



1
DP 862790

extension to existing
laundry and bathroom

4190 2 DI 3100 '90 4055

2
3100'90 | 4055

4055

OCEAN STREET

LOT A
DP 3198818

proposed alterations and
additions to
existing residence

B
DP 319818

EMERALD STREET

B	13/7/21	Development Application Amended
A	7/6/21	Development Application

PROJECT 193 Ocean St Narrabeen

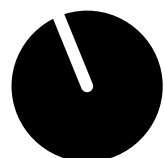
CLIENT **Ms Rose Farina**

DWG Site Plan

PROJECT #	21002
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DWG #

DA02	B
REVISION	B



■ Proposed CDC works shown shaded thus

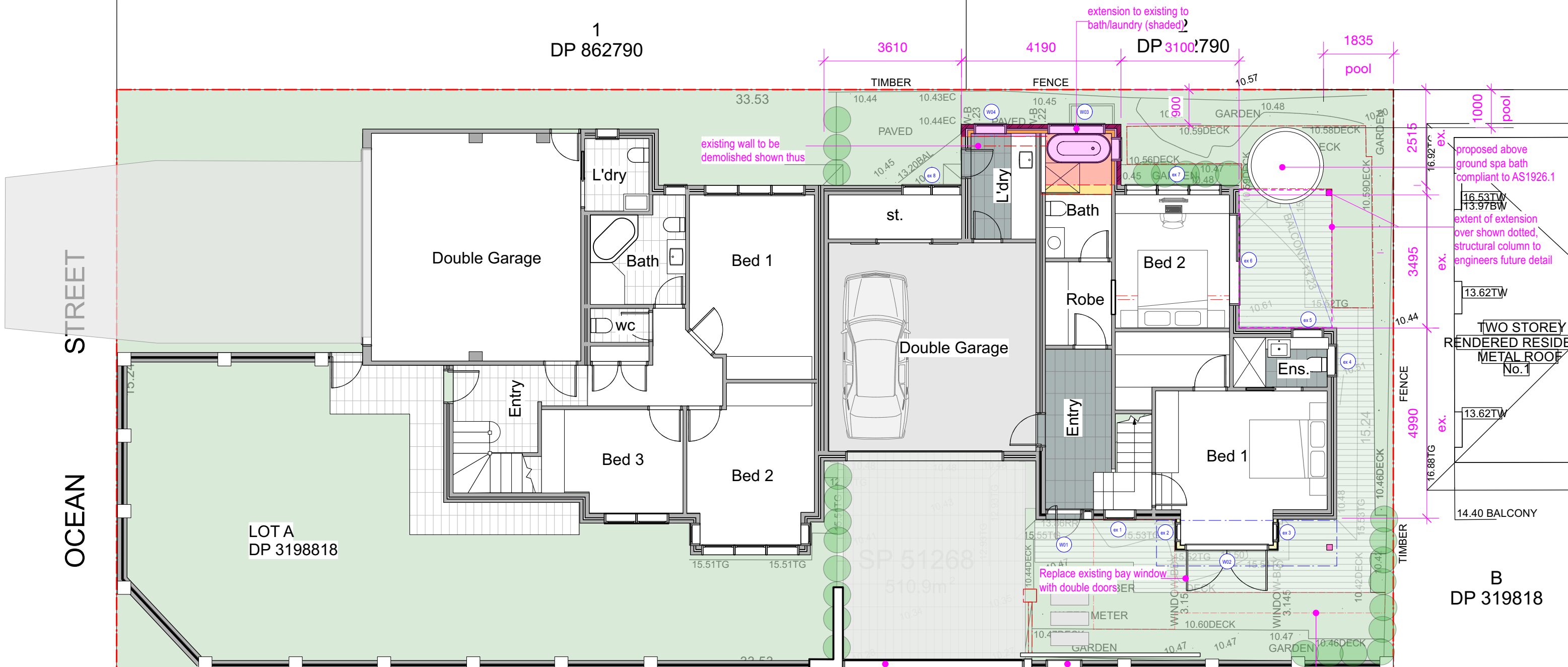
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ISSUE	DATE	REVISION		
PROJECT 193 Ocean St Narrabeen			PROJECT # 21002	
CLIENT Ms Rose Farina		DATE #	DWG #	
		SCALE @ A3 1:100	DA02 B	
DWG Site Plan		DRAWN AW		
		CHKD	REVISION	B



NOTE: BASIX & BCA

- 1) Smoke alarms to be installed to comply with AS3786/ amend 4-21004. Smoke alarm to be located in accordance with BCA requirements. Refer Electrical for location
- 2) Mechanical Exhaust to be standard domestic and installed compliant to AS1668 Parts 1&2
- 3) Windows to be protected from childhood falls in accordance with BCA Clause 3.9.2.5
- 4) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
- 5) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code
- 6) All new showerheads, toilets and taps to have highest WELS star rating available at the time of development (Refer Condition C2)
- 7) Hot water system to be solar electric boosted hot water unit as outlined in BASIX Certificate. All new clothes dryers, dishwasher, a/c and fixed heating to have min. 4.5 star rating (Refer Condition C2)
- 8) All glazing and screening devices to windows in accordance with Basix Certificate.
- 9) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
- 10) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
- 11) Suspended floor to have minimum insulation value of R0.70.
- 12) Raked ceiling R 0.74 up, roof foil backed blanket (100mm) and medium solar absorbance
- 13) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
- 14) Wall dimensions are exclusive of cladding thickness or plasterboard
- 15) Balustrades and handrails to comply with B.C. A. and AS 1170.1

WALL TYPES:-

- 90mm Stud frame wall existing.
- 90mm Stud frame wall. Insulation as spec for external walls.
- weatherboard cladding and timber stud wall
- Existing brick veneer walls.
- Existing brick veneer walls.



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ISSUE	DATE	REVISION	PROJECT #
PROJECT	13/7/21	Development Application Amended	21002
CLIENT	7/6/21	Development Application	DWG #
Ms Rose Farina	DATE #	DA05	B
DWG	SCALE @ A3 1:100	DRAWN AW	REVISION
Ground Floor Plan	CHKD		B

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1025

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1025

1
DP 862790

2
DP 862790

LOTA
DP 3198818






B
DP 319818

NOTE: BASIX & BCA

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C	14/10/21	Modification to Development Application
B	13/7/21	Development Application Amended
A	7/6/21	Development Application

ISSUE	DATE	REVISION	PROJECT #
PROJECT			21002
CLIENT			DWG #
Ms Rose Farina	DATE #		DA06 C
DWG	SCALE @ A3 1:100		
First Floor Plan	DRAWN AW		
CHKD			REVISION C



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1025

1
DP 862790

6000
DP 862790

2425

OCEAN STREET

LOT A
DP 3198818

Void

KITCHEN

DINING

LIVING

TIMBER

FENCE

10.57

PAVED

PAVED

GARDEN

DECK

TIMBER

DECK

GARDEN

DECK

TIMBER

DECK

GARDEN

DECK

TIMBER

DECK

GARDEN

DECK

TIMBER

DECK

GARDEN

DECK

TIMBER

DECK

GARDEN

DECK

TIMBER

DECK

GARDEN

DECK

16.53TW
13.97BW

void over existing dining

TWO STORE
RENDERED RESI
METAL ROOF
No.1

13.62TW

14.40 BALCONY

B
DP 319818

SP 51268
510.9m²

6015

828

WATER METER

DECK

TIMBER

DECK

GARDEN

DECK

TIMBER

DECK

GARDEN

DECK

TIMBER

DECK

GARDEN

NOTE: BASIX & BCA

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B 13/7/21 Development Application Amended
A 7/6/21 Development Application

ISSUE	DATE	REVISION	PROJECT #
PROJECT			21002
CLIENT	DATE #	DWG #	
Ms Rose Farina	SCALE @ A3 1:100	DA07 B	
DWG	DRAWN AW	REVISION	B
Attic Floor Plan	CHKD		

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/1025

1
DP 862790

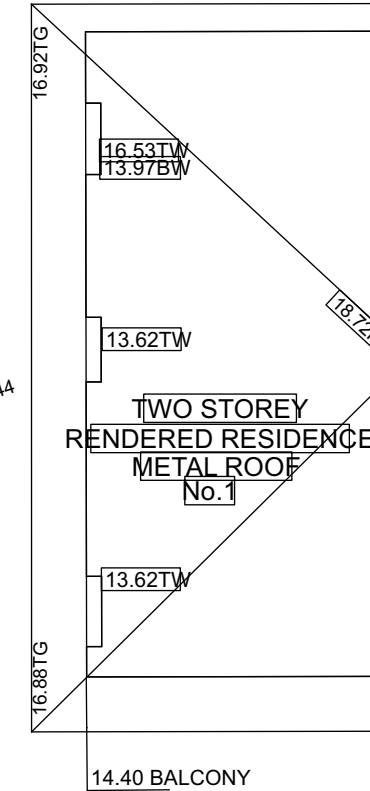
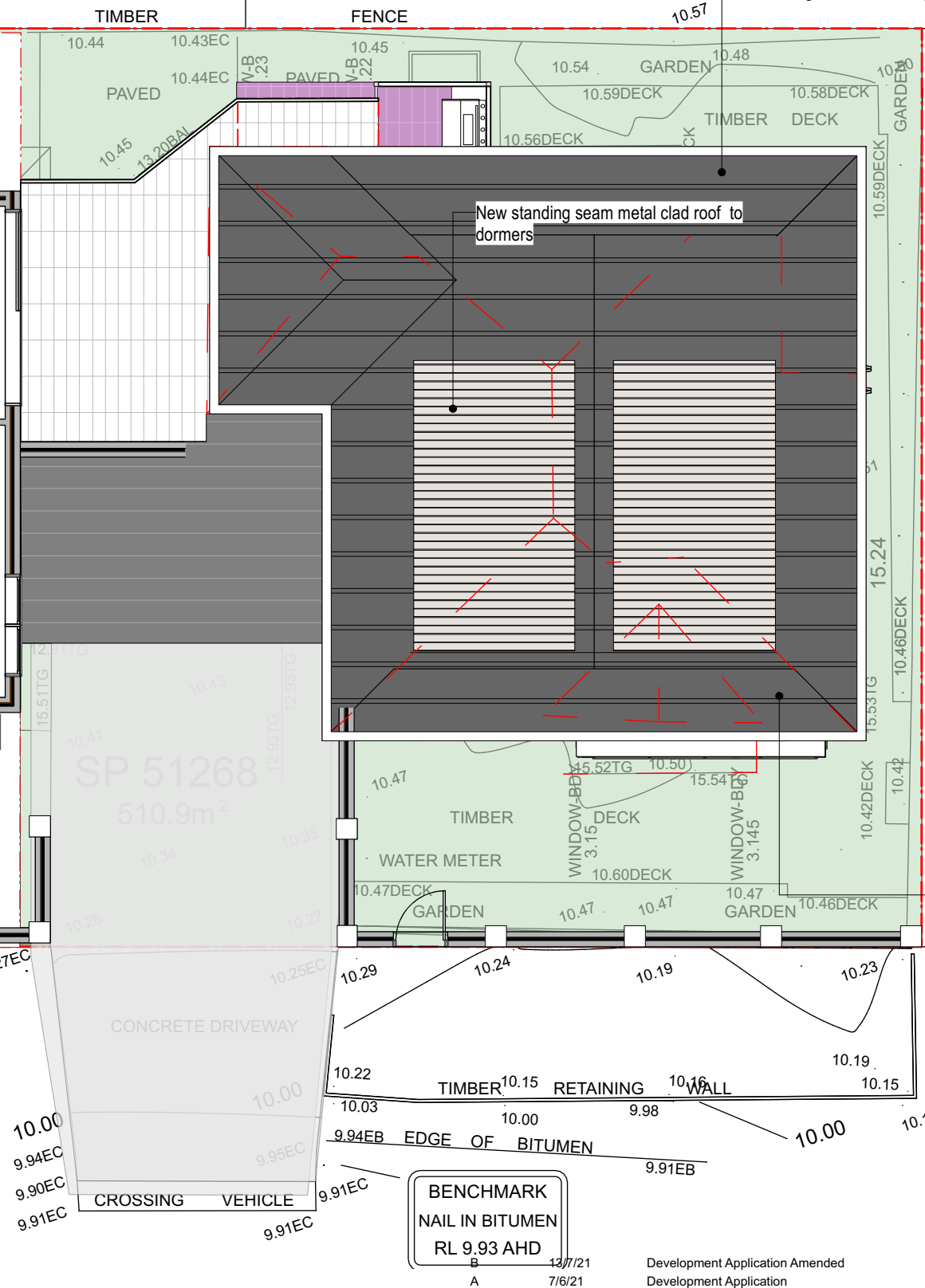
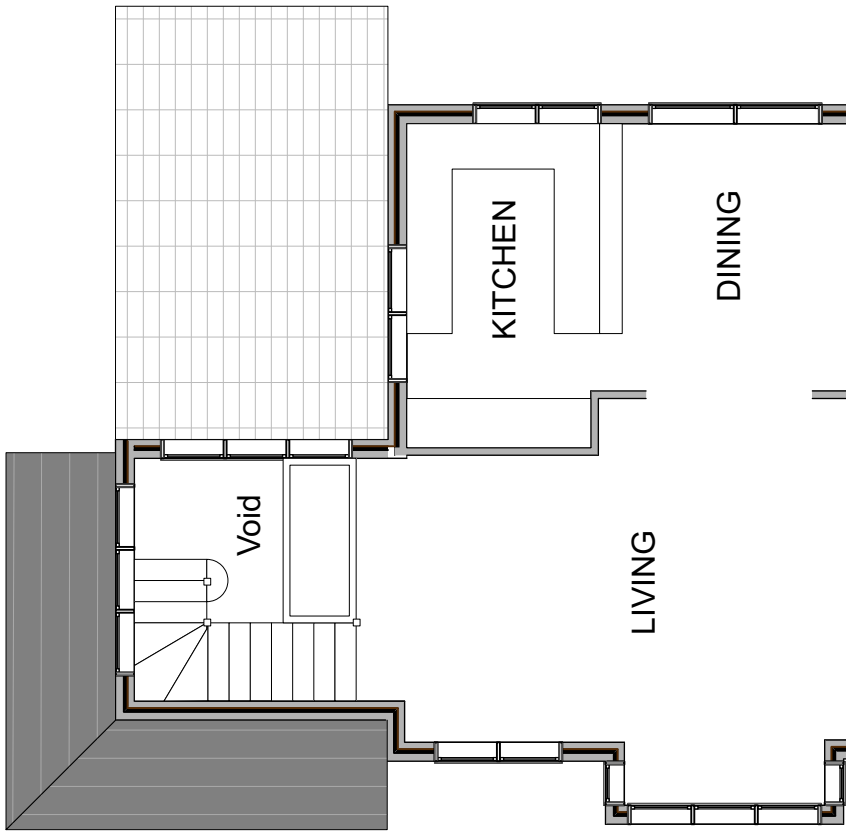
2
DP 862790

OCEAN STREET

LOTA
DP 3198818

NOTE: BASIX & BCA

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- 14) Wall dimensions are exclusive of cladding thickness or plasterboard
- 15) Balustrades and handrails to comply with B.C. A. and AS 1170.1



B
DP 319818

Dutch gable end.



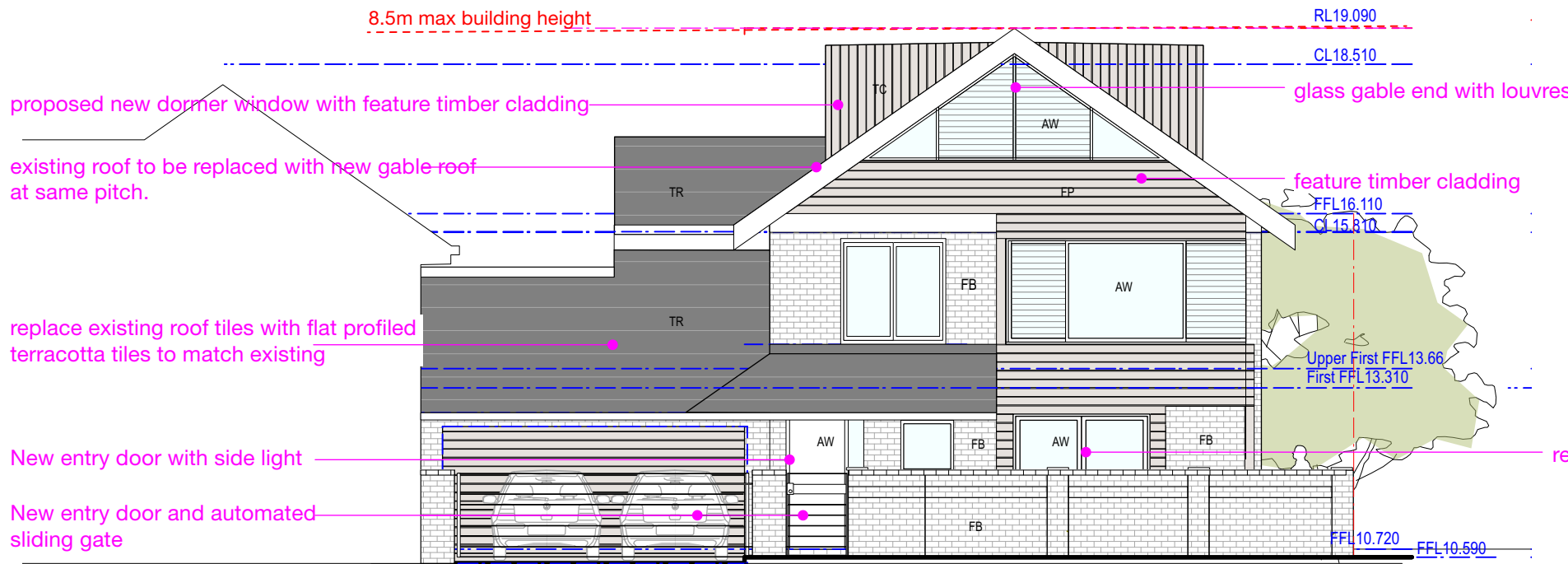
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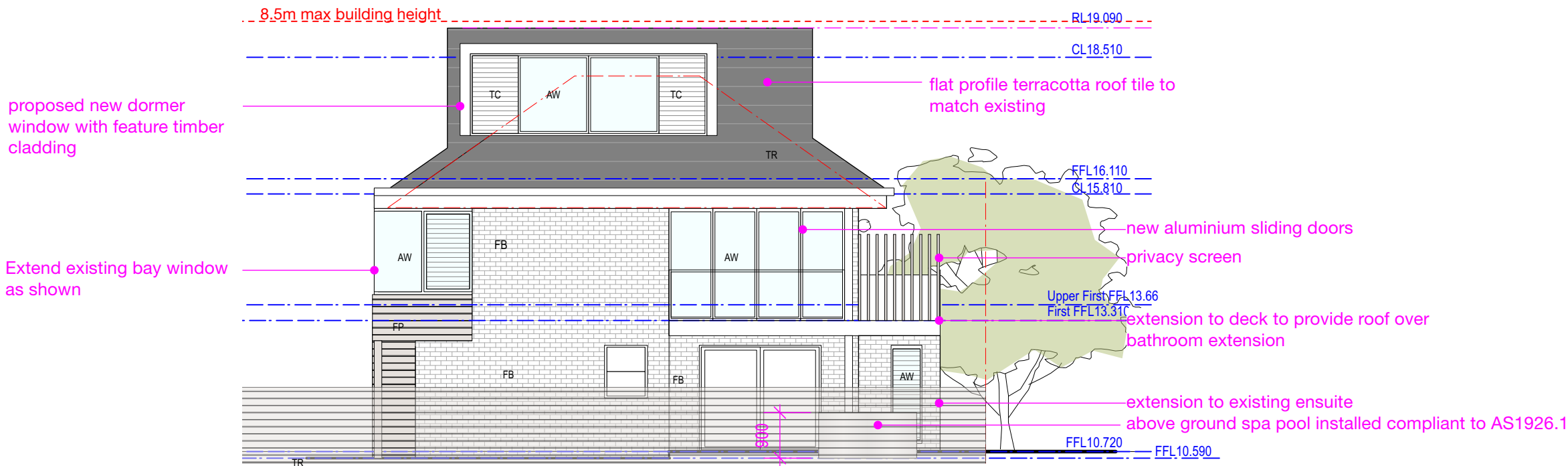
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ISSUE	DATE	REVISION	PROJECT #
PROJECT			21002
CLIENT	DATE #	DWG #	
Ms Rose Farina	1:100	DA08 B	
DWG	DRAWN	AW	
Roof Plan	CHKD	REVISION	B



1 South Elevation
Scale: 1:100



2 East Elevation
Scale: 1:100

NOTE:

- 1) All timber to be plantation, regrown or recycled timber, or renewable timber grown on Australian farms or state forest plantations.
- 2) Smoke alarms to be installed to comply with AS3786/ amend 4-21004. Smoke alarm to be located in accordance with BCA requirements.
- 3) All new showerheads, toilets and taps to have minimum 3 star rating.
- 4) Hot water system to instantaneous gas system as outlined in BASIX Certificate.
- 5) All glazing and screening devices to windows in accordance with Basix Certificate.
- 6) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
- 7) Suspended floor to have minimum insulation value of R0.70.
- 8) External Wall framing R1.3 or R1.7 including construction
- 10) Raked ceiling, pitched R0.74, roof foil backed blanket (100mm) and medium (solar absorptance 0.475-0.70).

MATERIALS AND FINISHES

FB -Existing Face brickwork
FP - Prefinished Feature cladding as selected
CR -Colorbond roofing (Monument)- non reflective
DP -Colorbond downpipe (Monument)
CW - Rendered Concrete wall
AW-Timber windows & doors
OG -Opaque glazing
PF - Painted Timber Fascia
RB- Rendered Brickwork/Blockwork
SK -Skylight - Aluminium
TC -Timber Cladding
AS- Aluminium Screen
SF -Steel Fencing- painted steel
BH -Timber handrail & painted steel balustrade
GF -Glass pool fence
SW -Stone Wall
RT - retractable timber/ aluminium louvres
PT - Paver/tiles
TR- Flat profiled concrete tiled roof



C	14/10/21	Modification to DA submission
B	13/7/21	Development Application Amended
A	7/6/21	Development Application

NOTE: All windows and doors to be replaced with new aluminium framed low e glass

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ISSUE	DATE	REVISION	PROJECT #
PROJECT	193 Ocean St Narrabeen		21002
CLIENT	Ms Rose Farina	DATE #	DWG #
DWG	South and East Elevations	SCALE @ A3 1:100	DA11 C
CHKD		DRAWN AW	REVISION C

NOTE:

- 1) All timber to be plantation, regrown or recycled timber, or renewable timber grown on Australian farms or state forest plantations.

2) Smoke alarms to be installed to comply with AS3786/ amend 4-21004. Smoke alarm to be located in accordance with BCA requirements.

3) All new showerheads, toilets and taps to have minimum 3 star rating.

4) Hot water system to instantaneous gas system as outlined in BASIX Certificate.
- 5) All glazing and screening devices to windows in accordance with Basix Certificate.

6) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

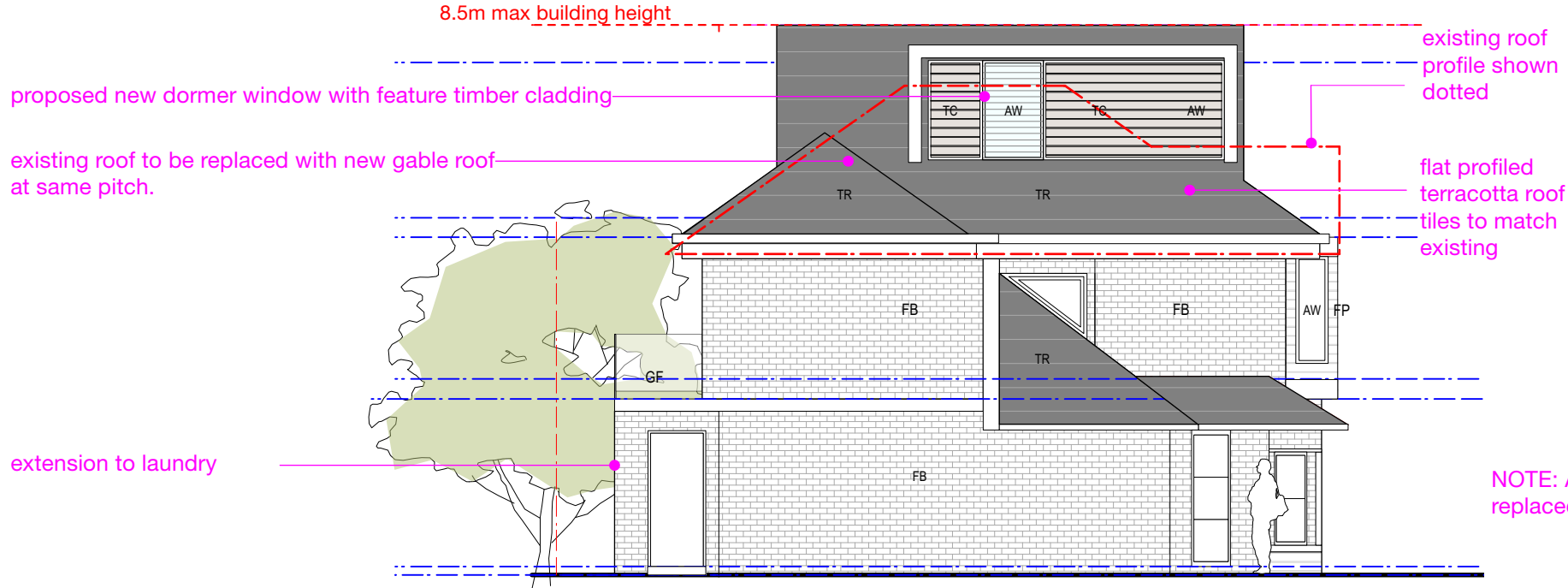
7) Suspended floor to have minimum insulation value of R0.70.

8) External Wall framing R1.3 or R1.7 including construction

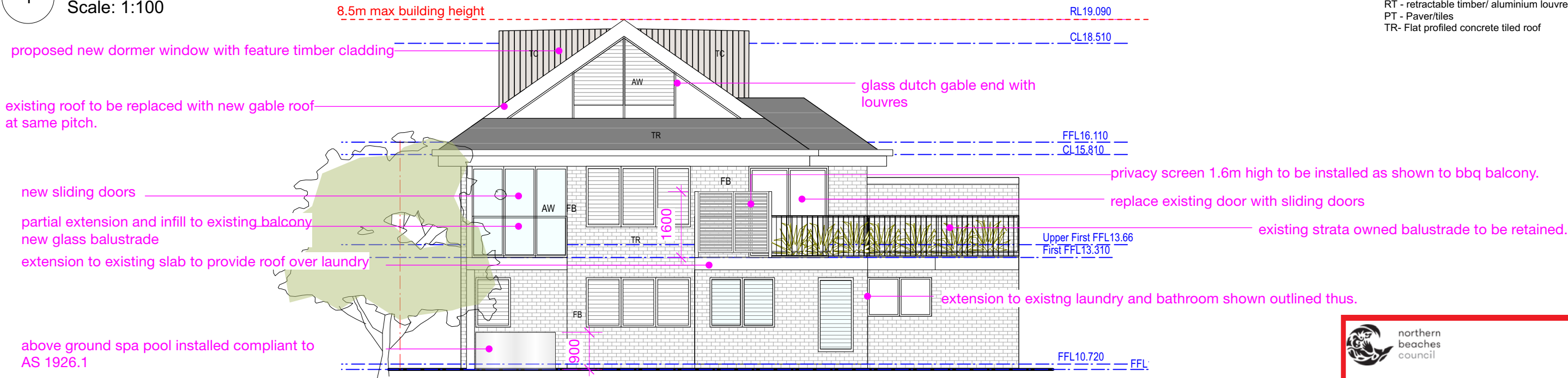
10) Raked ceiling, pitched R0.74, roof foil backed blanket (100mm) and medium (solar absorptance 0.475-0.70).

MATERIALS AND FINISHES

- FB -Existing Face brickwork
- FP - Prefinished Feature cladding as selected
- CR -Colorbond roofing (Monument)- non reflective
- DP -Colorbond downpipe (Monument)
- CW - Rendered Concrete wall
- AW-Timber windows & doors
- OG -Opaque glazing
- PF - Painted Timber Fascia
- RB- Rendered Brickwork/Blockwork
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- TC -Timber Cladding
- AS- Aluminium Screen
- SF -Steel Fencing- painted steel
- BH -Timber handrail & painted steel balustrade
- GF -Glass pool fence
- SW -Stone Wall
- RT - retractable timber/ aluminium louvres
- PT - Paver/tiles
- TR- Flat profiled concrete tiled roof



1 West Elevation
Scale: 1:100



2 North Elevation
Scale: 1:100



northern
beaches
council

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CONSENT

DA2021/1025

C	14/10/21	Modification to DA submission
B	13/7/21	Development Application Amended
A	7/6/21	Development Application

NOTE: All windows and doors to be replaced with new aluminium framed low e glass

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17 Bedford Crescent Collaroy NSW 2097

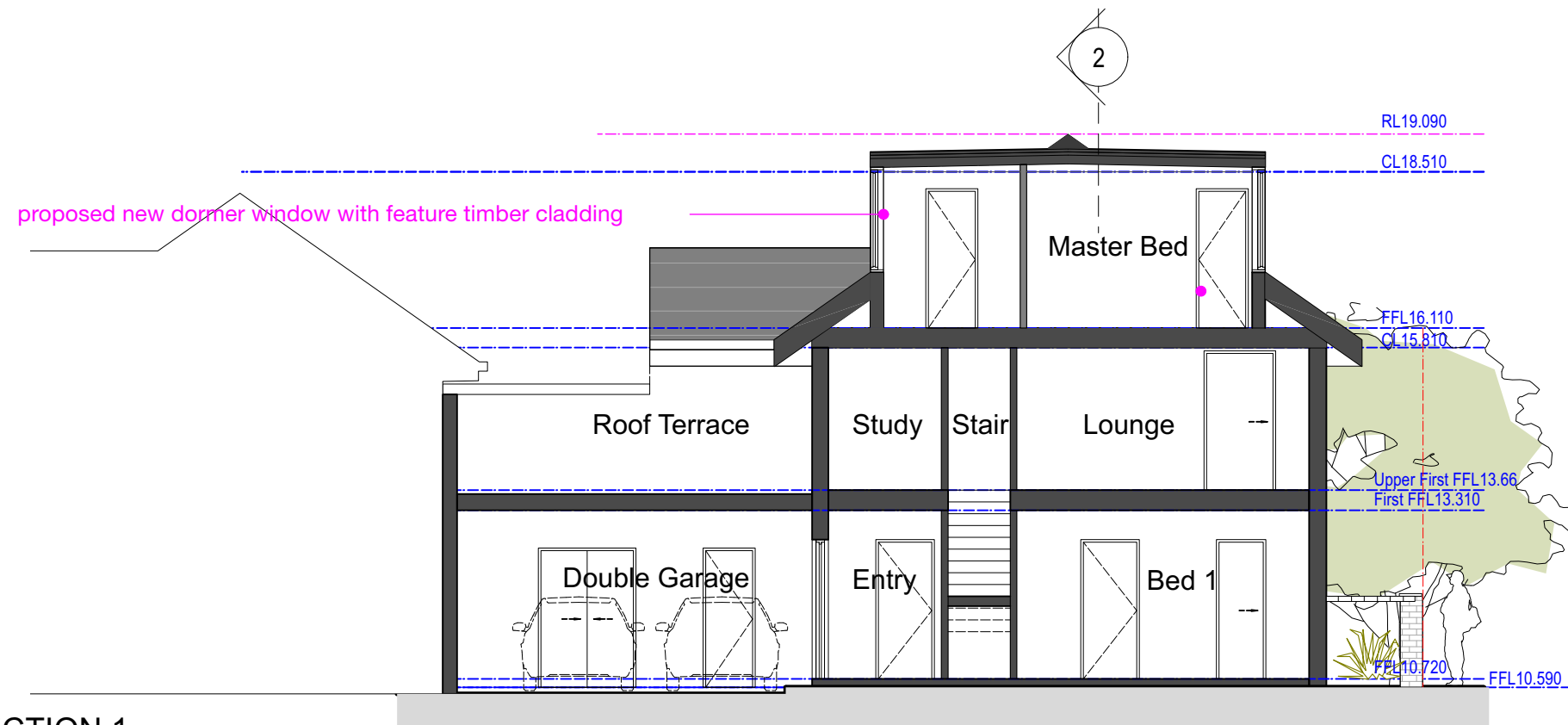
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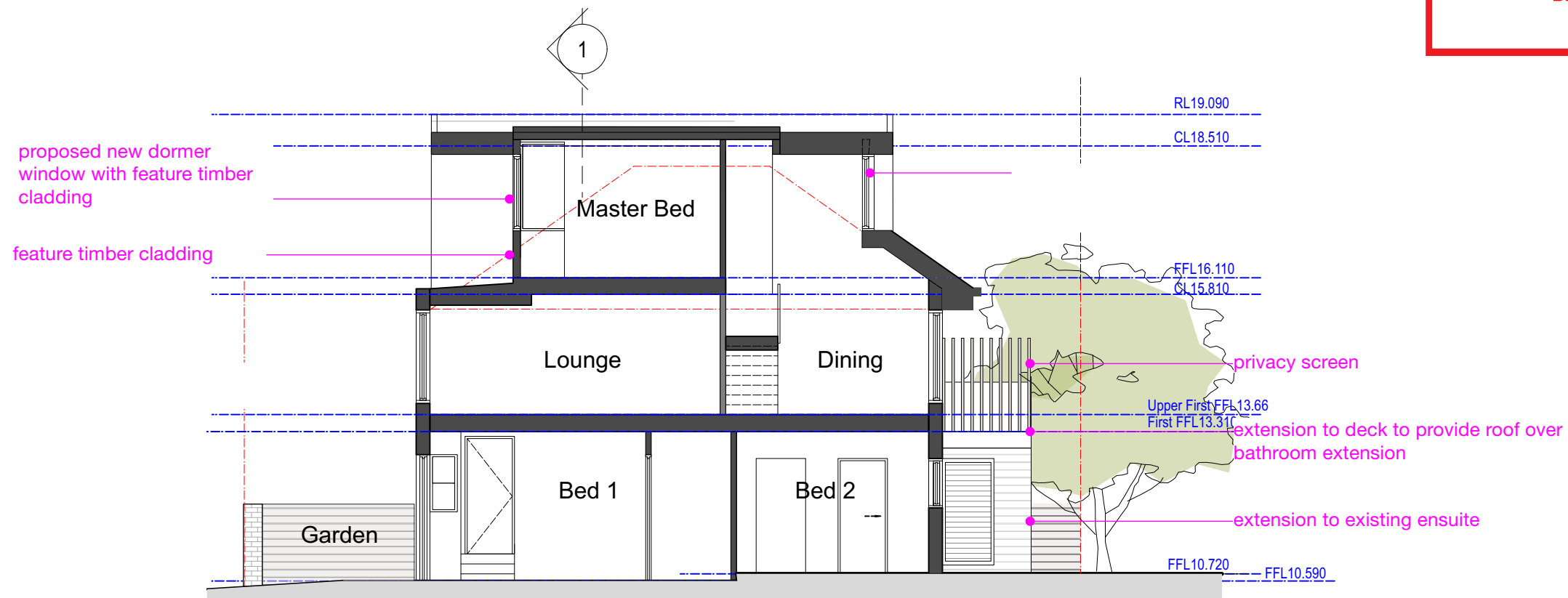
ISSUE	DATE	REVISION	PROJECT #
PROJECT	193 Ocean St Narrabeen		21002
CLIENT	Ms Rose Farina	DATE #	DWG #
DWG	North and West Elevations	SCALE @ A3 1:100	DA12 C
CHKD		DRAWN AW	REVISION C



1 SECTION 1
Scale: 1:100

**THIS PLAN IS TO BE READ IN
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DA2021/1025



2 SECTION 2
Scale: 1:100

B 13/7/21 Development Application Amended
A 7/6/21 DA Application

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ISSUE	DATE	REVISION	PROJECT #
PROJECT			21002
CLIENT	DATE #		DWG #
Ms Rose Farina	SCALE @ A3 1:100		DA13 B
DWG	DRAWN AW		REVISION B
Sections 1&2	CHKD		