



REV	DATE	NOTES
A	20-12-22	DA ISSUE
B	19-01-24	S34 ISSUE
C	21-02-24	S34 - AMENDED FACADE

NOT FOR CONSTRUCTION



northern
beaches
council

**PLANS APPROVED BY THE LAND AND
ENVIRONMENT COURT OF NSW**

PROCEEDINGS NO: 2023/00212498

DATED: 28 March 2024

PROJECT:
**NEW RESIDENTIAL
APARTMENT BUILDING**

ADDRESS:
**22-24 RAGLAN STREET
MANLY, NSW, 2095**

CLIENT:
PARA-ERE HOLDINGS



**CARLISLE
ARCHITECTS**

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WWW.CARLISLEARCHITECTS.COM
NOMINATED ARCHITECT: MATT CARLISLE
NSW ARB REG No 7739 ABN: 83 604 133 260
DESIGN & B/LG PRACTITIONER ACT REG: DEP 0002030



Member
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- USE LABELLED DIMENSIONS. DO NOT SCALE FROM DRAWINGS

DRAWING TITLE:
**SITE PLAN
SITE ANALYSIS**

SCALE:
1:200 @ A1

STAGE:
DEVELOPMENT APPLICATION

DRAWING NO:
DA-01

DATE:
5 NOVEMBER 2021

JOB No:
21-02

REV:
C

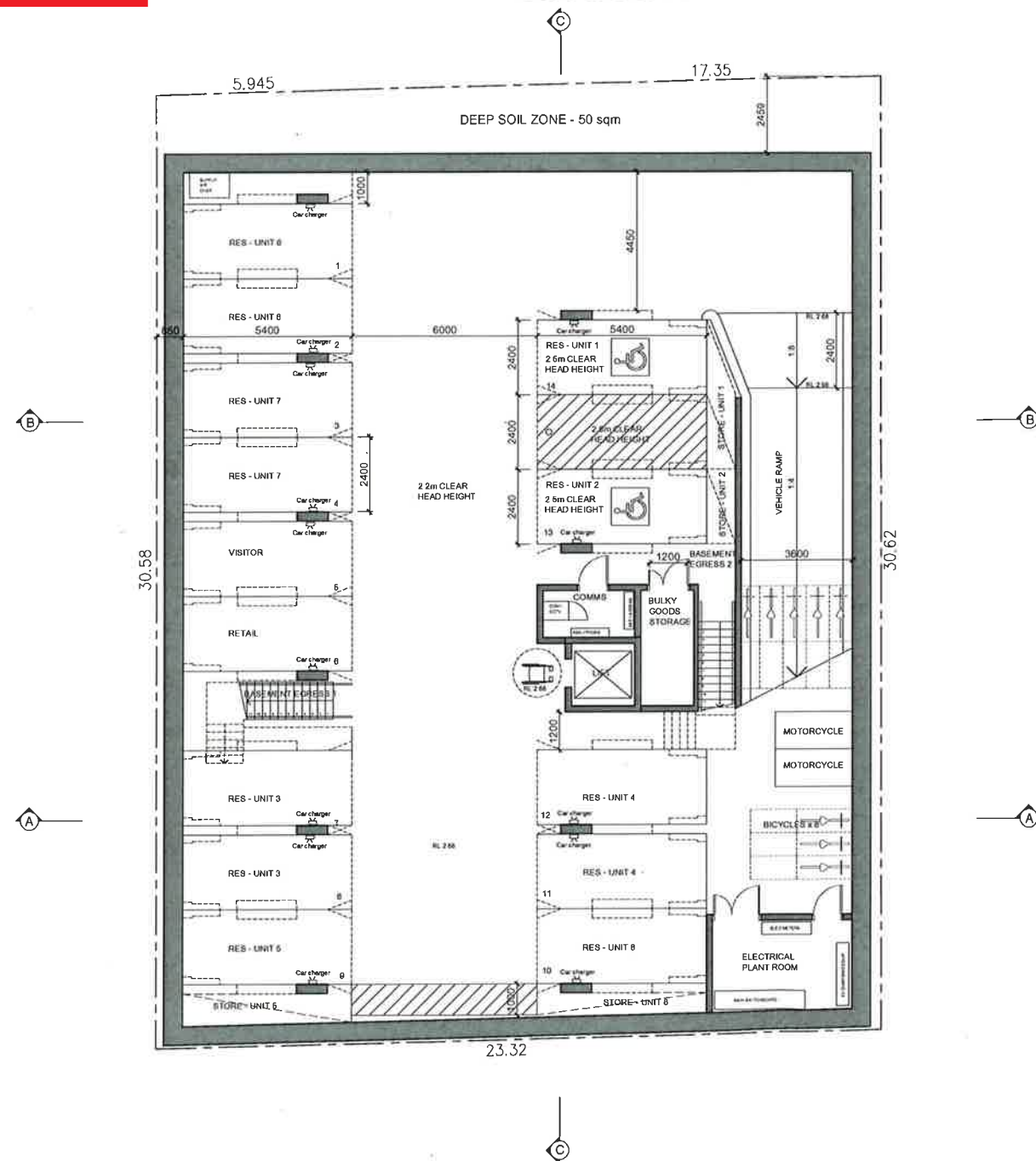




DATED: 28 March 2024

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NOT FOR CONSTRUCTION



SCALE: 1:100 @ A1	DATE: 5 NOVEMBER 2021	
STAGE: DEVELOPMENT APPLICATION	JOB No: 21-02	
DRAWING NO: DA-03		REV: C

DATED: 28 March 2024

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NSW ABP REG NO 7739 ABN 85 804 123 669
DESIGN & B/LG PRACTITIONER ACT REG DEED 0002030

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Architects

DRAWING TITLE:
FIRST FLOOR PLAN

SCALE: 1:100 @ A1	DATE: 5 NOVEMBER 2021	
STAGE DEVELOPMENT APPLICATION	JOB No. 21-02	
DRAWING NO. DA-04		REV. C



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SCALE: 1:100 @ A1	DATE: 5 NOVEMBER 2021	
STAGE: DEVELOPMENT APPLICATION	JOB No: 21-02	
DRAWING NO DA-05		REV: C

0 1 2 3 4

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CLIENT:
PARA-ERE HOLDINGS



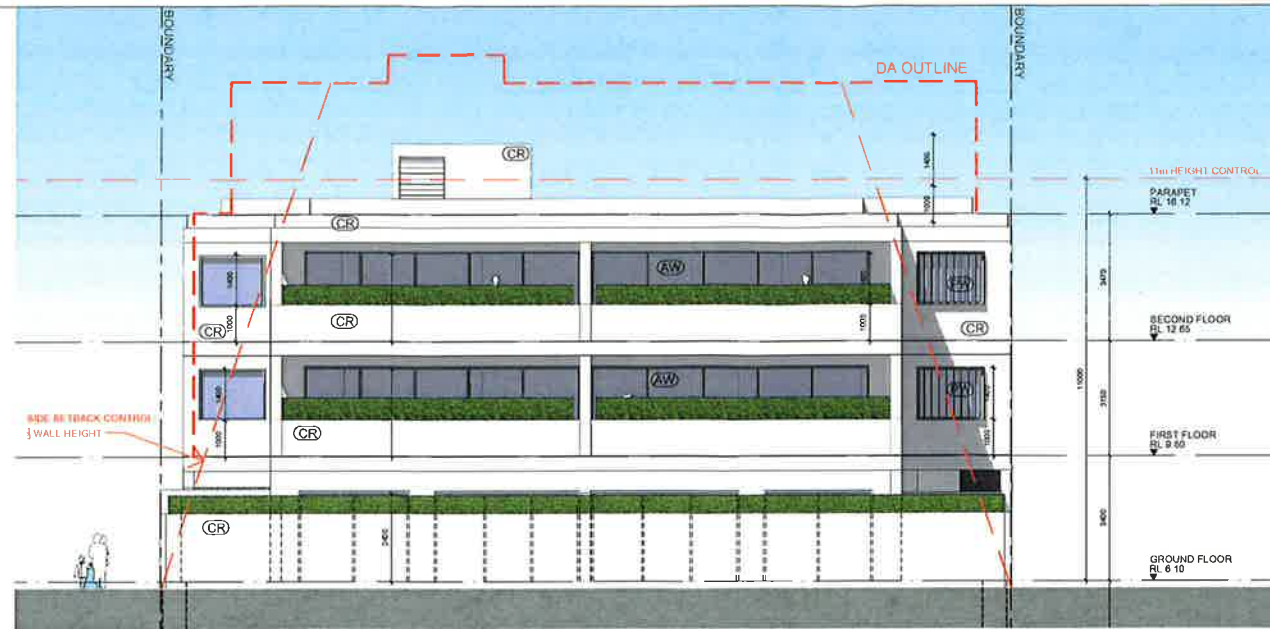
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C

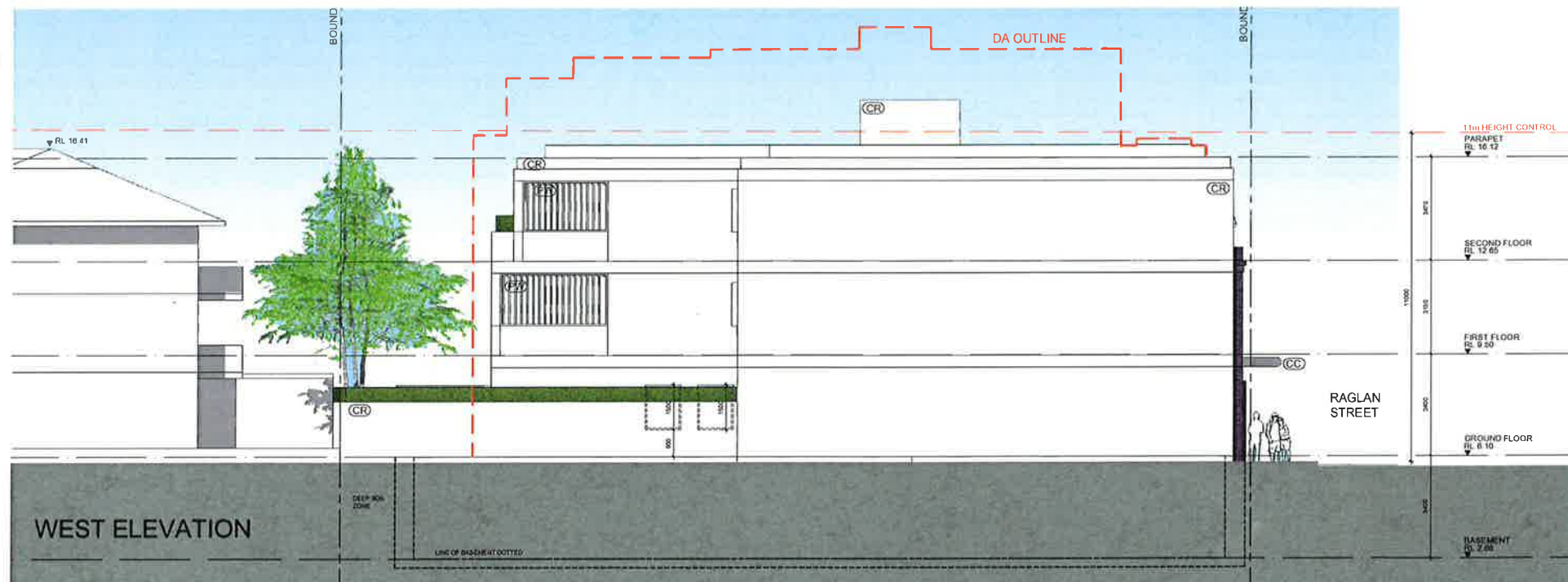




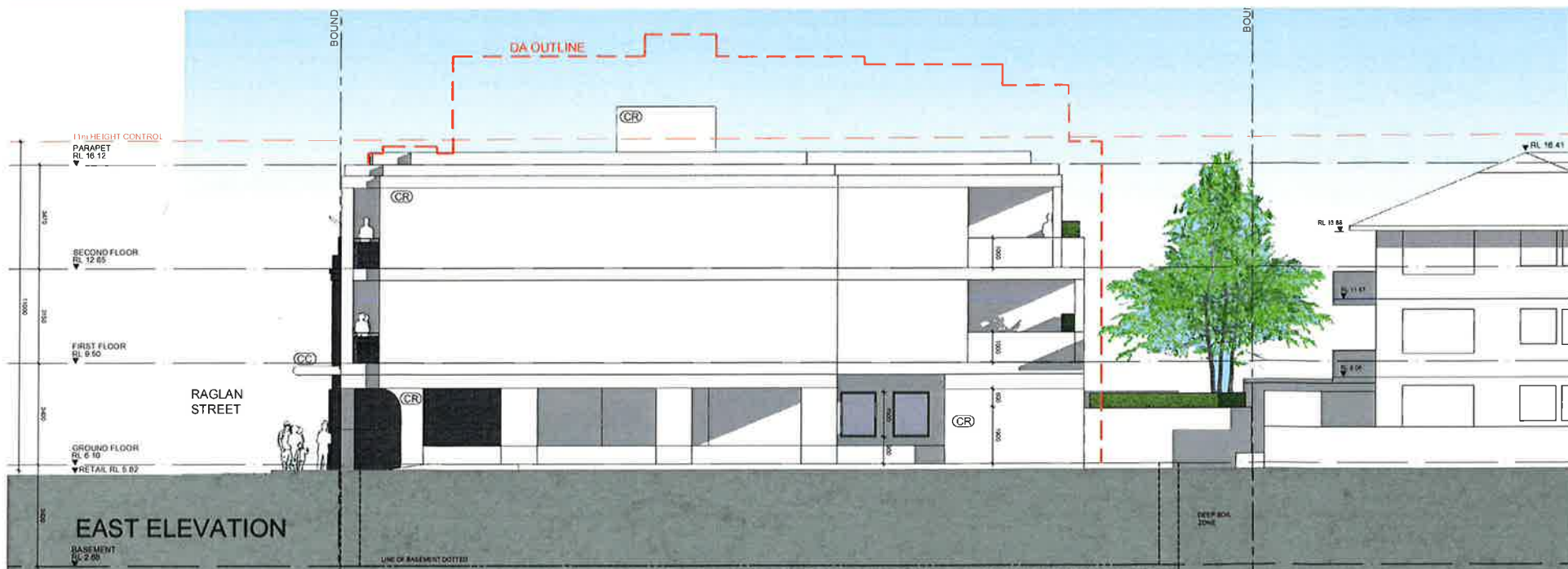
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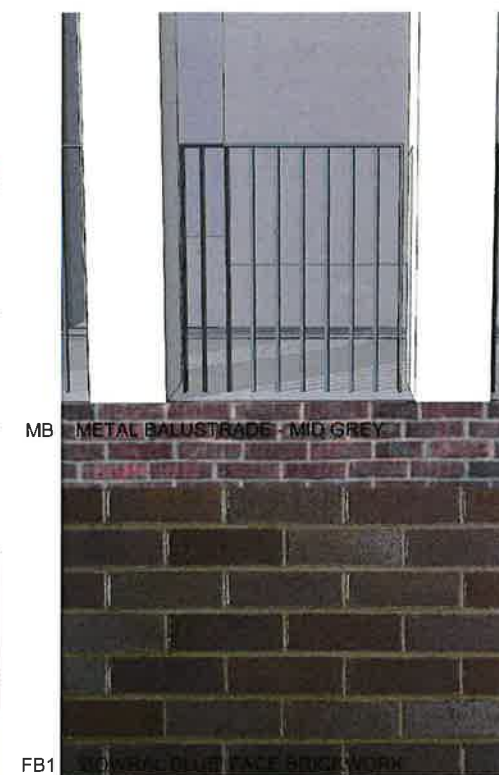
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



FB1 'BOWRAL BLUE' FACE BRICKWORK, WITH DARK GREY MORTAR JOINTS

CR OFF-WHITE PAINTED CEMENT RENDER

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A	20-12-22	DA ISSUE
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PROCEEDINGS NO: 2023/00212498

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MATERIALS AND COLOURS KEY

FB1	'BOWRAL BLUE' FACE BRICKWORK, WITH DARK GREY MORTAR JOINTS
CR	OFF-WHITE PAINTED CEMENT RENDER DULUX 'WHISPER WHITE' OR SIMILAR
MB	METAL BALUSTRADE - MID GREY
AW	ALUM FRAMED WINDOWS - MID GREY
CC	CONCRETE CANOPY - OFF-WHITE
PW	ALUM PRIVACY SCREEN - OFF-WHITE

WITHOUT PREJUDICE

0 1 2 3 4 5m

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 - USE LABELLED DIMENSIONS. DO NOT SCALE FROM DRAWINGS

DRAWING TITLE:
**ELEVATIONS &
MATERIALS BOARD**

SCALE:
1:100 @ A1
DATE:
5 NOVEMBER 2021
STAGE:
DEVELOPMENT APPLICATION
JOB No:
21-02
DRAWING NO:
DA-08
REV:
C

NOT FOR CONSTRUCTION



DRAWING NO:	DA-09	REV:	C
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NOT FOR CONSTRUCTION

(continued)



DATED: 28 March 2024



DRAWING NO:	DA-10	REV:	C
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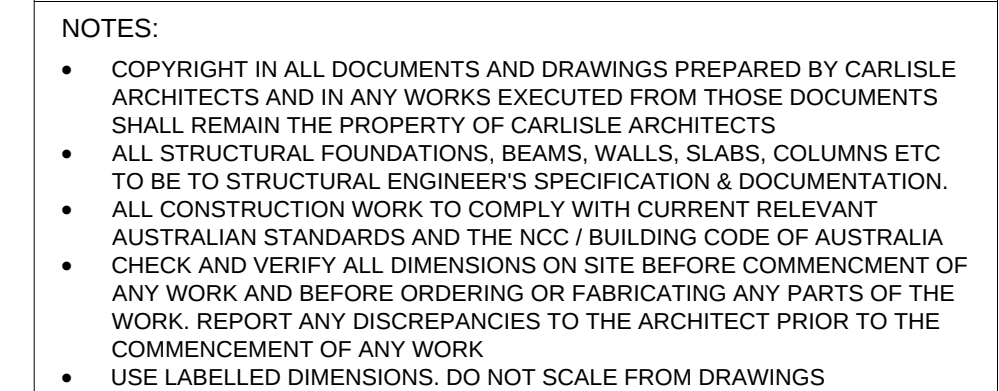


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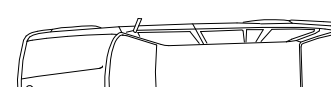
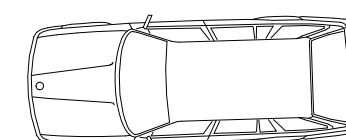
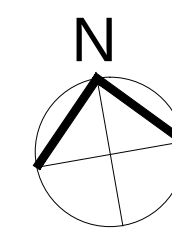
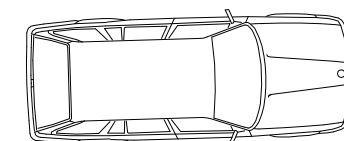
DRAWING TITLE:

DEMOLITION PLAN - GR
EXISTING GR LEVEL

SCALE: 1:100 @ A1	DATE: 5 NOVEMBER 2021	
STAGE: DEVELOPMENT APPLICATION	JOB No: 21-02	
DRAWING NO:		REV:

DA-20

EV: A

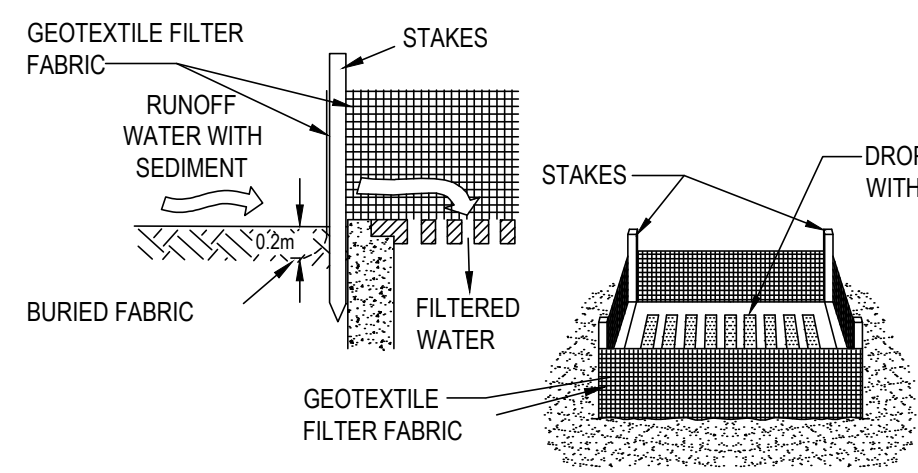
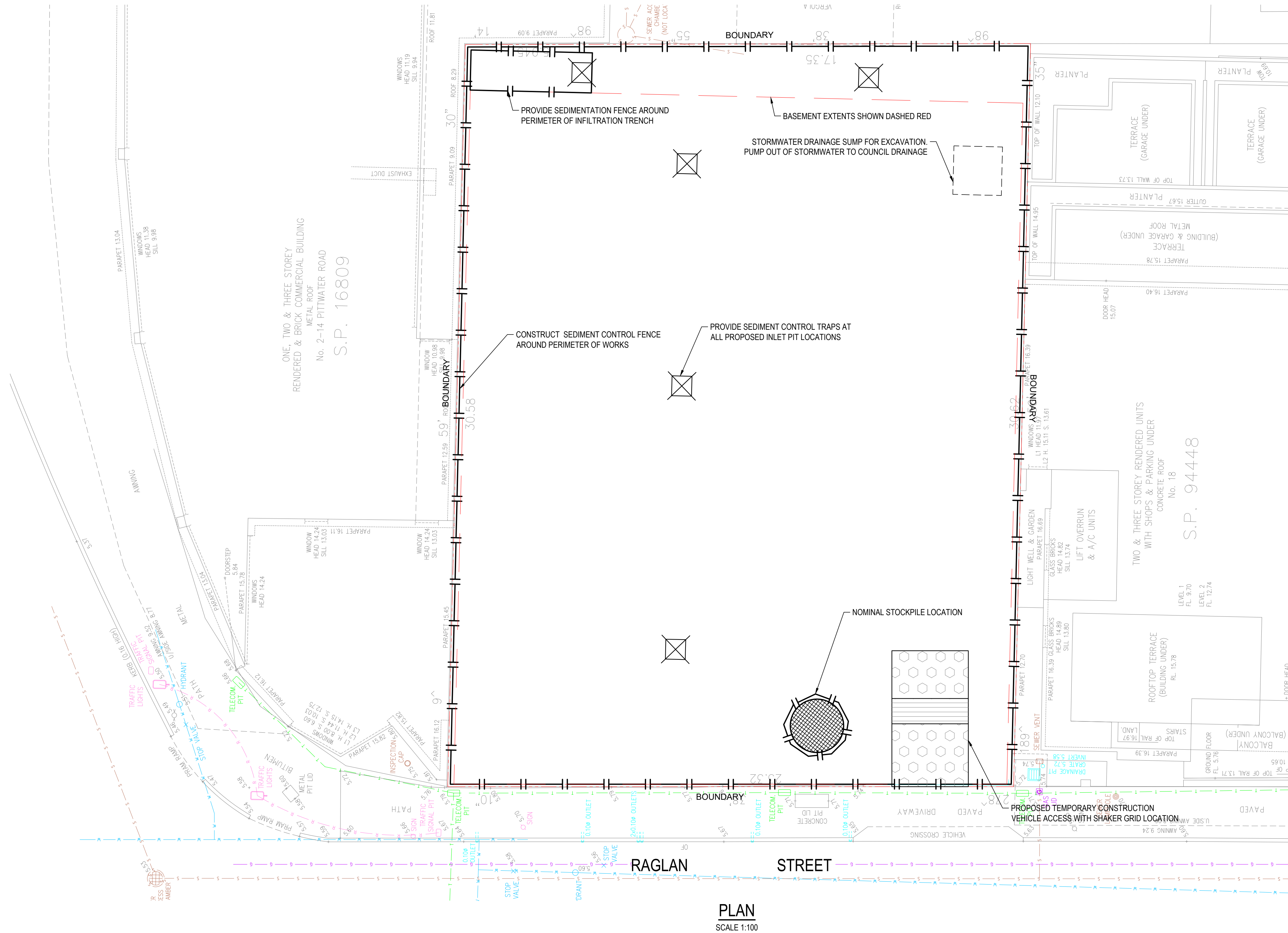


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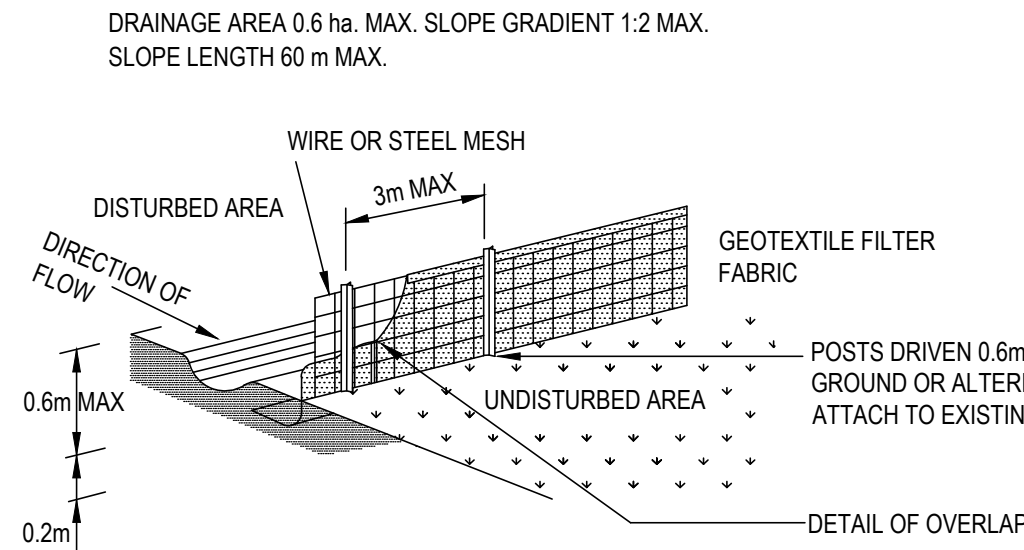


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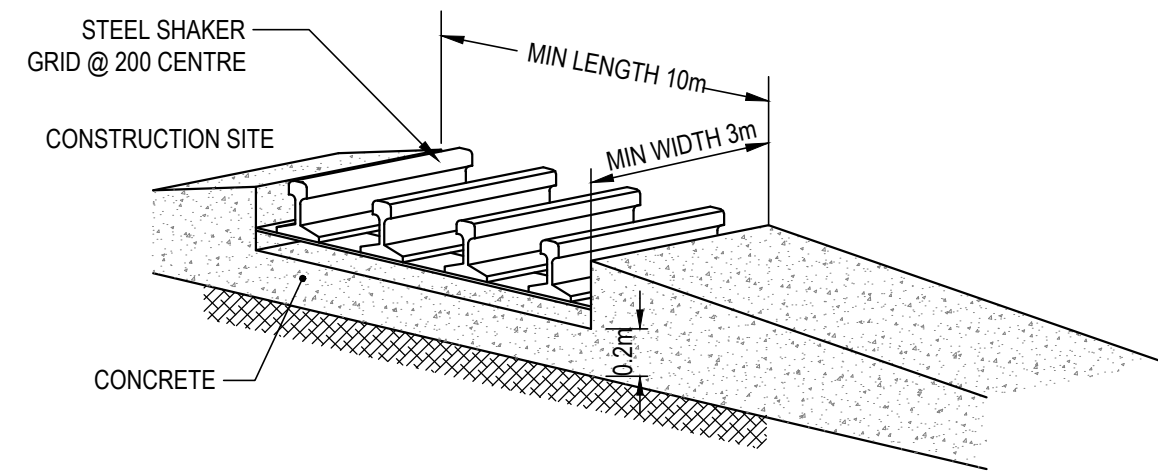
Plans Approved by the Land and Environment Court of NSW
Proceedings No: 2023/00212498
Dated: 28 March 2024



GEOTEXTILE FILTER FABRIC INLET
SEDIMENT TRAP
N.T.S.



SEDIMENT CONTROL FENCE
N.T.S.

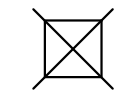
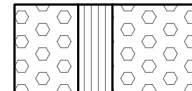
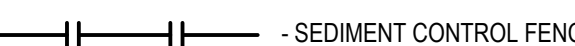
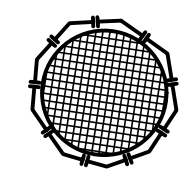


TEMPORARY CONSTRUCTION
VEHICLE EXIT
N.T.S.

EROSION AND SEDIMENT NOTES

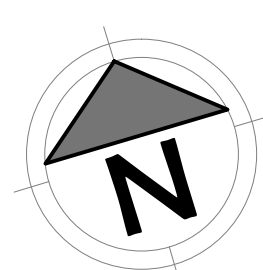
- B1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH EROSION AND SEDIMENT CONTROL DETAILS AS SHOWN
- B2. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF AND DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT COUNCIL'S APPROVAL. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS".
- B3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (I.E. ALL FOOTPATHS, BATTERS, SITE REGARDING AREAS, BASINS AND CATCHDRAINS). TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF.
- B4. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM DEVICES SUCH THAT NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED OR AS DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- B5. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO NOMINATED STABILISED ACCESS POINTS.
- B6. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULAR WETTING DOWN (BUT NOT SATURATING) DISTURBED AREA.
- B7. PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENTS ARE REVEGETATED OR PAVED.
- B8. REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
- B9. ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL :
A) DOWNPIPES CONNECTED
B) PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER
- B10. SILT FENCE MAINTENANCE INSPECTION TO BE CARRIED OUT EVERY 3 MONTHS AND AFTER EACH RAINFALL EVENT.
- B11. EROSION & SEDIMENT CONTROL SIGNAGE AVAILABLE FROM COUNCIL MUST BE ATTACHED TO THE MOST PROMINENT AVAILABLE STRUCTURE AND BE VISIBLE AT ALL TIMES WHEN ENTERING THE SITE FOR THE DURATION OF CONSTRUCTION.

LEGEND

-  - STORMWATER SEDIMENT TRAPS AT ALL PROPOSED PIT INLETS
-  - TEMPORARY CONSTRUCTION VEHICLE EXIT
-  - SEDIMENT CONTROL FENCE
-  - STOCKPILE AREA
-  - BOUNDARY
-  - BASEMENT EXTENTS

REVISIONS:			
No.	REVISION DESCRIPTION	DRAWN	DATE
A	ISSUED FOR APPROVAL	YK	15.12.22

SCALE BAR			
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4	5	10	m
SCALE 1:100			
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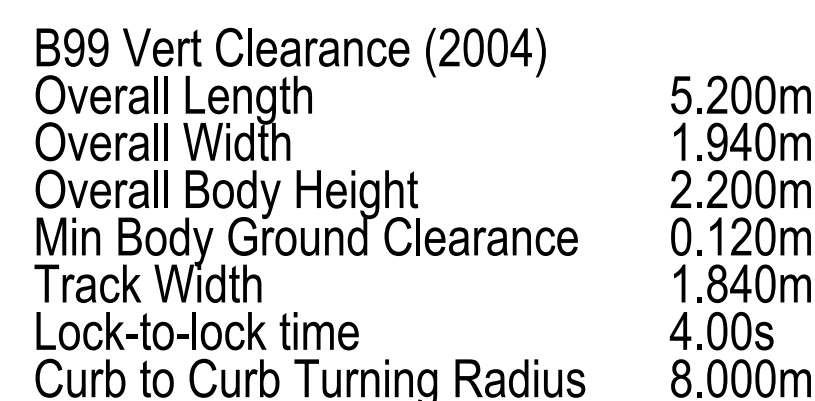


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www.vandermeer.com.au
van der Meer (NSW) Pty Ltd
A.B.N. 56 158 266 301

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PARA-ERE HOLDINGS
SUITE 2, L 8, 333 GEORGE STREET
SYDNEY, NSW 2000
ARCHITECT
CARLISLE ARCH PTY LTD
8/21 SYDNEY ROAD, MANLY, NSW 2095

PROJECT TITLE
22-24 RAGLAN STREET MANLY
22-24 RAGLAN STREET
MANLY, NSW 2095
DRAWING TITLE
EROSION AND SEDIMENT CONTROL

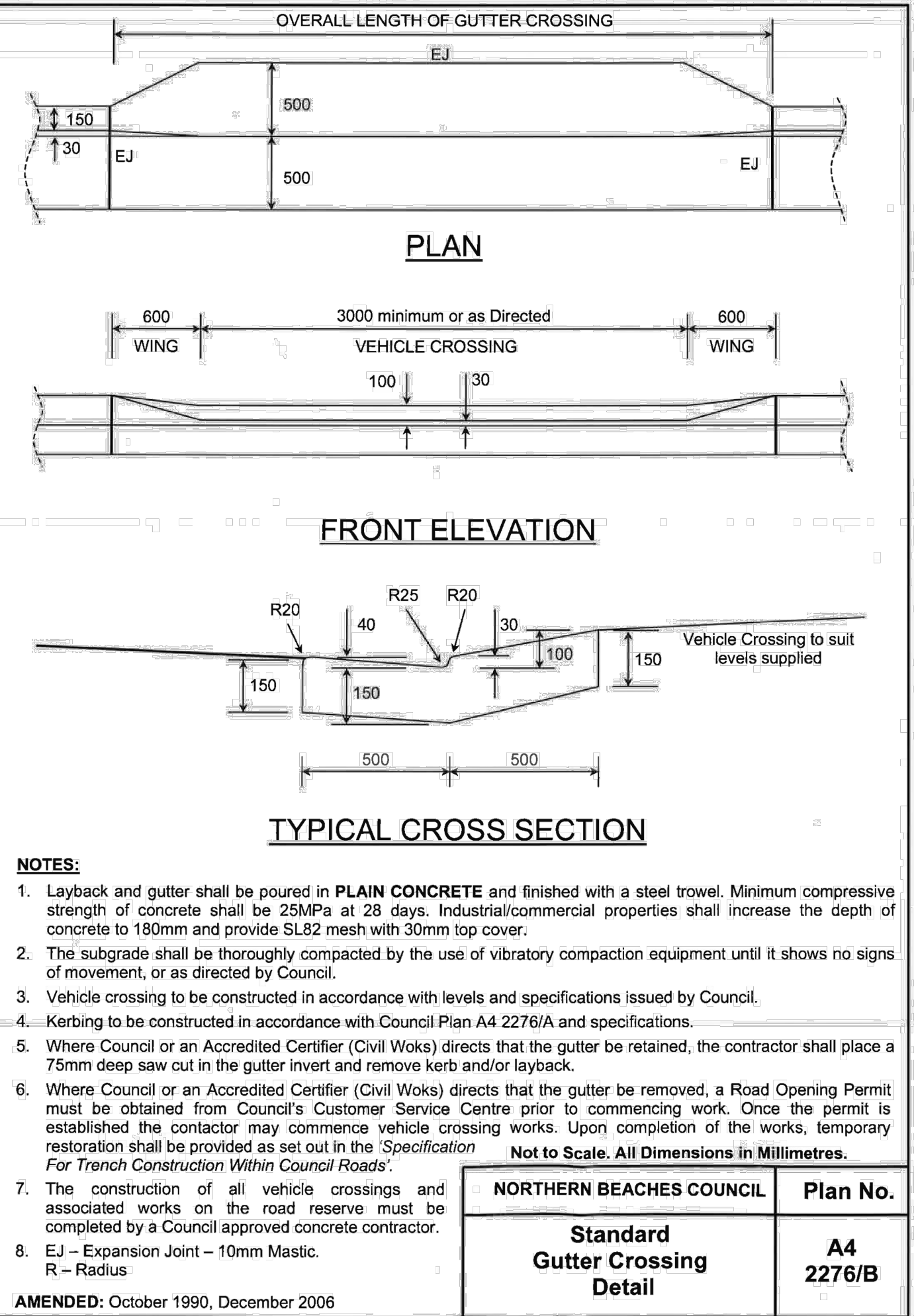
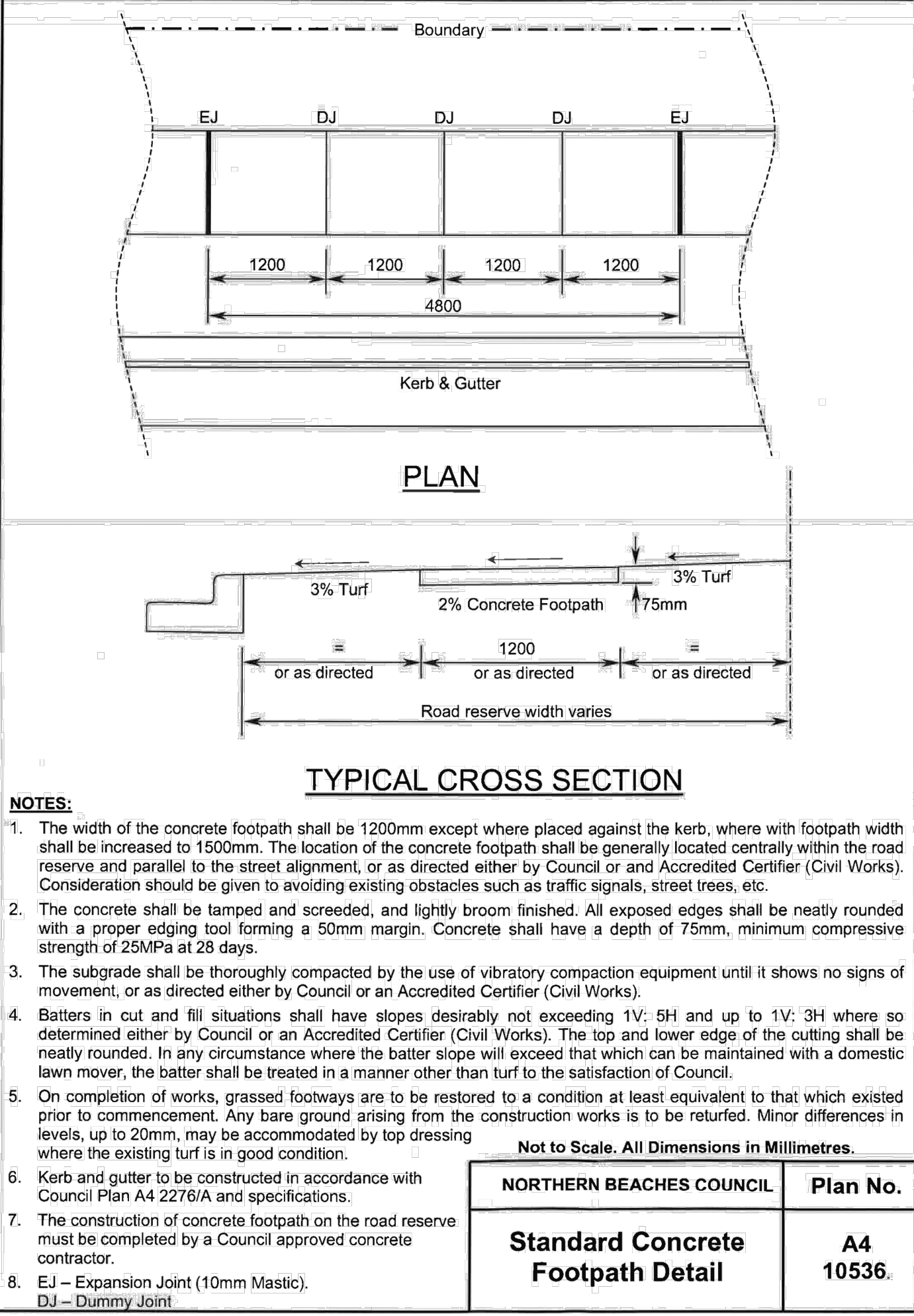
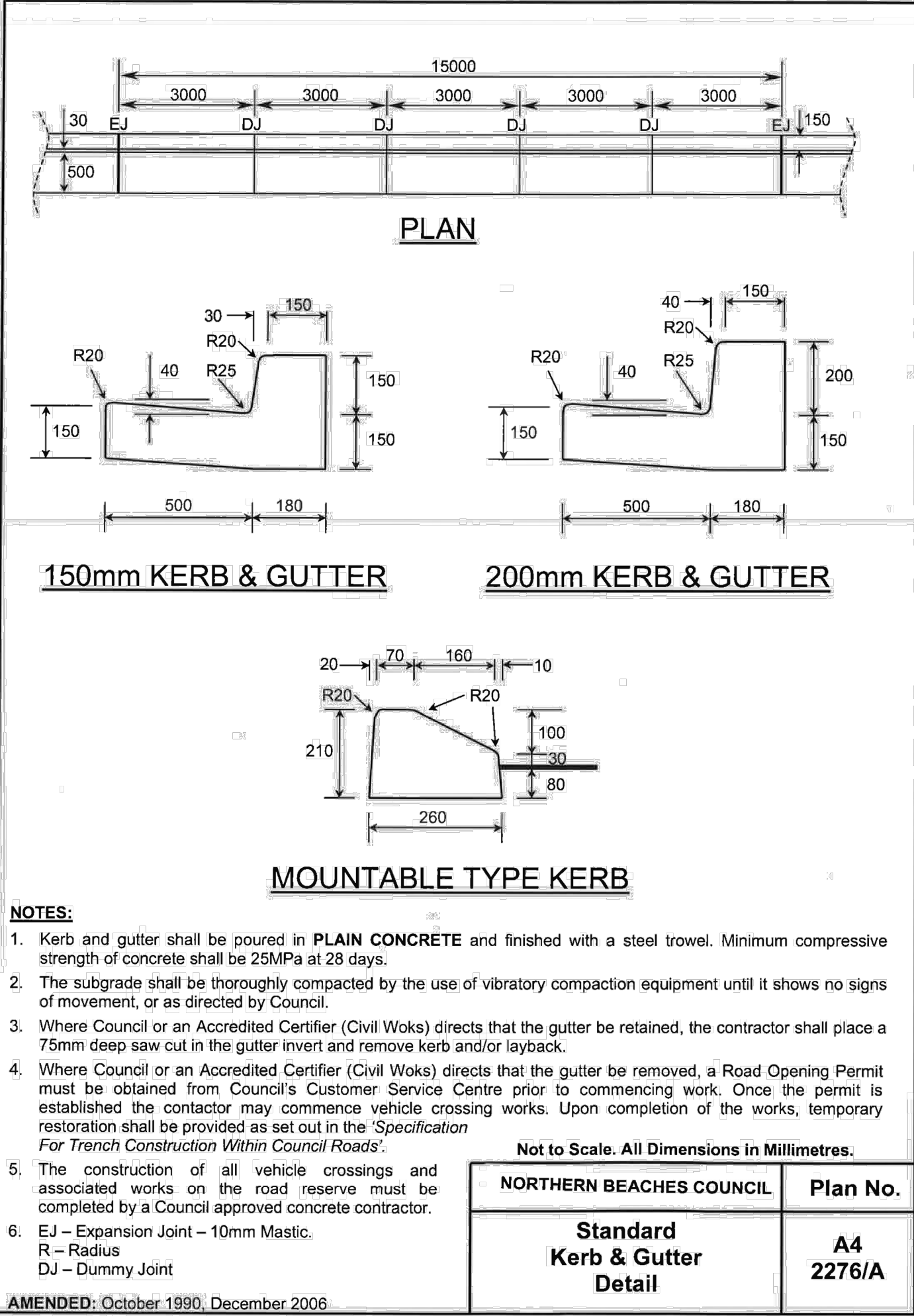
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APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION			
PROJECT LEADER PS	DESIGNER YK	SIGNATURE	
DRAFTSPERSON YK	SCALE AS SHOWN	DATE NOV 2022	SHEET SIZE A1
JOB No. SY222-012	DRAWING No. C210	REVISION A	



-  northern
beaches
council
- PLANS APPROVED BY THE LAND AND
ENVIRONMENT COURT OF NSW**
- PROCEEDINGS NO: 2023/00212498**
- DATED: 28 March 2024**



REVIEWS:				SCALE BAR 0 1 2 3 4 5m 10m SCALE 1:100				van der Meer Consulting van der meer LEVEL 6, 39 CHANDOS STREET ST LEONARDS NSW 2065 Telephone 61-2-9436 0433 Fax 61-2-9436 1370 www.vandermeer.com.au van der Meer (NSW) Pty Ltd A.B.N. 56 156 266 301				CLIENT PARA-ERE HOLDINGS SUITE 2, L 8, 333 GEORGE STREET SYDNEY, NSW 2000				PROJECT TITLE 22-24 RAGLAN STREET MANLY 22-24 RAGLAN STREET MANLY, NSW 2095				DRAWING STATUS APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION											
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A ISSUED FOR APPROVAL				YK 15.12.22								DRAFTSPERSON YK				SCALE AS SHOWN				DATE NOV 2022				SHEET SIZE A1							
				DRAWN DATE								JOB NO. SY222-012				DRAWING NO. C301				REVISION A											

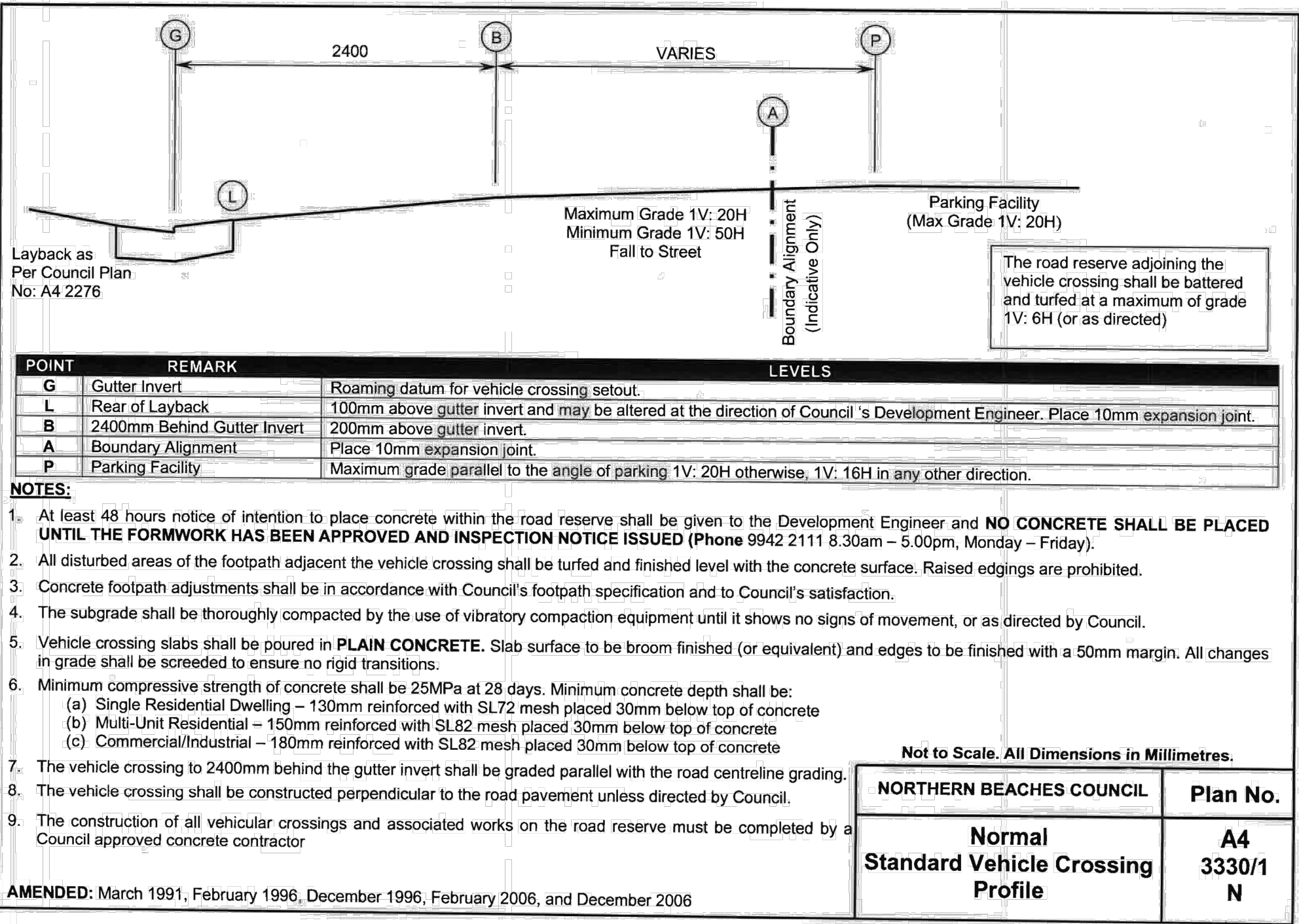
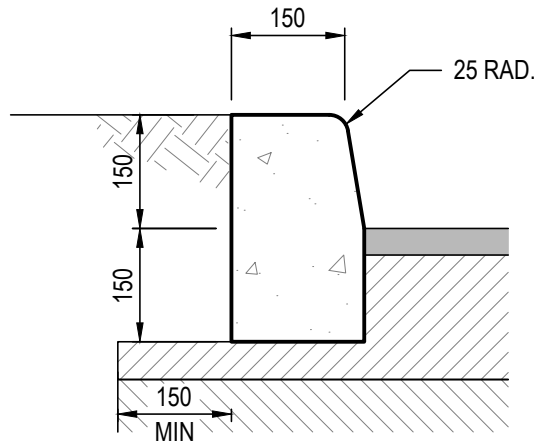


 northern beaches council

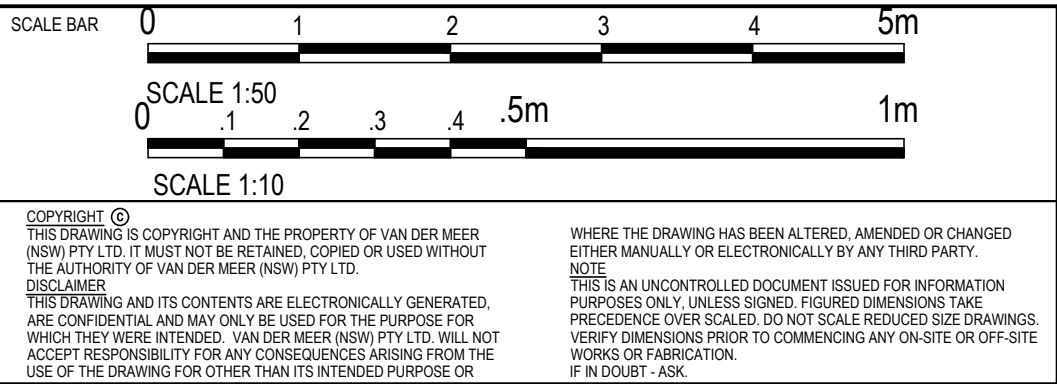
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PROCEEDINGS NO: 2023/00212498

DATED: 28 March 2024



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No.	REVISION DESCRIPTION	DRAWN	DATE
A	ISSUED FOR APPROVAL	YK	15.12.22



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PROJECT TITLE
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22-24 RAGLAN STREET
MANLY, NSW 2095

DRAWING TITLE
PAVEMENT DETAILS

DRAWING STATUS			
APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION			
PROJECT LEADER PS	DESIGNER YK	SIGNATURE	
DRAFTSPERSON YK	SCALE AS SHOWN	DATE NOV 2022	SHEET SIZE A1
JOB No. SY222-012	DRAWING No. C310	REVISION A	

NOTE:

ALL TRAFFICABLE STORMWATER PITS TO BE HEEL SAFE. ALL EXTERNAL INLET PITS TO BE FITTED WITH OCEANPROTECT 'OCEANGUARD' ENVIROPODS

EXISTING SERVICES TO BE LOCATED AND LEVELS CONFIRMED ONSITE TO ENSURE NO CLASHING PRIOR TO COMMENCEMENT OF WORKS.

STORMWATER CONNECTION LEVELS TO RAGLAN STREET ARE TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORKS. CONTACT ENGINEER IN CASE OF VARIATION

LEGEND

- BOUNDARY
- ROOF EXTENTS
- BASEMENT EXTENTS
- PROPOSED STORMWATER PIT
REFER TO DRAWING C405 FOR DETAILS
- PROPOSED STORMWATER PIPE
REFER TO DRAWING C405 FOR DETAILS
- OF PATH
SURCHARGE FLOW PATH
- DP
DOWNPIPE CONNECTION
REFER TO HYDRAULIC ENGINEER'S PLAN
- TRENCH GRATE
REFER TO DRAWING C405 FOR DETAILS
- RETAINING WALL
REFER TO STRUCTURAL ENGINEER FOR DETAILS
- SURVEY
- ARCHITECTURAL
- EXISTING STORMWATER
- EXISTING ELECTRICITY
- EXISTING OVERHANG ELECTRICITY
- EXISTING SEWER
- EXISTING WATER
- EXISTING GAS
- EXISTING TELECOMMUNICATION
- EXISTING RMS UTILITIES
- LANDSCAPING RAISED PLANTER
EXTENTS



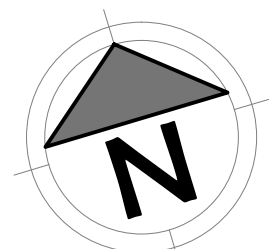
WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

REVISIONS:			
No.	REVISION DESCRIPTION	DRAWN	DATE
A	ISSUED FOR APPROVAL	YK	15.12.22

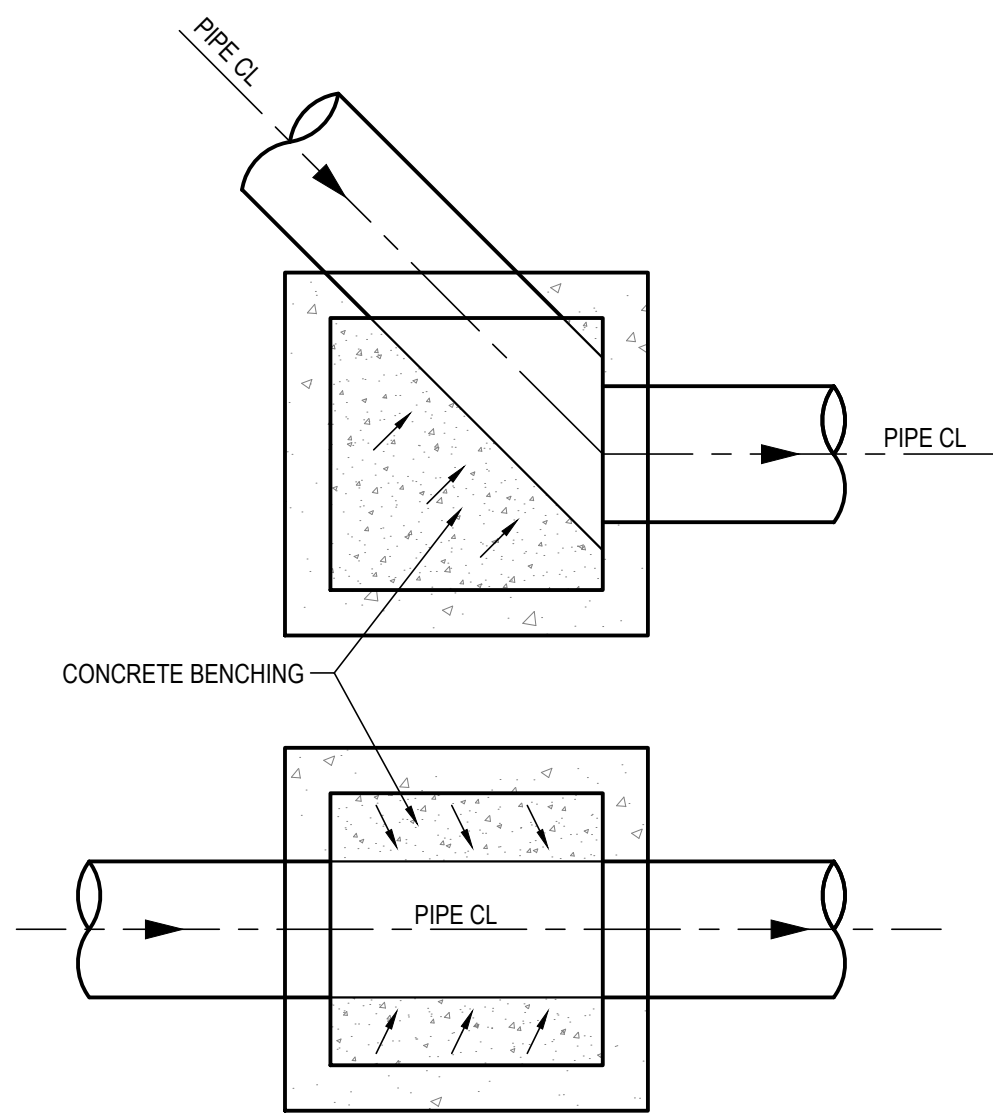
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4	5	10m	
SCALE 1:100			
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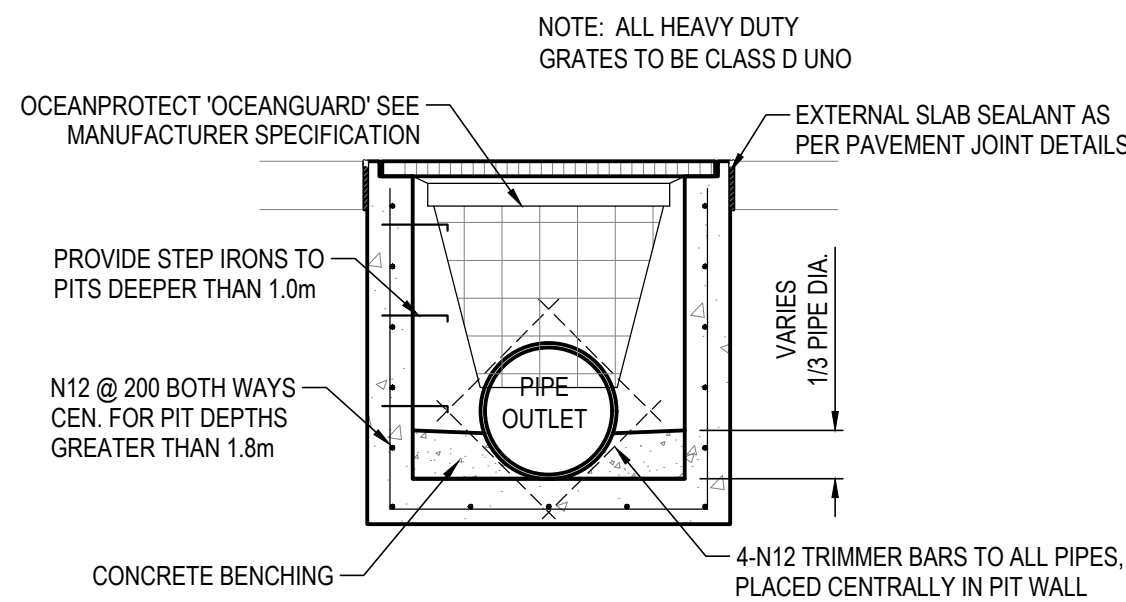
CLIENT	PARA-ERE HOLDINGS SUITE 2, L 8, 333 GEORGE STREET SYDNEY, NSW 2000
ARCHITECT	CARLISLE ARCH PTY LTD 8/21 SYDNEY ROAD, MANLY, NSW 2095

PROJECT TITLE	22-24 RAGLAN STREET MANLY
DRAWING TITLE	DRAINAGE LAYOUT GROUND LEVEL

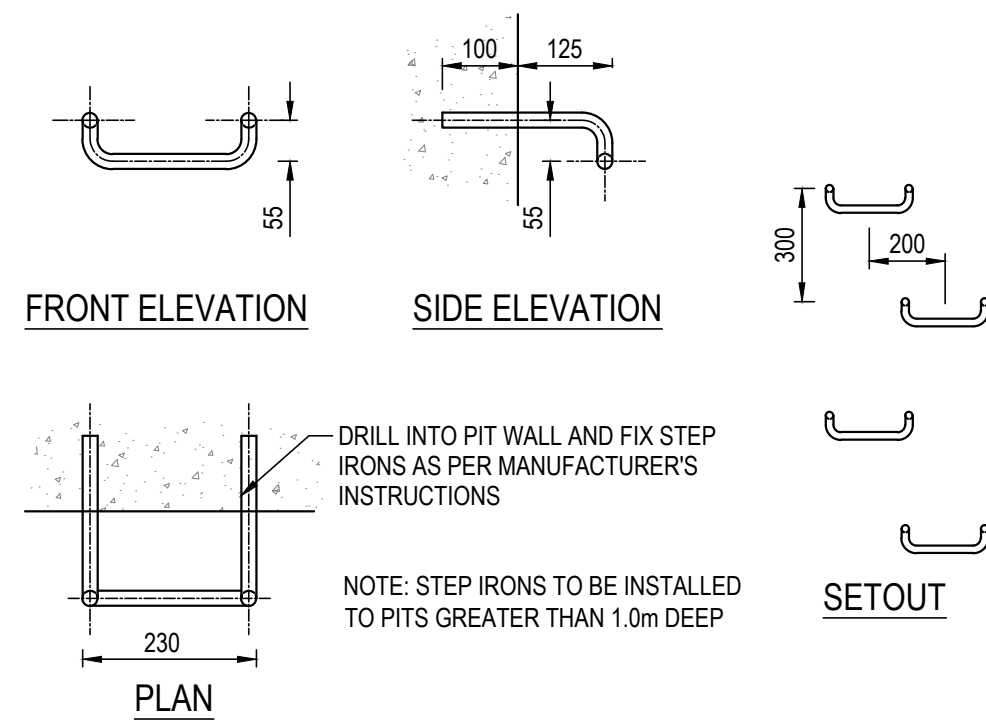
DRAWING STATUS			
APPROVAL ISSUE			
NOT TO BE USED FOR CONSTRUCTION			
PROJECT LEADER PS	DESIGNER YK	SIGNATURE	
DRAFTSPERSON YK	SCALE AS SHOWN	DATE NOV 2022	SHEET SIZE A1
JOB No. SY222-012	DRAWING No. C402	REVISION A	



TYPICAL CONCRETE BENCHING
SCALE 1:25



TYPICAL INLET PIT & JUNCTION PIT
SCALE 1:25



TYPICAL STEP IRON DETAIL
NTS

PUMP CAPACITY CALCULATION:

A_p = CATCHMENT AREA (IMPERVIOUS & PERVIOUS) (m^2)
 T = STORM DURATION (hr)
 I = RAINFALL INTENSITY (mm/hr)
 C_p = COEFFICIENT OF RUNOFF (IMPERVIOUS & PERVIOUS)

$Q_{100YR/2hr}$ INFLOW AT 100YR ARI, 2hr DURATION:

$Q_{100YR/2hr} = (C_p \times I \times A_p) \times 100YR/2hr$
 $= (0.9 \times 101 \times 0.43 \times 76) \times (47.5/1000)$
 $= 5.87 m^3/hr$

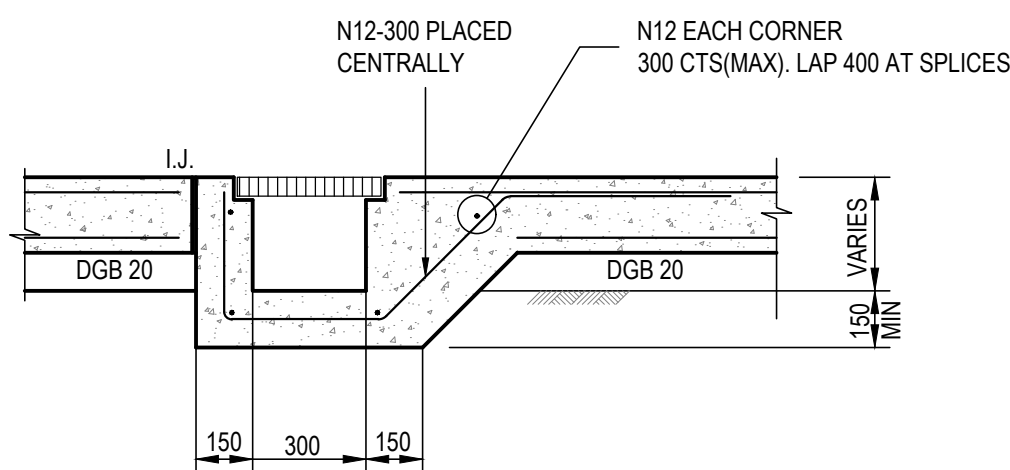
V, REQUIRED STORAGE

$V = Q \times T$
 $= 5.87 m^3/hr \times 2$
 $= 11.74 m^3$

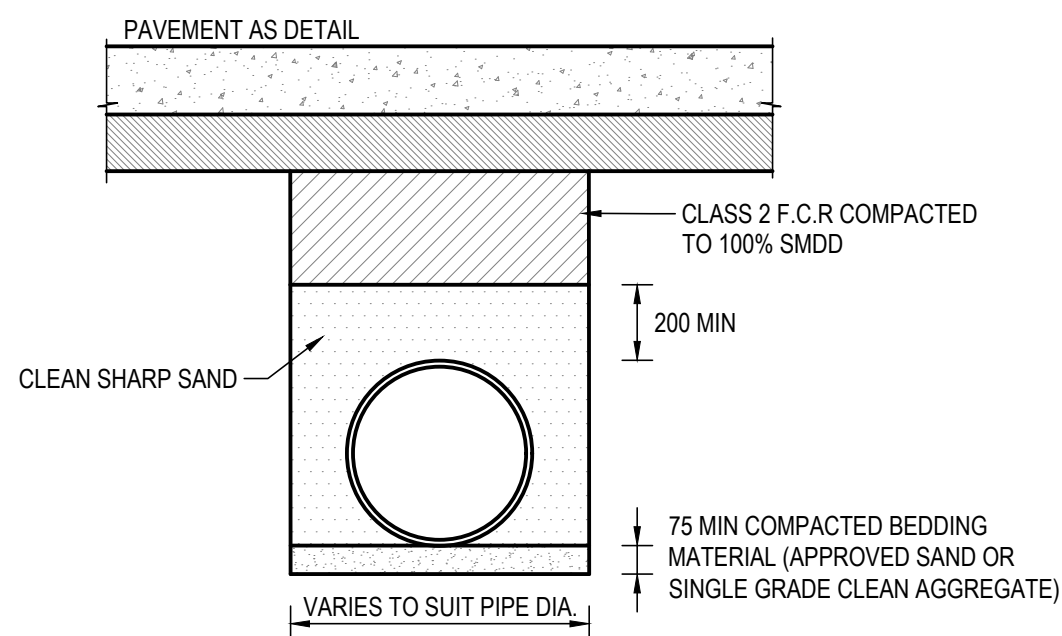
PUMP CAPACITY = MIN 10L/s
VOLUME PUMPED IN 30 MINUTES = 18m³

$V = 11.74 m^3 - 18 m^3 < 3 m^3$
(MIN 3m³ AS PER AS3500.3)

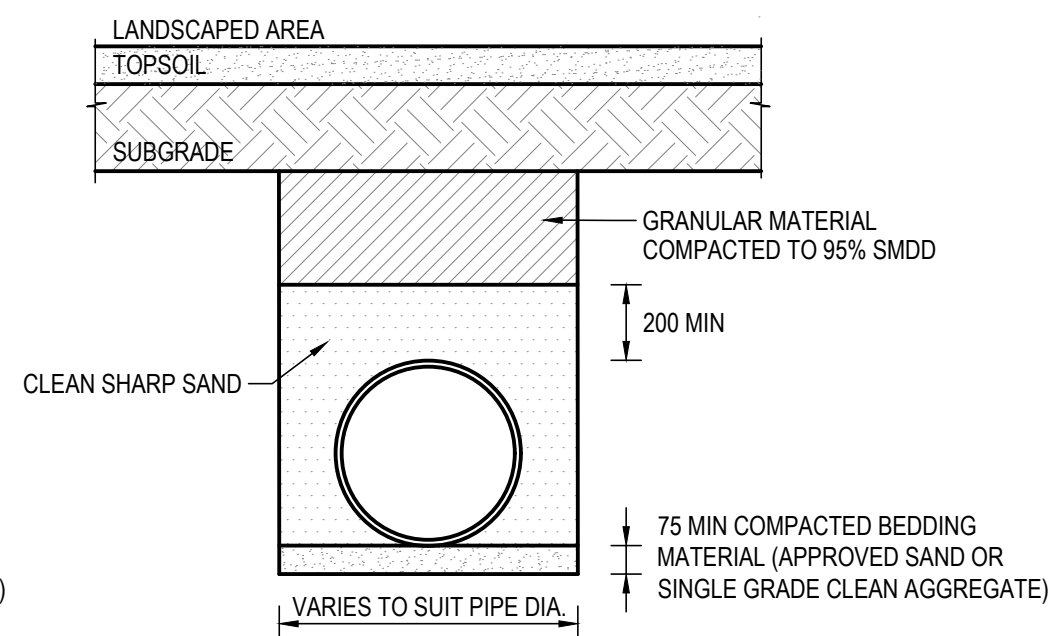
3.00m³ MINIMUM WET WELL STORAGE PROVIDED



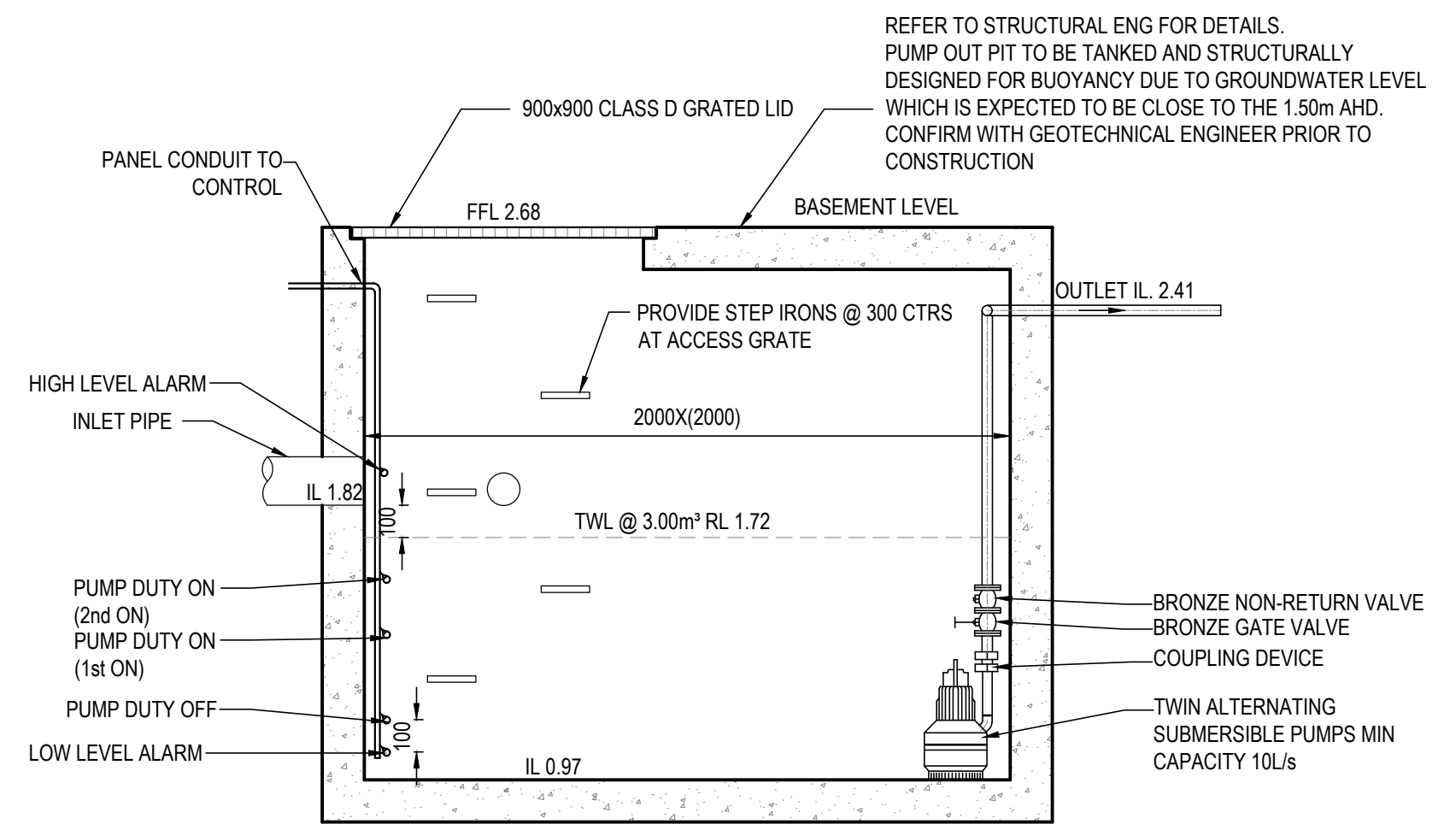
TYPICAL GRATED DRAIN DETAIL
SCALE 1:20



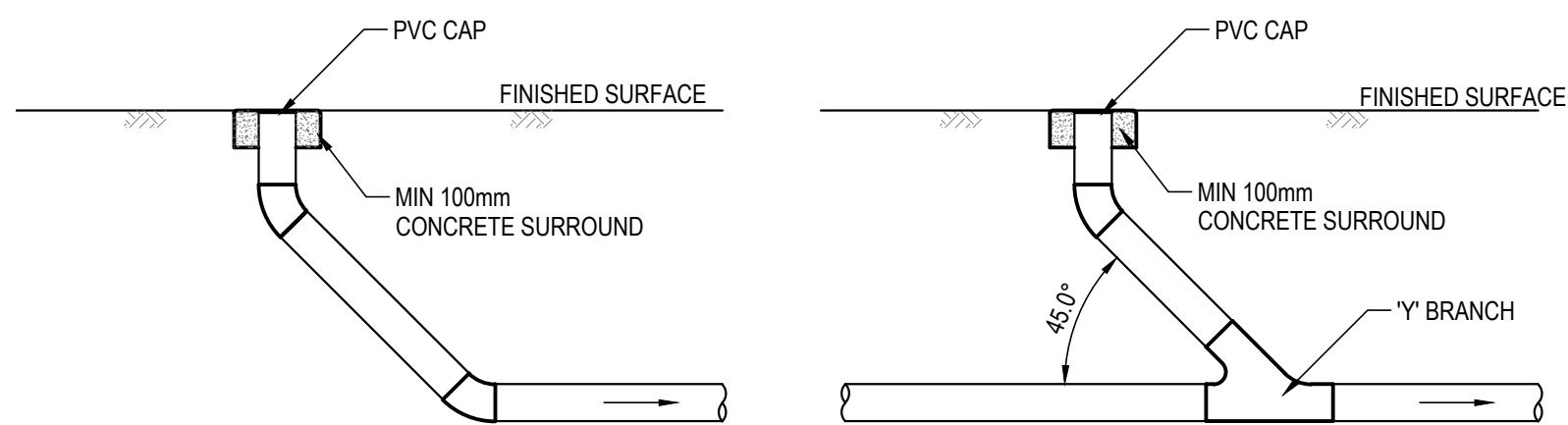
UNDER PAVEMENT PIPE BEDDING
NTS



UNDER LANDSCAPING PIPE BEDDING
NTS

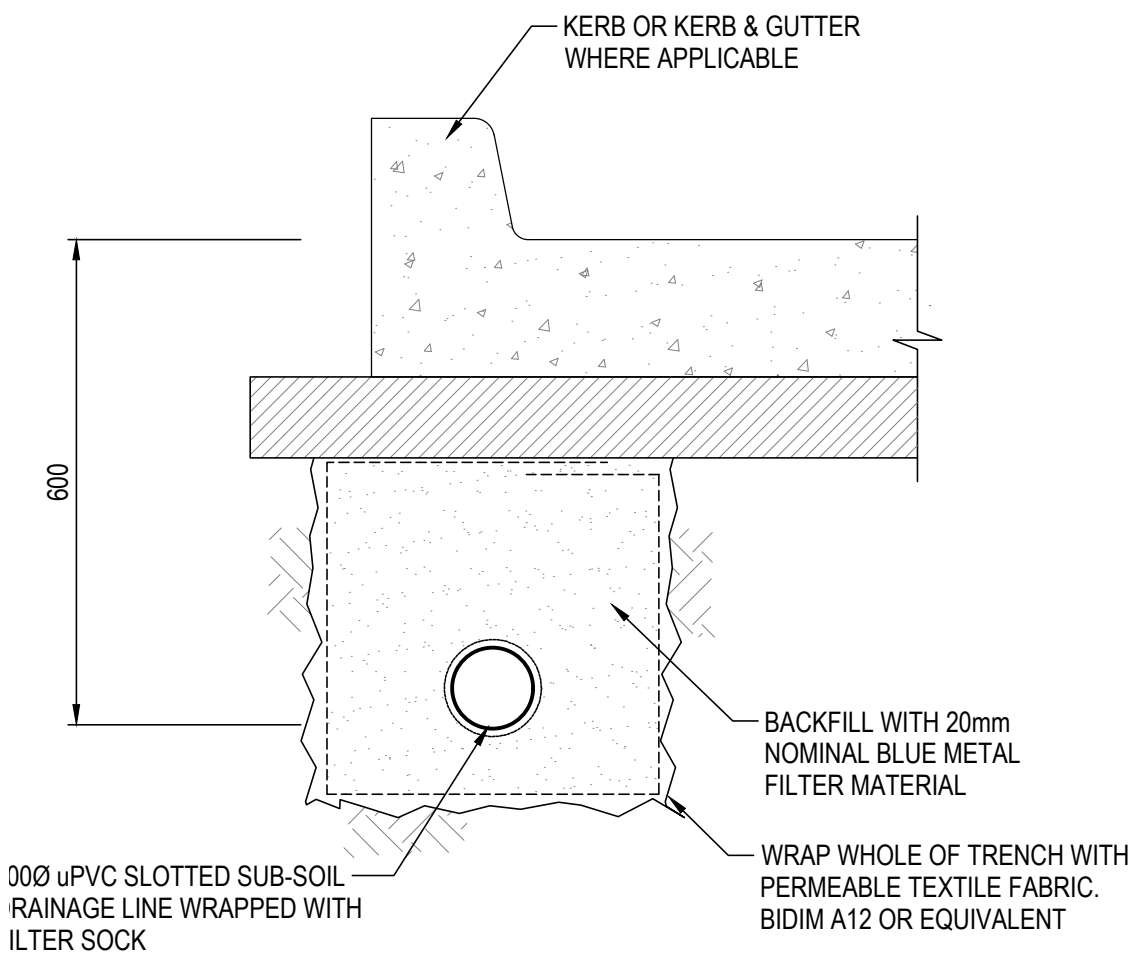


PIT B04 DETAIL
SCALE 1:20

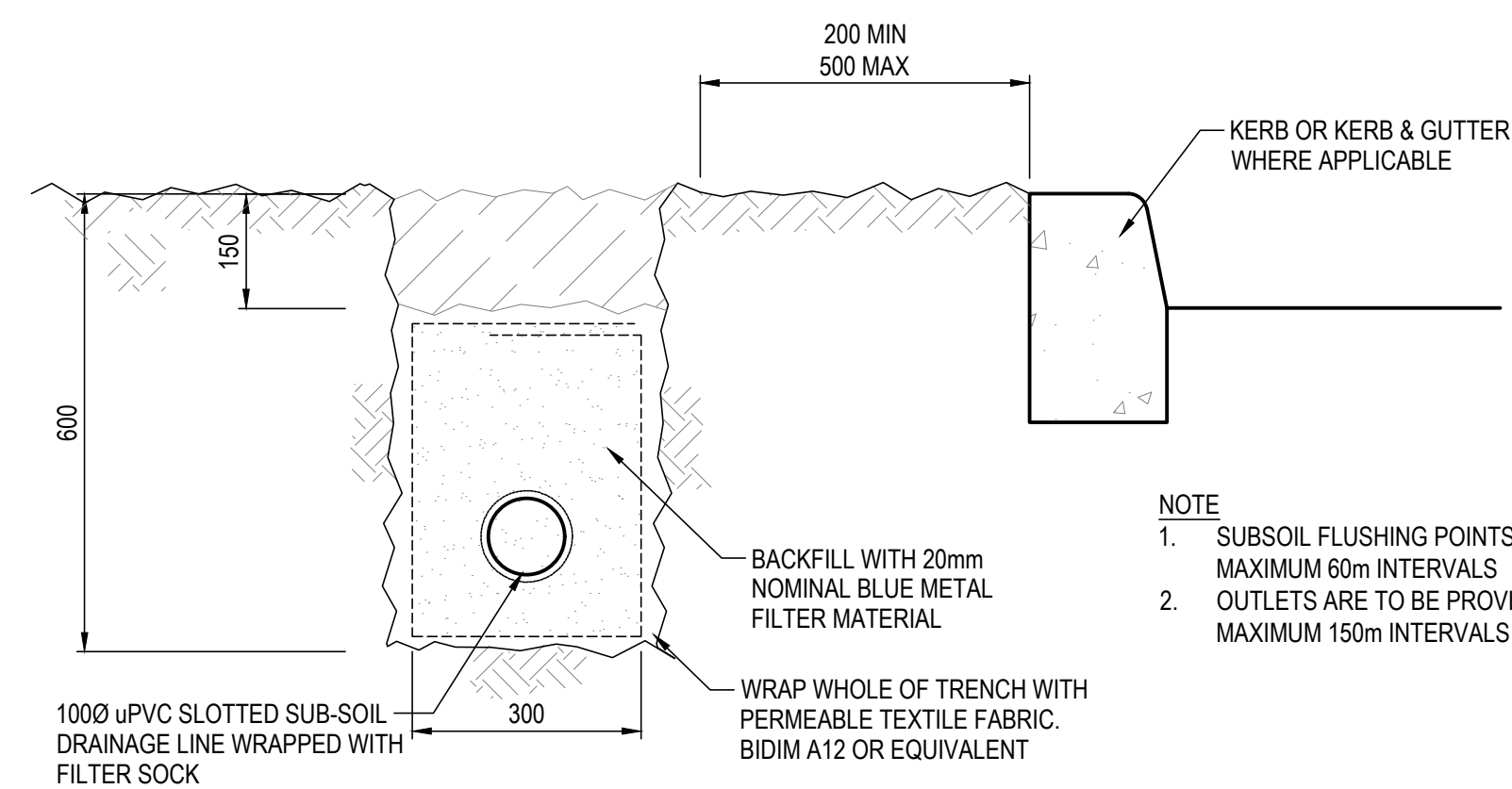


FLUSH POINT DETAIL
SCALE 1:20

FLUSH POINT DETAIL (INLINE)
SCALE 1:20



SUB-SOIL DRAIN DETAIL
SCALE 1:10



SUB-SOIL DRAIN DETAIL
SCALE 1:10

REVISIONS:				SCALE BAR		0 1 2 3 4 5 1m 1.5 2m		0 1 2 3 4 5 1m 1.5 2m		SCALE 1:20		SCALE 1:25		COPYRIGHT © THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF VAN DER MEER (NSW) PTY LTD. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF VAN DER MEER (NSW) PTY LTD. DISCLAIMER: THIS DRAWING AND ITS CONTENTS ARE ELECTRONICALLY GENERATED. ARE CONFIDENTIAL AND MAY ONLY BE USED FOR THE PURPOSE FOR WHICH THEY WERE INTENDED. VAN DER MEER (NSW) PTY LTD. WILL NOT ACCEPT RESPONSIBILITY FOR ANY CONSEQUENCES ARISING FROM THE USE OF THE DRAWING FOR OTHER THAN ITS INTENDED PURPOSE OR WHERE THE DRAWING HAS BEEN ALTERED, AMENDED OR CHANGED EITHER MANUALLY OR ELECTRONICALLY BY ANY THIRD PARTY. THIS IS AN UNCONTROLLED DOCUMENT ISSUED FOR INFORMATION PURPOSES ONLY. UNLESS SIGNED, FIGURED DIMENSIONING TIME PRECEDENCE OVER SCALED. DO NOT SCALE REDUCED SIZE DRAWINGS. VERIFY DIMENSIONS PRIOR TO COMMENCING ANY ON-SITE OR OFF-SITE WORKS OR FABRICATION. IF IN DOUBT - ASK.		van der Meer Consulting		www.vandermeer.com.au		LEVEL 6, 39 CHANDOS STREET		ST LEONARDS NSW 2065		van der Meer (NSW) Pty Ltd		Telephone 61-2-9436 0433 Fax 61-2-9436 1370		A.B.N. 56 158 266 301		CLIENT		PARA-ERE HOLDINGS		SUITE 2, L 8, 333 GEORGE STREET		SYDNEY, NSW 2000		PROJECT TITLE		22-24 RAGLAN STREET MANLY		22-24 RAGLAN STREET		MANLY, NSW 2095		DRAWING TITLE		DRAINAGE DETAILS		DRAWING STATUS		APPROVAL ISSUE		NOT TO BE USED FOR CONSTRUCTION		PROJECT LEADER		PS		DESIGNER		YK		SIGNATURE		DRAFTSPERSON		YK		SCALE		AS SHOWN		DATE		NOV 2022		SHEET SIZE		A1		JOB No.		SY222-012		DRAWING No.		C405		REVISION		A	
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