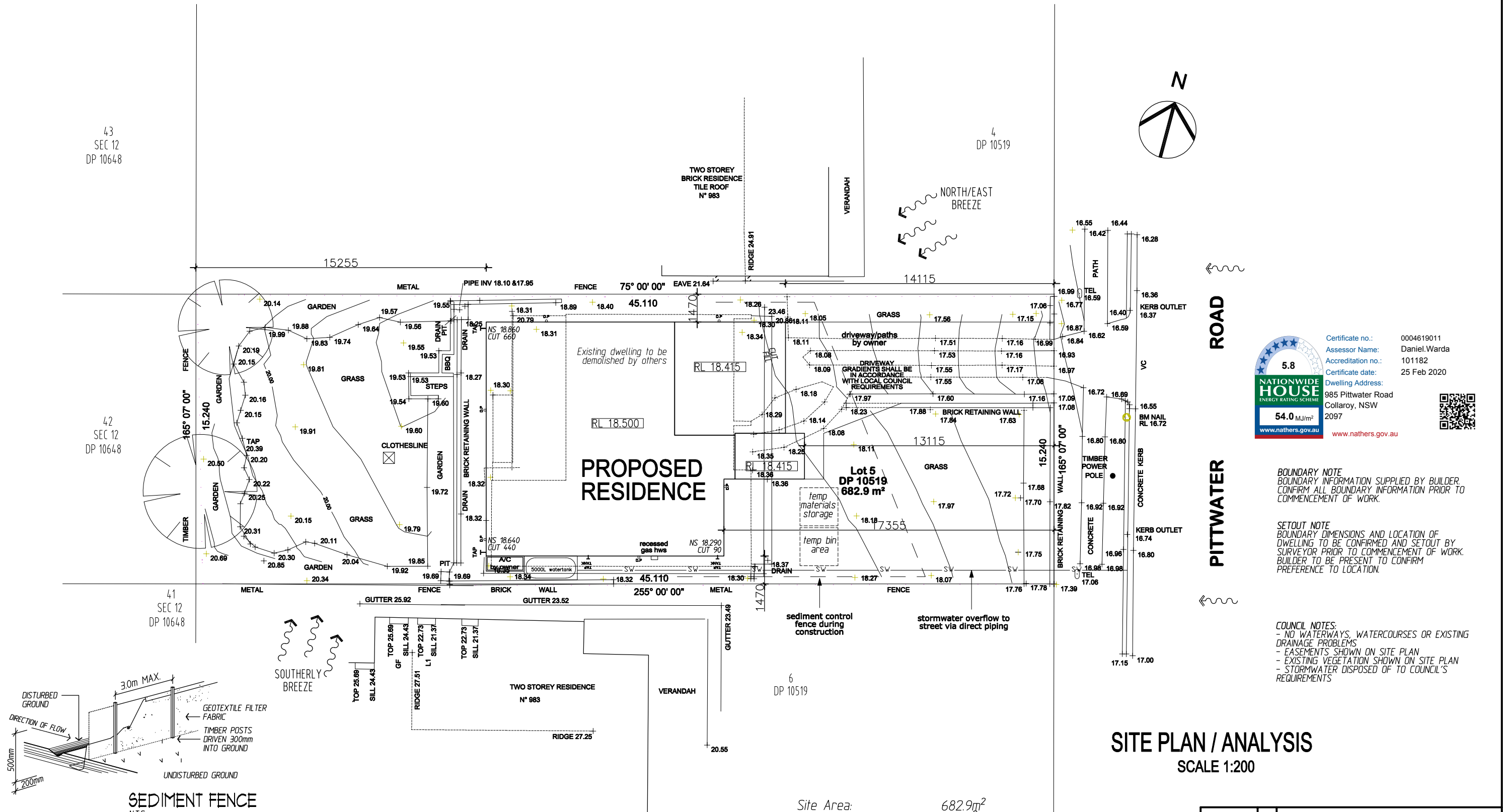


| Site Details              |         |
|---------------------------|---------|
| Site Area:                | 682.9m² |
| Roof Area:                | 180.0m² |
| Harvested Roof Area:      | 100.0m² |
| Total Garden & Lawn Area: | 200.0m² |

0488 203 606

giuseppe@energiassessments.com.au

ABN 77 614 736 284



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**5.8**  
NATIONWIDE HOUSE ENERGY RATING SCHEME  
54.0 MJ/m²  
www.nathers.gov.au

BOUNDARY NOTE  
BOUNDARY INFORMATION SUPPLIED BY BUILDER. CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTE  
BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK. BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

COUNCIL NOTES:  
- NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS  
- EASEMENTS SHOWN ON SITE PLAN  
- EXISTING VEGETATION SHOWN ON SITE PLAN  
- STORMWATER DISPOSED OF TO COUNCIL'S REQUIREMENTS

SITE PLAN / ANALYSIS  
SCALE 1:200

Site Area: 682.9m²  
Driveway/paths: 70.0m²  
Site Coverage: 183.0m² = 26.8%  
Max. building height: 8.5m

LEGEND

- NOISE FROM ROAD TRAFFIC
- VEHICULAR SITE ENTRY
- PRIVATE OPEN SPACE
- PREVAILING WINDS

**CAUTION:**

1. UTILITY SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR CONFIRMATION OF LOCATION OF SERVICES. \*\*\*\* DIAL BEFORE YOU DIG (CALL 1100) \*\*\*\*

2. THE BOUNDARIES SHOWN HEREON ARE APPROXIMATE ONLY. FOR ANY CONSTRUCTION ACTIVITIES PROPOSED IN CLOSE PROXIMITY TO THE BOUNDARIES, IT IS RECOMMENDED THAT THOSE BOUNDARIES BE MARKED TO AVOID POSSIBILITY OF ENCROACHMENT.

**DIAL 1100 BEFORE YOU DIG**

CLIENT **S & E Filletti**  
JOB **Proposed Residence**  
LOCATION **985 Pittwater Rd Collaroy**

plan prepared by **TULLIPAN HOMES**

SHEET 1 of 10  
DATE 17/02/2020  
DWG No. 7556-wd2

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Lic. No. 131446C

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Level 4, Suite 410  
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PO Box 5148  
CHITTAWAY BAY NSW 2261

FIXING LEGEND

TOWEL RAIL

TOILET ROLL

BULKHEAD AND STACK LOCATION  
TO BUILDERS DISCRETION

5.8

NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME

54.0 MJ/m²

www.nathers.gov.au

Certificate no.:

Assessor Name:

Accreditation no.:

Certificate date:

Dwelling Address:

0004619011

Daniel Warda

101182

25 Feb 2020

985 Pittwater Road  
Collaroy, NSW  
2097

[www.nathers.gov.au](http://www.nathers.gov.au)

|               |         |
|---------------|---------|
| AREAS:        |         |
| Portico:      | 8.8m²   |
| Garage:       | 34.4m²  |
| Ground Floor: | 139.7m² |
| First Floor:  | 155.2m² |
| Balcony:      | 27.7m²  |
| TOTAL:        | 365.8m² |

GROUND FLOOR PLAN  
SCALE 1:100

air conditioning locations, "locations are intended, however may vary if the home structure dictates otherwise", this applies to all air conditioning details signed off by clients.

00/00/00

#

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CLIENT

S & E Filletti

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LOCATION

985 Pittwater Rd  
Collaroy

– BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.

– FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.

SHEET

2 of 10

DATE

17/02/2020

DWG No.

7556-wd2

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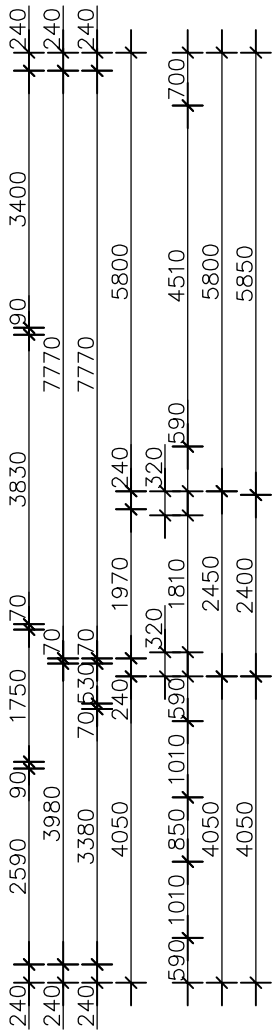
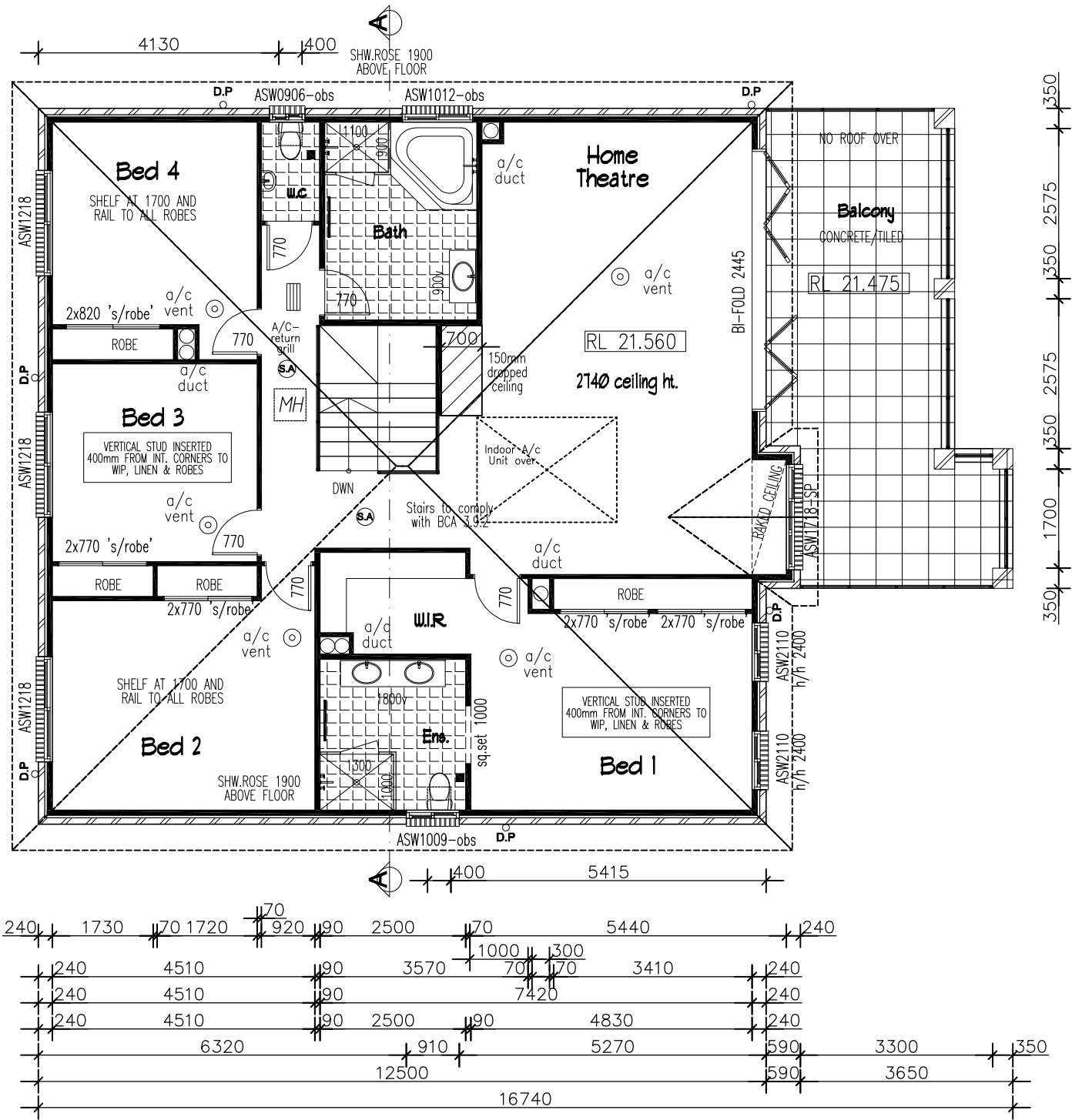
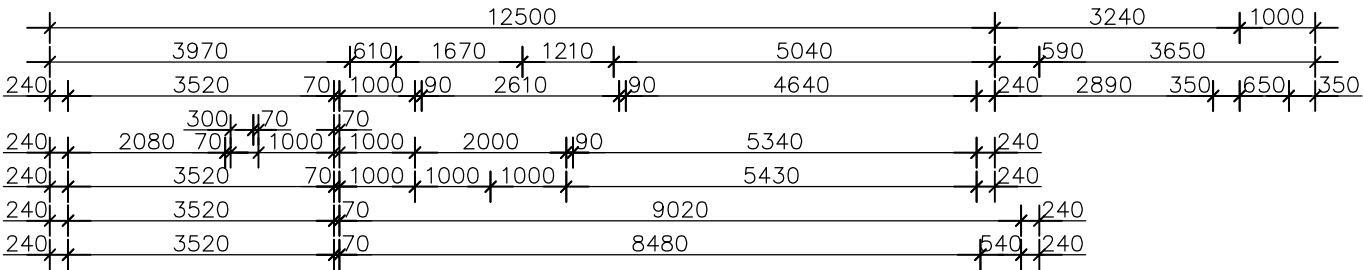
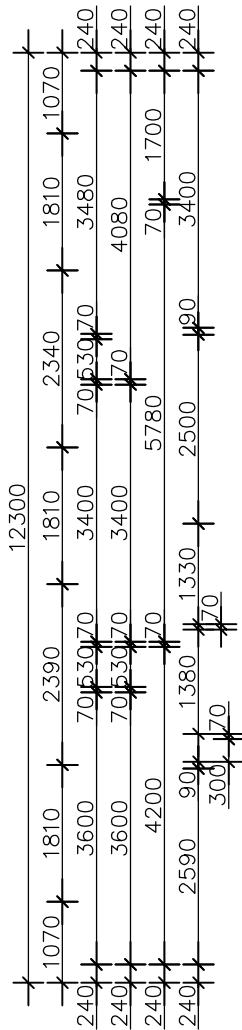
FIXING LEGEND

TOWEL RAIL

TOILET ROLL

BULKHEAD AND STACK LOCATION  
TO BUILDERS DISCRETION

SORRENTO MKII



air conditioning locations, "locations are intended, however may vary if the home structure dictates otherwise", this applies to all air conditioning details signed off by clients.

FIRST FLOOR PLAN  
SCALE 1:100

5.8

NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME

54.0 MJ/m²

www.nathers.gov.au

Certificate no.: 0004619011

Assessor Name: Daniel Warda

Accreditation no.: 101182

Certificate date: 25 Feb 2020

Dwelling Address: 985 Pittwater Road  
Collaroy, NSW 2097

|   |                              |          |  |
|---|------------------------------|----------|--|
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| JOB   | Proposed Residence           |          |  |
| LOCATION  | 985 Pittwater Rd<br>Collaroy |          |  |
| <div>- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.</div> <div>- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.</div> |                              |          |  |
| SHEET   | DATE                         | DWG No.  |  |
| 3 of 10   | 17/02/2020                   | 7556-wd2 |  |

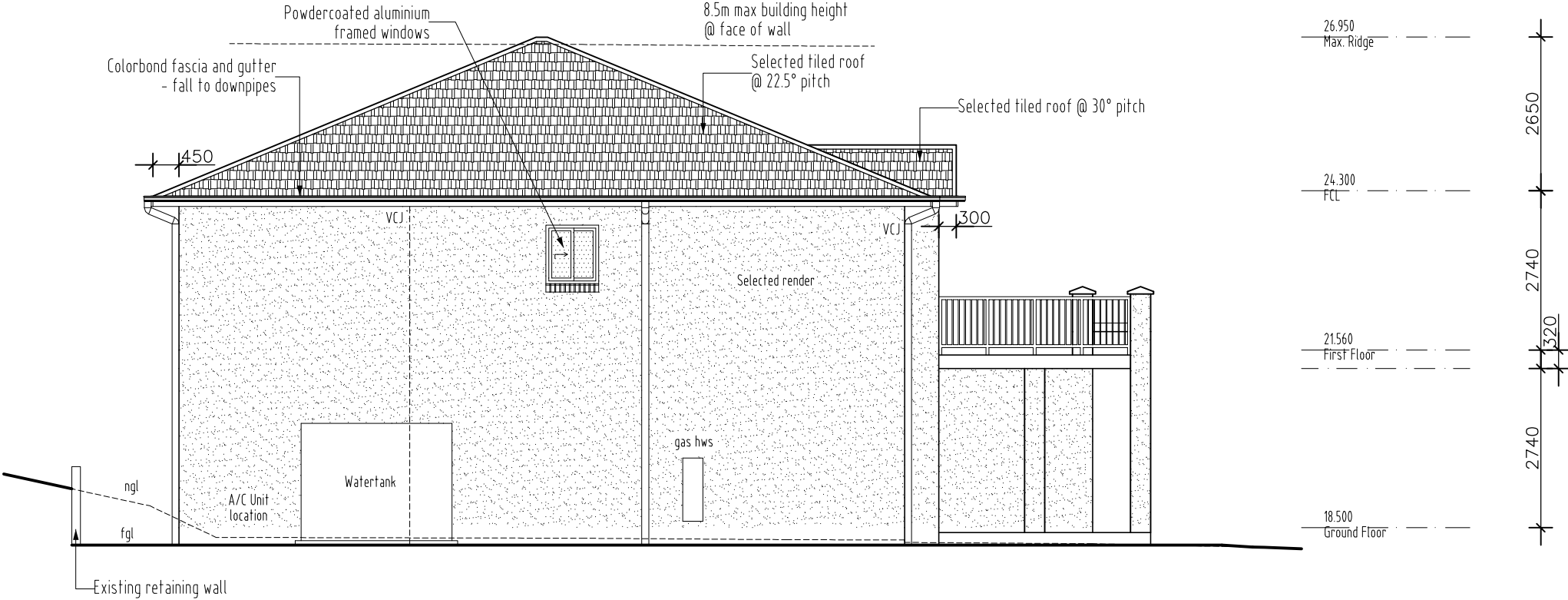
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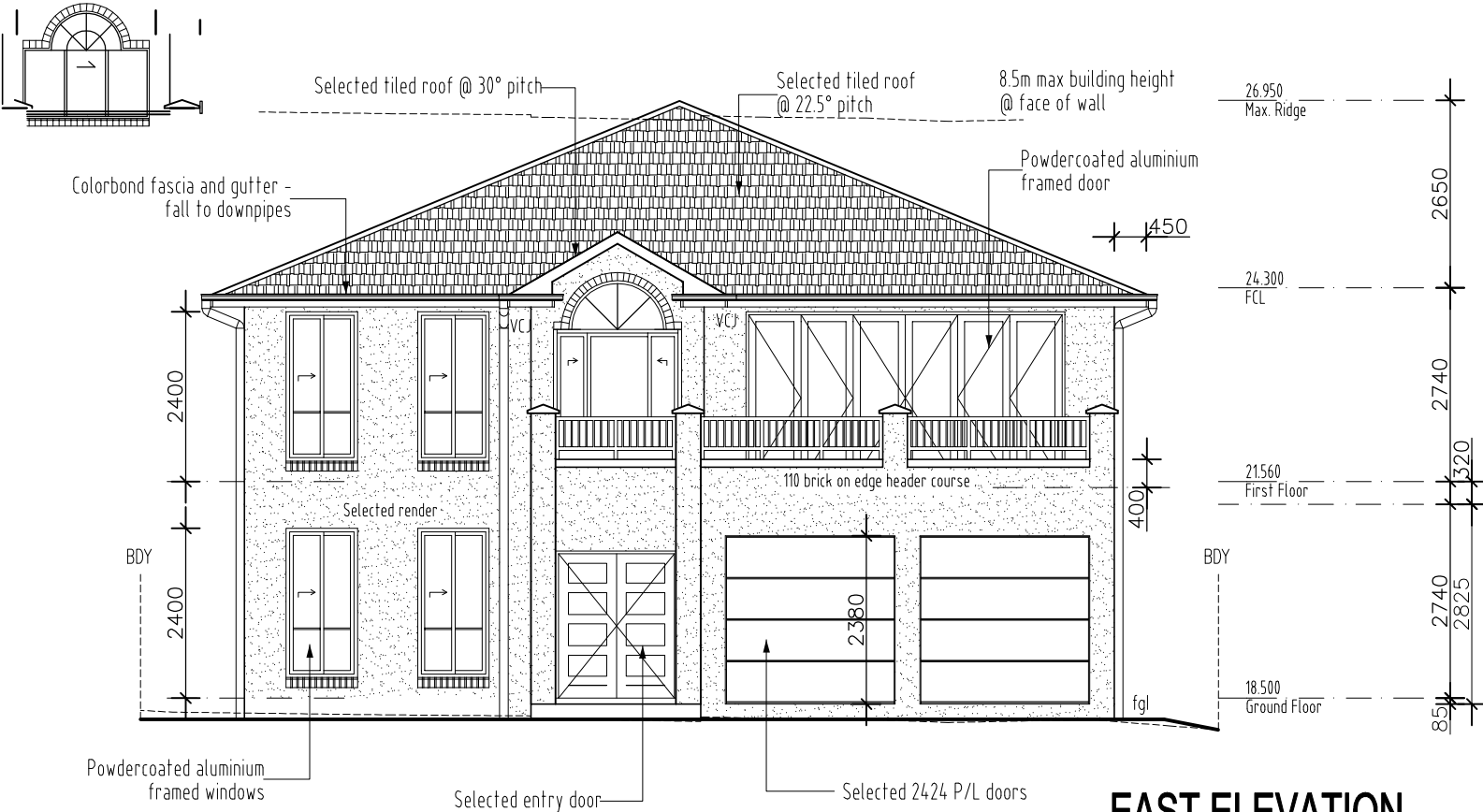
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SOUTH ELEVATION  
SCALE 1:100



EAST ELEVATION  
SCALE 1:100

**5.8**  
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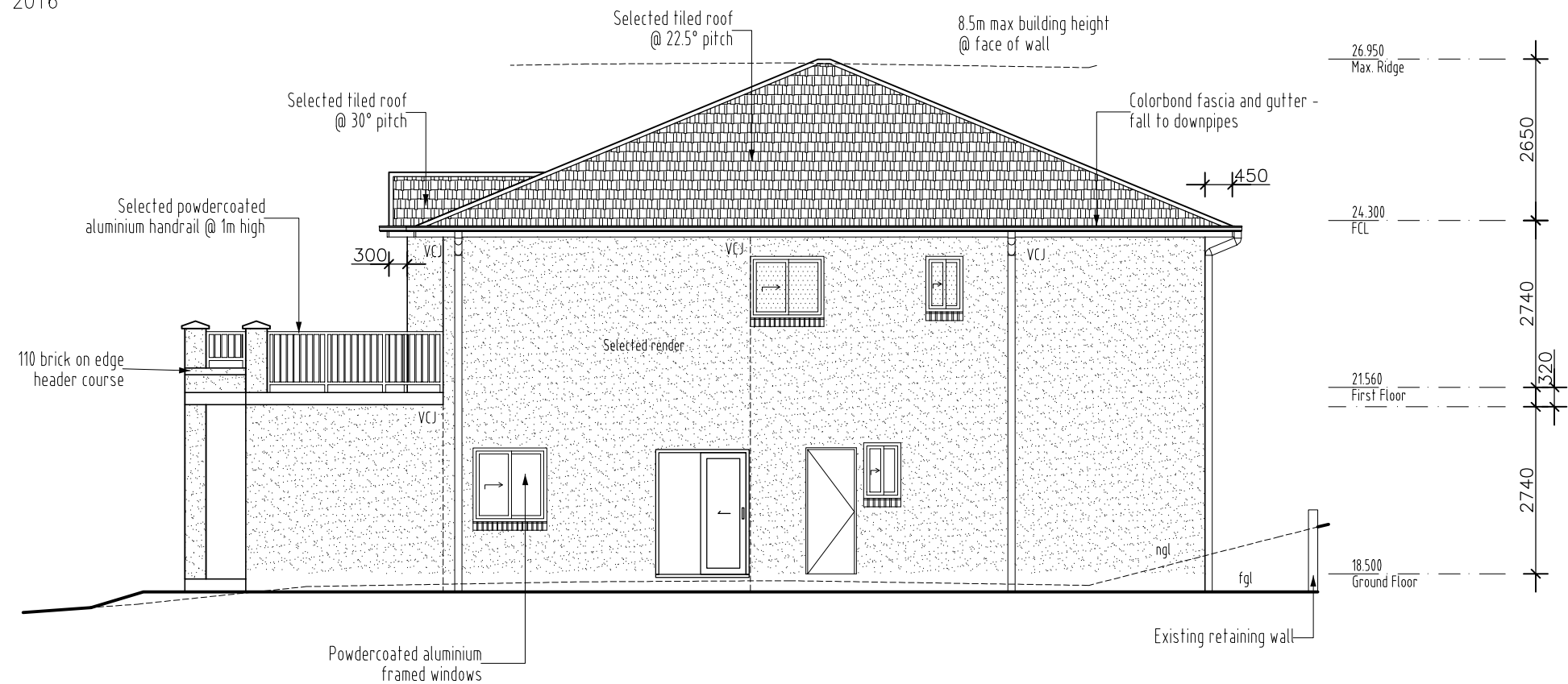
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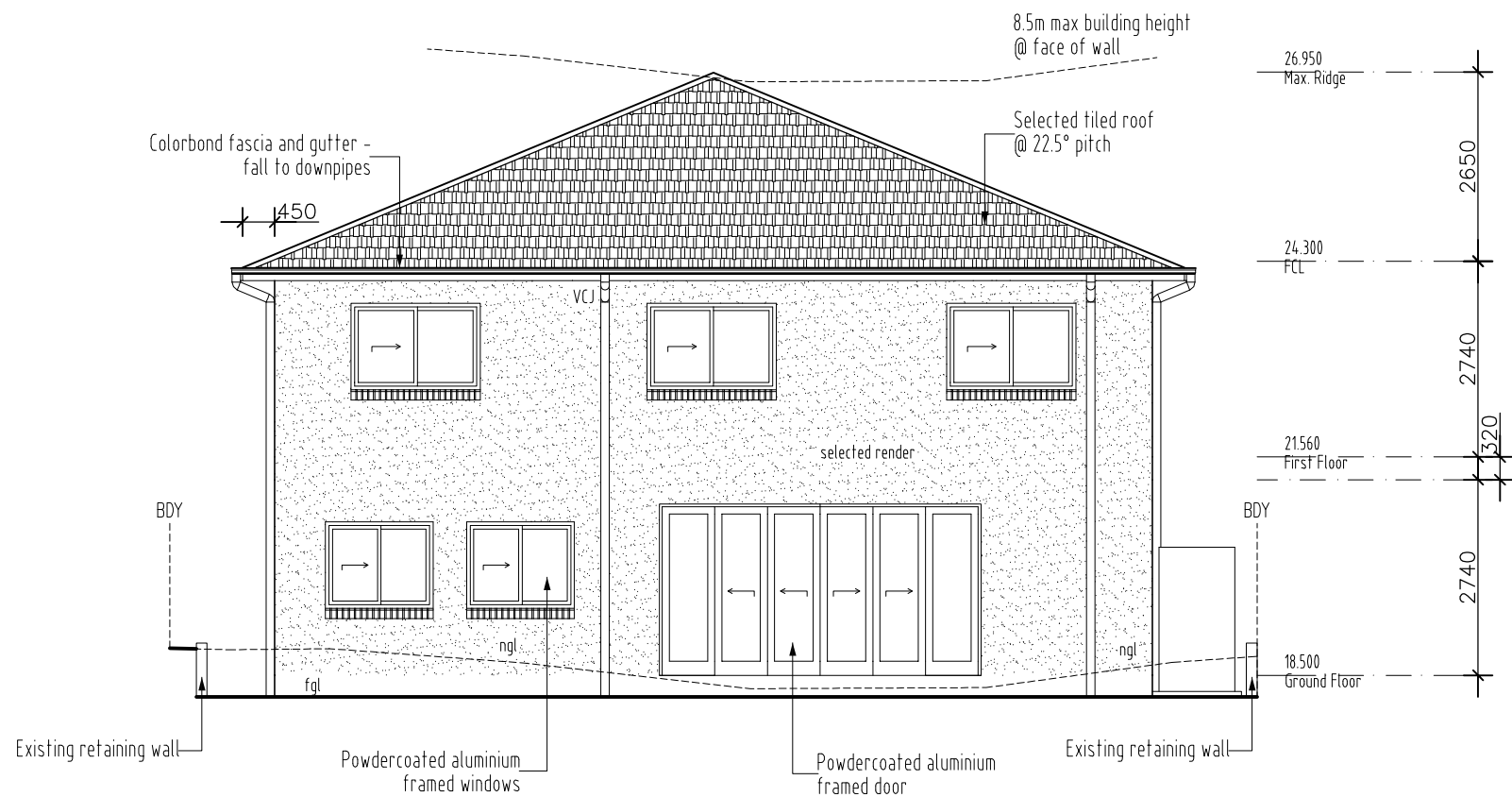
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|  |                                      |                 |
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| SHEET  | DATE                                 | DWG No.         |
| 4 of 10  | 17/02/2020                           | <b>7556-wd2</b> |



NORTH ELEVATION  
SCALE 1:100



WEST ELEVATION  
SCALE 1:100

**5.8**  
NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME  
54.0 MJ/m<sup>2</sup>  
www.nathers.gov.au

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Collaroy, NSW 2097  
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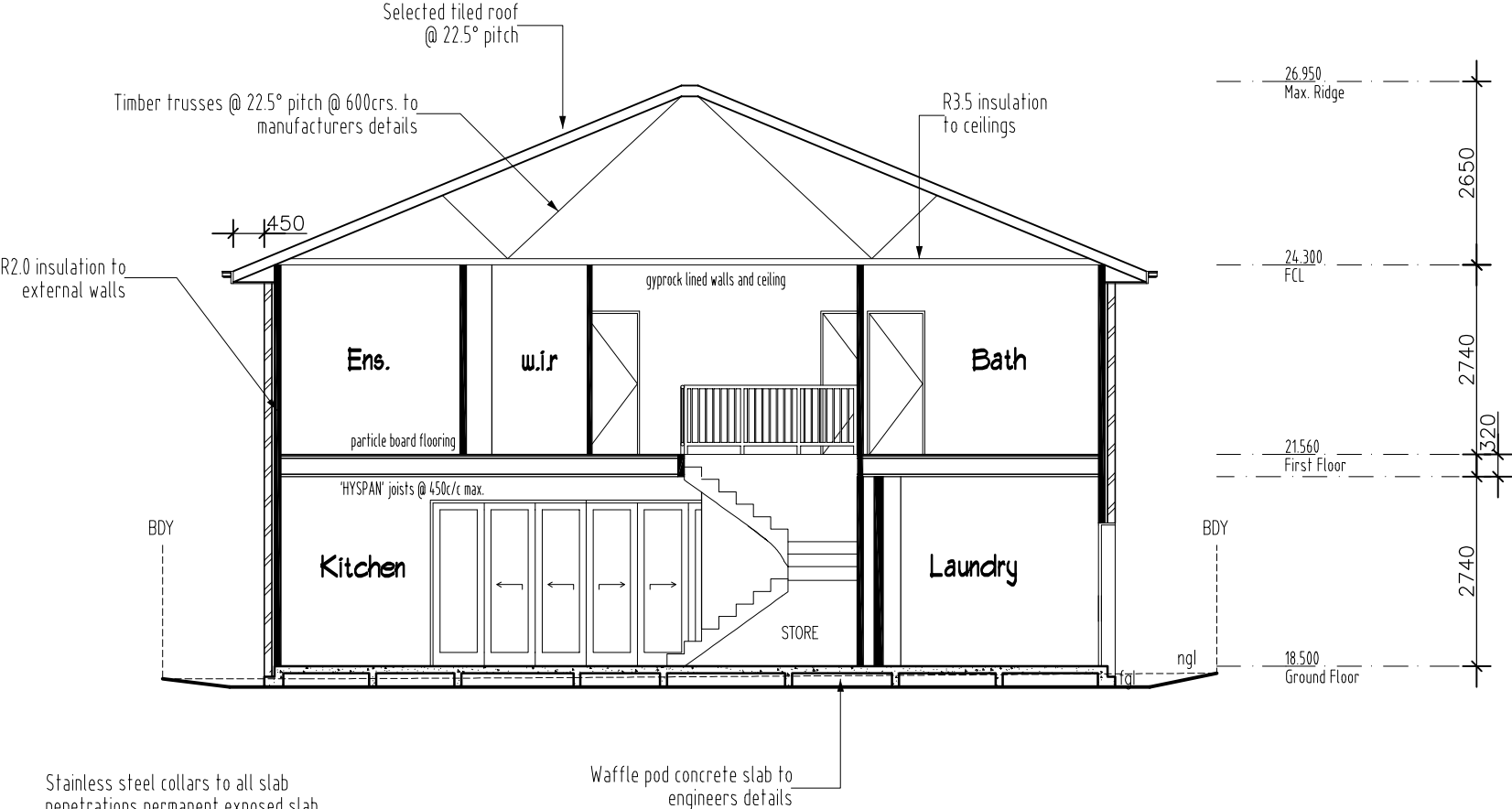
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| 5 of 10   | 17/02/2020                   | 7556-wd2 |  |

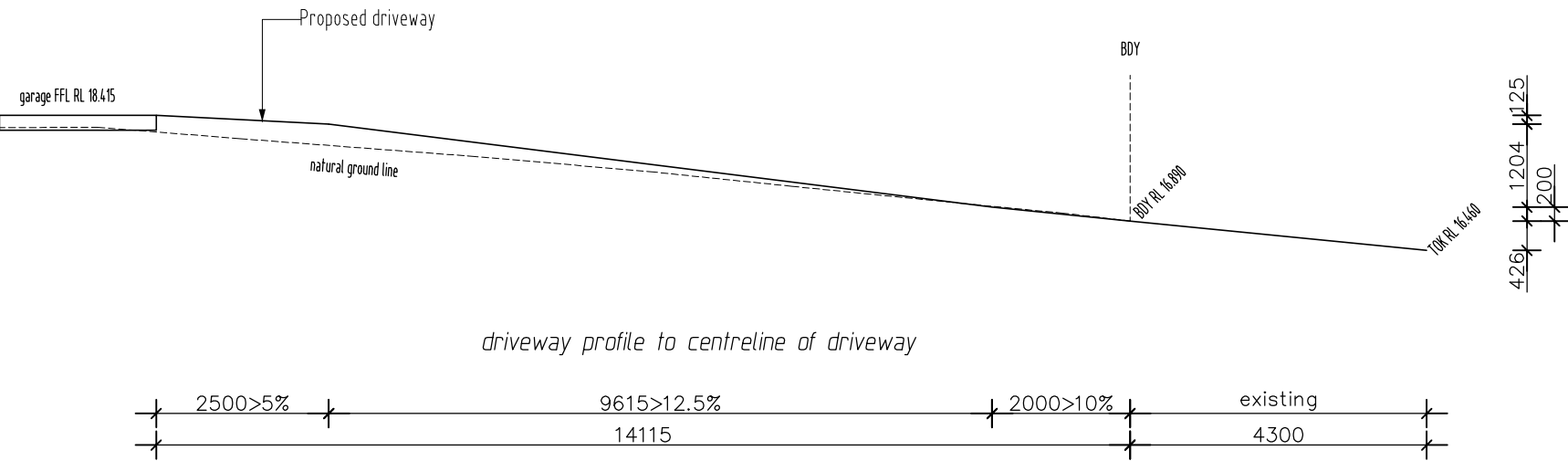


SECTION A-A  
SCALE 1:100

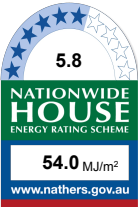
- BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION
- BRACING, TIE DOWN AND GLAZING DETAILS TO ENGINEERS SPECIFICATIONS
- STAINLESS STEEL COLLARS TO ALL SLAB PENETRATIONS PERMANENT EXPOSED SLAB EDGE TERMIMESH TREATMENT AS PER SPEC.
- 19mm COMPRESSED FC SHEETING PLUS WET AREA WATERPROOFING INSTALLATION AS PER AS 3740 TO WET ROOMS
- HANDRAILS TO BCA 3.9.2
- STAINLESS STEEL WALL TIES & GALVANIZING TO ANY EXPOSED BEAMS
- NOTE: BLUE H2-F TIMBER FRAMING TO COMPLY WITH AS1684
- NOTE: Wet area waterproofing installation as per AS3740

**BRICKLAYER**  
LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION.  
BCA 3.3.1.8  
(b) Articulation joints must have a width not less than 10mm and be provided  
(i) in straight, continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners; and  
(ii) where the height of the wall changes by more than 20%, at the position of change in height; and  
(iii) where openings more than 900x900mm occur, at not more than 5m centres, and positioned in line with one edge of the opening; and  
(iv) where walls change in thickness; and  
(v) at control or construction joints in footing slabs; and  
(vi) at junctions of walls constructed of different masonry materials; and  
(vii) at deep chases (rebates) for service pipes.

**ENGINEER**  
ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO STATED ON AN ENGINEERS CERTIFICATE AS BEING WHOLLY APPROVED BEFORE COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE THEN READ IN CONJUNCTION WITH ENGINEERS PLANS AND DOCUMENTS, WITH ENGINEERS REFERENCES TAKING PRECEDENCE.



DRIVEWAY PROFILE  
SCALE 1:100



Certificate no.: 0004619011  
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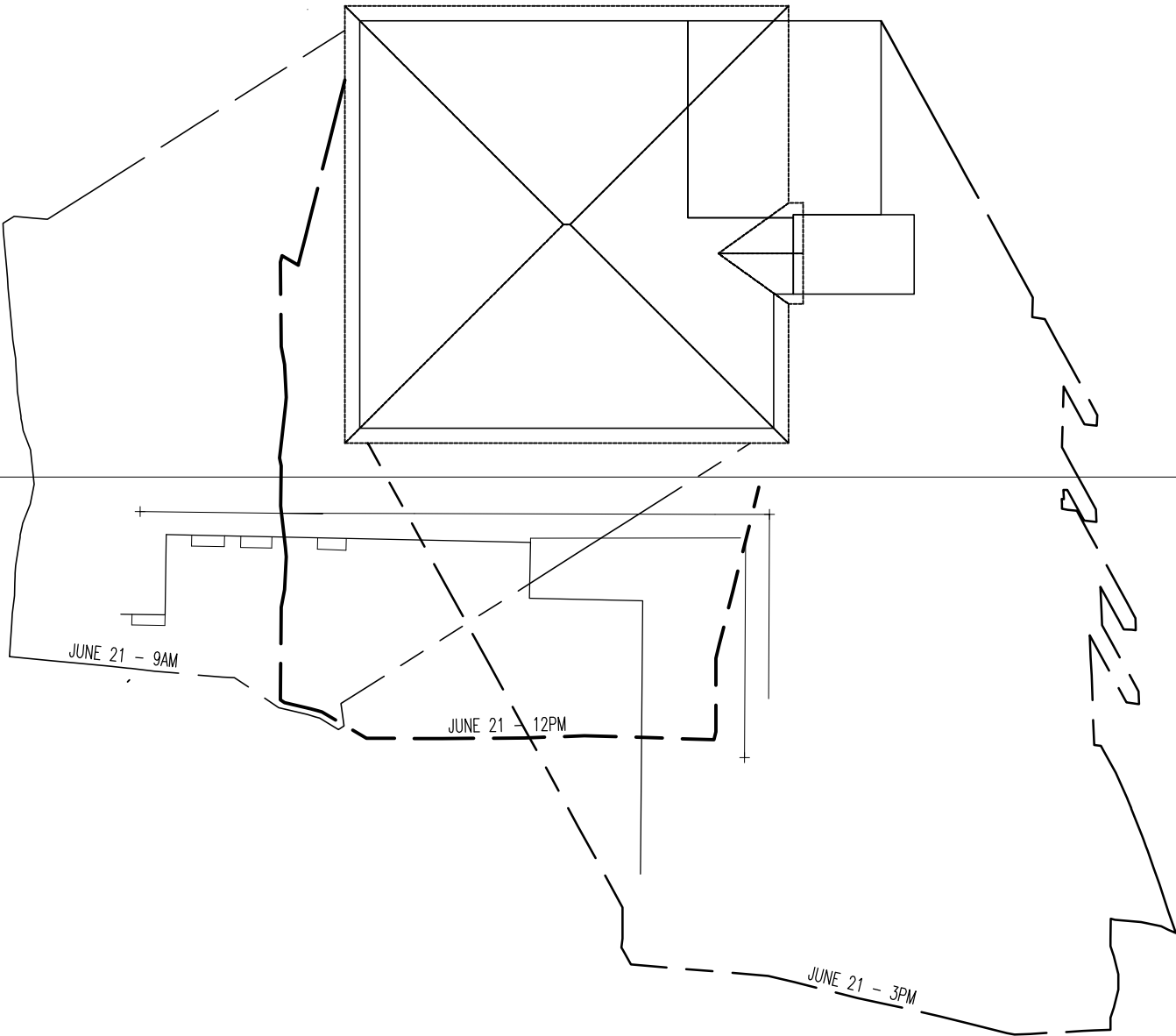
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ROAD

PITTWATER



SHADOW DIAGRAM  
SCALE 1:200

5.8  
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| SHEET<br>7 of 10   | DATE<br>17/02/2020 | DWG No.<br><b>7556-wd2</b> |

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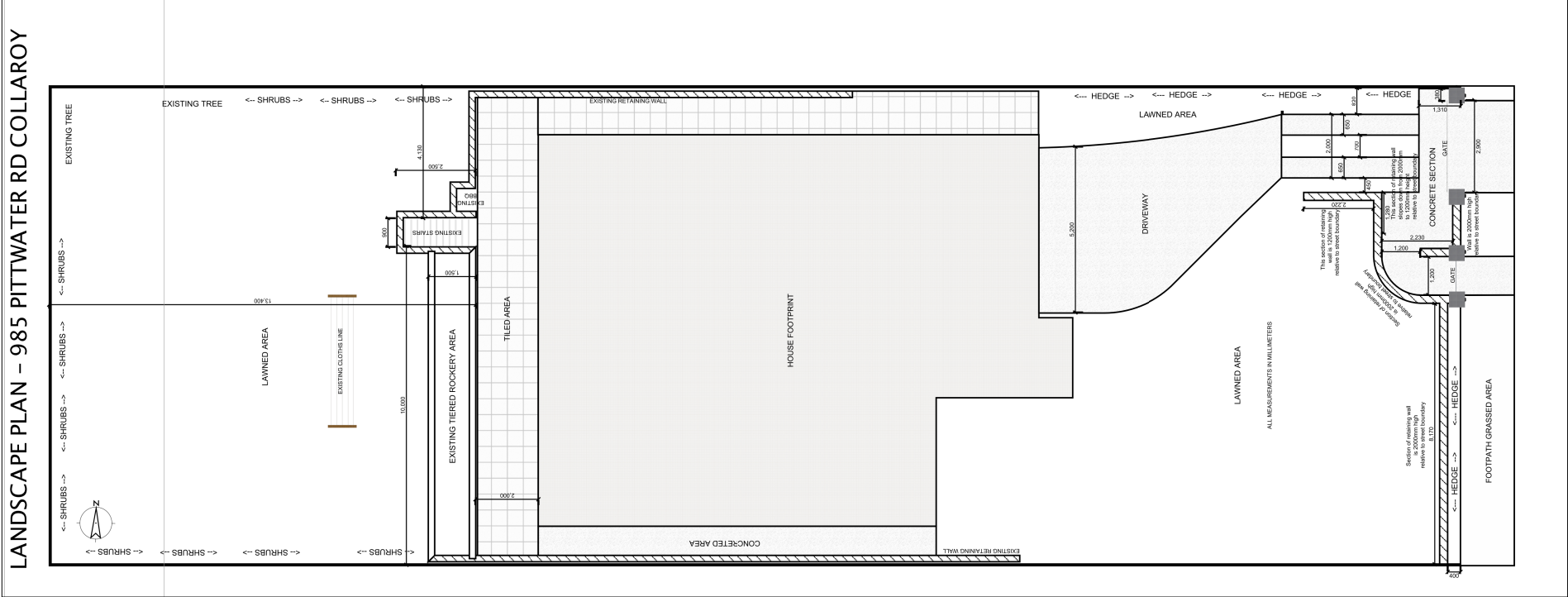
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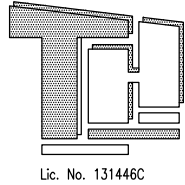




LANDSCAPING PLAN

|  |                    |                            |
|--|--------------------|----------------------------|
| CLIENT <b>S &amp; E Filletti</b>   |                    |                            |
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|          |   |          |
| 00/00/00 | # | REVISION |



# TULLIPAN HOMES

## Schedule of Exterior Finishes

**DATE:** 12/02/2020  
**CLIENT:** Mr Saviour Mario Filletti & Mrs Emily Filletti JOB#7556  
**SITE ADDRESS:** Lot 5, DP Lot 10519, 985 Pittwater Road, Collaroy NSW 2097

Dear Sir & Madam,

As part of the preparation of the plans etc to submit into council, we also need to provide a schedule of external finishes. A rough idea of colour selections is required for the front elevation of the home. Please see below blank fields for you to complete, and send back to our office as soon as possible.

These selections do not need to be exact (final colour selections will be signed off in the office at a later date at your selections meeting), if you have an idea of the colour/tone that you will be going for that is acceptable for us to submit to Council.

*Please indicate rough colour selections to submit to Council:*

|                       |  |
|-----------------------|--|
| Face Bricks:          | <u>Off-white (except for two front portico columns - grey)</u> |
| Painted Cladding:     | <u>Off-white</u>   |
| Roof Tiles/Colorbond: | <u>Red</u>   |
| Gutter:               | <u>Black</u>   |
| Fascia:               | <u>Black</u>   |
| Downpipes:            | <u>Light grey</u>  |
| Window Frames:        | <u>Light grey</u>  |
| Front Door:           | <u>Rose wood timber colour</u>                                 |
| Garage Door:          | <u>Off-white</u>   |
| External Railings:    | <u>Black</u>   |

If you have any queries please contact me, otherwise I look forward to receiving this as soon as possible.

Kind Regards,  
**Shona Paddison.**

Client name's :

Mr Saviour Mario Filletti & Mrs Emily Filletti :

Signed & Dated :  12th February 2020