

| Key construction and insulation materials |  |
|---|--|
| (see following pages for details)         |  |
| Construction:                             | Brick Veneer<br>Corrugated Iron<br>Suspended Timber Floor                |
| Insulation:                               | R2.5 wall insulation<br>R5.0 ceiling insulation<br>R2.0 floor insulation |
| Glazing:                                  | ALM-004-03 A Aluminium B DG Air Fill<br>High Solar Gain low-E -Clear     |

| Site Information                     | Proposed   | Compliance |
|--------------------------------------|------------|------------|
| Site Area                            | 622.7m²    | Yes        |
| Housing Density (dwelling/m²)        | 1          | Yes        |
| Max Ceiling Height Above Natural GL  | N/A        | Yes        |
| Max Building Height Above Natural GL | 8.5m       | Yes        |
| Front Setback (Min.)                 | 6.5m       | Yes        |
| Rear Setback (Min.)                  | 6.5m       | Yes        |
| Minimum side boundary setback (Min.) | 1m + 2.5m  | Variation  |
| Building envelope                    | 3.5m@45Deg | Variation  |
| % of landscape open space (50% min)  | 50%        | Yes        |
| Impervious area (m²)                 | 313.62m²   | Yes        |
| Maximum cut into ground (m)          | 1550mm     | Yes        |
| Maximum depth of fill (m)            | 865mm      | Yes        |
| Number of car spaces provided        | 2          | Yes        |

Denotes Existing House To Be Demolished

- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Masonry Wall
  - Denotes New Concrete Block Wall

**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item  
**Certifying**  
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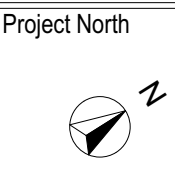
**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number 10150905  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m²,  
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Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

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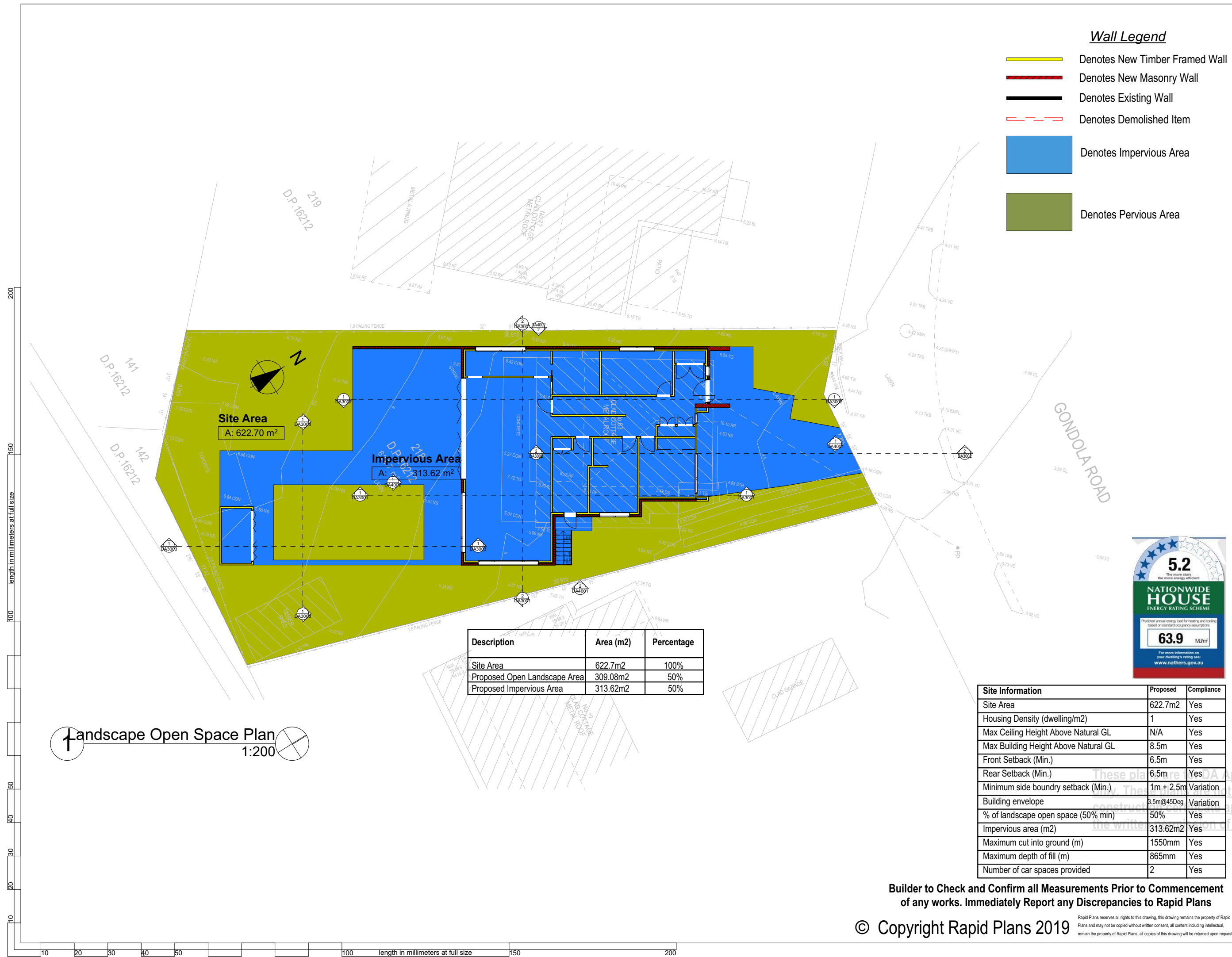
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Client:  
Greg Beeman

Client:  
Greg Beeman  
Project Name  
New Dwelling  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Site Plans - Site Plan  
Site Plan

Scale: A3 as noted  
Status: DA  
Project No.  
RP1018BEE

Date: 20/08/19  
Checked By: GBJ  
Drawing No.  
DA1004



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area



Rapid Plans  
Building Design and Architectural Drafting

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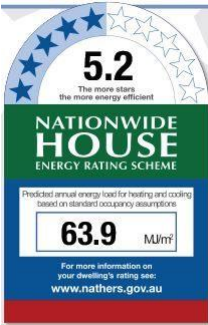
BUILDING  
DESIGNERS  
AUSTRALIA NSW

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
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Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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Basix Certificate Number 1015090S  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Project North

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:

**Site Plans - Landscape Open Space Plan**  
**Landscape Open Space Plan**

Scale: A3 as noted  
Status: DA  
Project No:  
Drawing No:

Date: 20/08/19  
Checked By: GBJ  
Drawing No:  
**RP1018BEE DA1007**

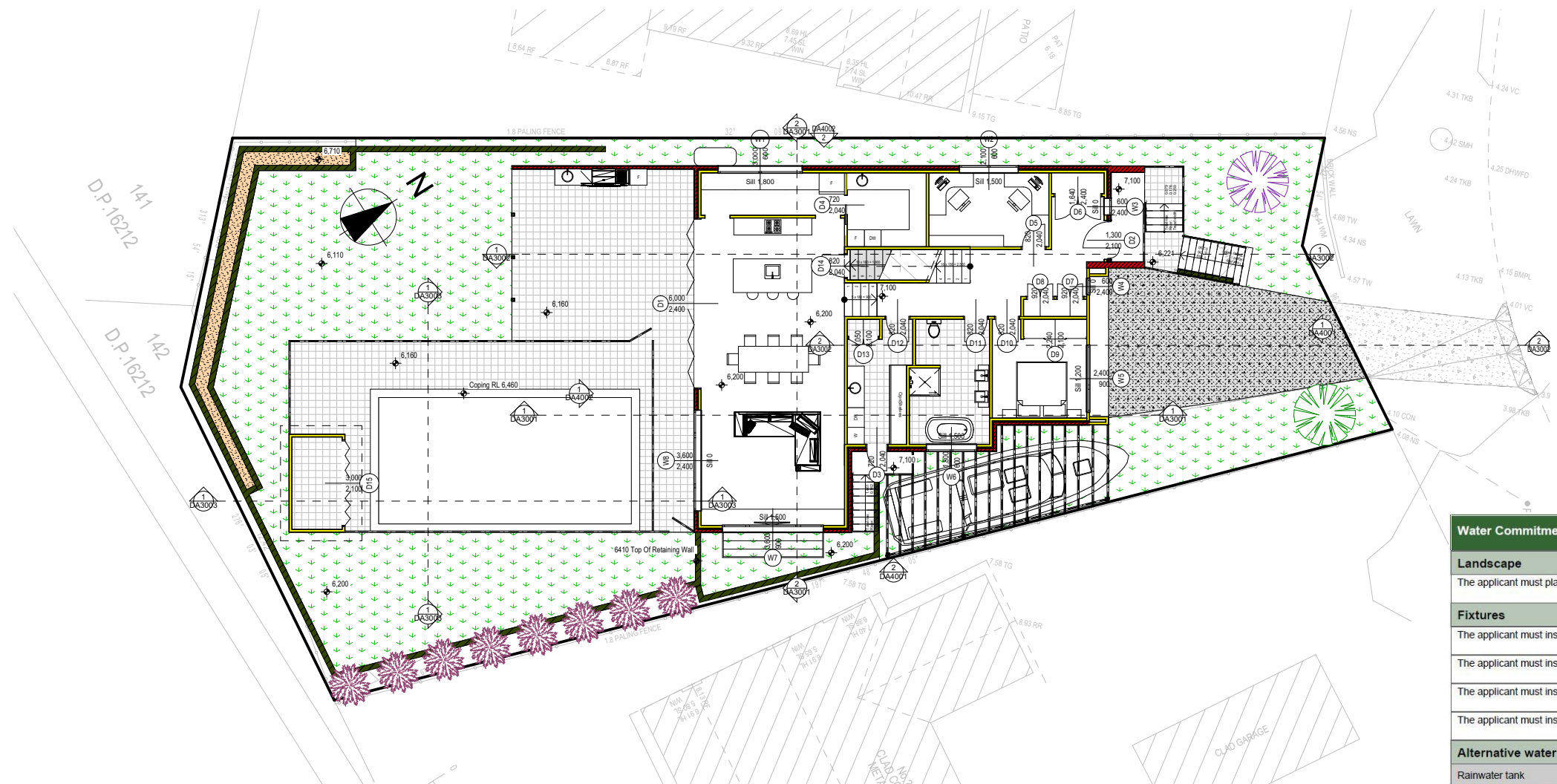
| Site Information                     | Proposed   | Compliance |
|--------------------------------------|------------|------------|
| Site Area                            | 622.7m2    | Yes        |
| Housing Density (dwelling/m2)        | 1          | Yes        |
| Max Ceiling Height Above Natural GL  | N/A        | Yes        |
| Max Building Height Above Natural GL | 8.5m       | Yes        |
| Front Setback (Min.)                 | 6.5m       | Yes        |
| Rear Setback (Min.)                  | 6.5m       | Yes        |
| Minimum side boundary setback (Min.) | 1m + 2.5m  | Variation  |
| Building envelope                    | 3.5m@45Deg | Variation  |
| % of landscape open space (50% min)  | 50%        | Yes        |
| Impervious area (m2)                 | 313.62m2   | Yes        |
| Maximum cut into ground (m)          | 1550mm     | Yes        |
| Maximum depth of fill (m)            | 865mm      | Yes        |
| Number of car spaces provided        | 2          | Yes        |

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| Landscape Legend  |        |                         |                         |                        |
|-------------------|--------|-------------------------|-------------------------|------------------------|
| Planting Schedule | Symbol | Botanical Name          | Common Name             | Mature Height          |
|                   |        | Stenotaphrum secundatum | Sir Walter Buffalo Turf | N/A                    |
|                   |        | Syzygium paniculatum    | Magenta Lilly Pilly     | H= 3000mm<br>W= 1500mm |

| Landscape Legend       |             |
|------------------------|-------------|
| Ground Covers Schedule |             |
| Symbol                 | Common Name |
|                        | Tiled Patio |
|                        | Mulch Area  |

| Water Commitments  |  |
|--|--|
| Landscape  |  |
| The applicant must plant indigenous or low water use species of vegetation throughout 85 square metres of the site.  |  |
| Fixtures   |  |
| The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.   |  |
| The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.   |  |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.   |  |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.   |  |
| Alternative water  |  |
| Rainwater tank   |  |
| The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.                    |  |
| The applicant must configure the rainwater tank to collect rain runoff from at least 255.64 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). |  |
| The applicant must connect the rainwater tank to:  |  |
| • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)   |  |
| Swimming pool  |  |
| The swimming pool must not have a volume greater than 69 kilolitres.   |  |
| The swimming pool must have a pool cover.  |  |



1 Landscape Plan 1:200

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DA APPLICATION ONLY NOT FOR CONSTRUCTION

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information                     | Proposed   | Compliance |
|--------------------------------------|------------|------------|
| Site Area                            | 622.7m2    | Yes        |
| Housing Density (dwelling/m2)        | 1          | Yes        |
| Max Ceiling Height Above Natural GL  | N/A        | Yes        |
| Max Building Height Above Natural GL | 8.5m       | Yes        |
| Front Setback (Min.)                 | 6.5m       | Yes        |
| Rear Setback (Min.)                  | 6.5m       | Yes        |
| Minimum side boundary setback (Min.) | 1m + 2.5m  | Variation  |
| Building envelope                    | 3.5m@45Deg | Variation  |
| % of landscape open space (50% min)  | 50%        | Yes        |
| Impervious area (m2)                 | 313.62m2   | Yes        |
| Maximum cut into ground (m)          | 1550mm     | Yes        |
| Maximum depth of fill (m)            | 865mm      | Yes        |
| Number of car spaces provided        | 2          | Yes        |



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Project North

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Client:  
Greg Beeman

Client  
Greg Beeman  
Project Name  
New Dwelling  
63 Gondola Road, North Narrabeen  
2101

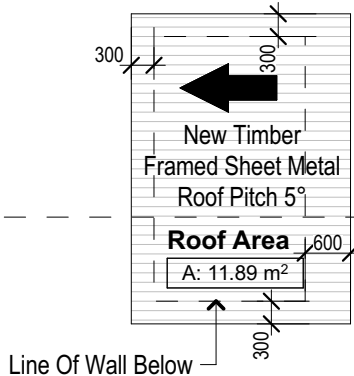
Lot 218 D.P. 16212  
Drawing Title:  
Site Plans - Landscape Plan  
Landscape Plan

Scale: A3 as noted  
Status: DA  
Project No.  
RP1018BEE

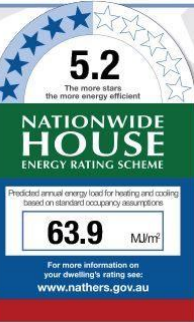
Date: 20/08/19  
Checked By: GBJ  
Drawing No.  
DA1008

| Energy Commitments   |
|--|
| <ul style="list-style-type: none"> <li>all bathrooms/toilets, dedicated</li> <li>the laundry, dedicated</li> <li>all hallways, dedicated</li> </ul>  |
| Natural lighting   |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.   |
| The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.  |
| Swimming pool  |
| The development must not incorporate any heating system for the swimming pool.   |
| The applicant must install a timer for the swimming pool pump in the development.  |
| Alternative energy   |
| The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system. |
| Other  |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.   |
| The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.  |
| The applicant must install a fixed outdoor clothes drying line as part of the development.   |

| Energy Commitments  |
|---|
| Hot water   |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.   |
| Cooling system  |
| The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.   |
| The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.   |
| Heating system  |
| The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.   |
| The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.   |
| Ventilation   |
| The applicant must install the following exhaust systems in the development:<br>At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a<br>Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a<br>Laundry: natural ventilation only, or no laundry; Operation control: n/a  |
| Artificial lighting   |
| The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"> <li>at least 6 of the bedrooms / study, dedicated</li> <li>at least 1 of the living / dining rooms, dedicated</li> <li>the kitchen, dedicated</li> </ul> |



Line Of Wall Below



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Client:  
Greg Beeman

#### Basix

Basix Certificate Number 1015090S

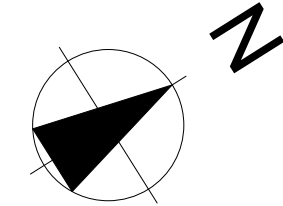
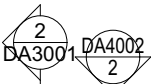
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Line Of Wall Below

Line Of Deck Below



**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

#### NOTES

63 Gondola Road,North Narrabeen is zoned R2 - Low Density Res

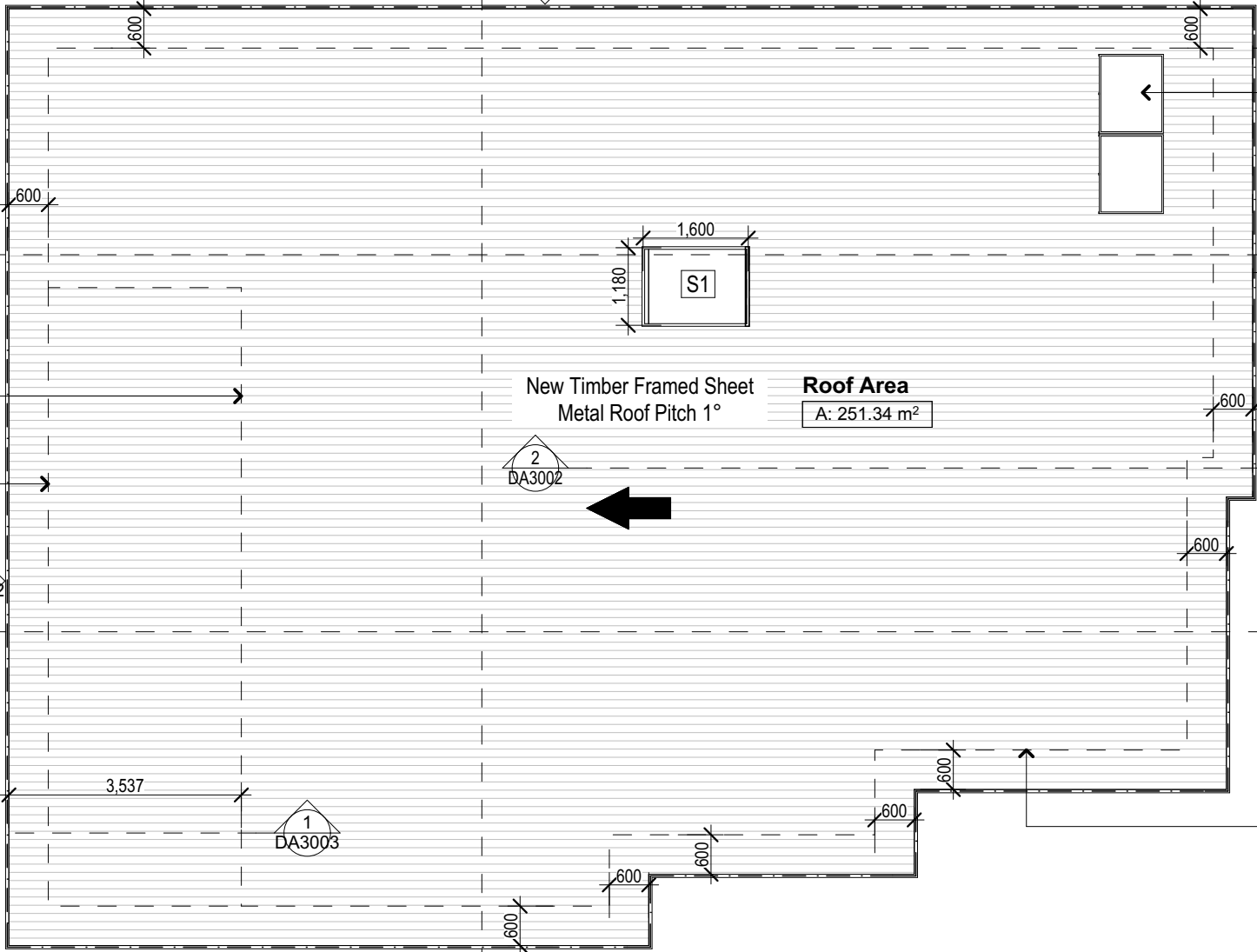
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#### Construction

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Roof Timber to have R5.0 Insulation  
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Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps



Minimum 2kW Solar Panels To Manufactures and Basix Details

New Timber Framed Sheet Metal Flat Roof Below



Line Of Wall Below

#### Key construction and insulation materials

(see following pages for details)

Construction: **Brick Veneer**  
**Corrugated Iron**  
**Suspended Timber Floor**  
Insulation: **R2.5 wall insulation**  
**R5.0 ceiling insulation**  
**R2.0 floor insulation**  
Glazing: **ALM-004-03 A Aluminium B DG Air Fill**  
**High Solar Gain low-E -Clear**

| Site Information                     | Proposed   | Compliance |
|--------------------------------------|------------|------------|
| Site Area                            | 622.7m2    | Yes        |
| Housing Density (dwelling/m2)        | 1          | Yes        |
| Max Ceiling Height Above Natural GL  | N/A        | Yes        |
| Max Building Height Above Natural GL | 8.5m       | Yes        |
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| Rear Setback (Min.)                  | 6.5m       | Yes        |
| Minimum side boundary setback (Min.) | 1m + 2.5m  | Variaton   |
| Building envelope                    | 3.5m@45Deg | Variaton   |
| % of landscape open space (50% min)  | 50%        | Yes        |
| Impervious area (m2)                 | 313.62m2   | Yes        |
| Maximum cut into ground (m)          | 1550mm     | Yes        |
| Maximum depth of fill (m)            | 865mm      | Yes        |
| Number of car spaces provided        | 2          | Yes        |

Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

Plans - Roof Plan  
Roof Plan

Scale: **A3 as noted**

Status: **DA**

Project No.

RP1018BEE

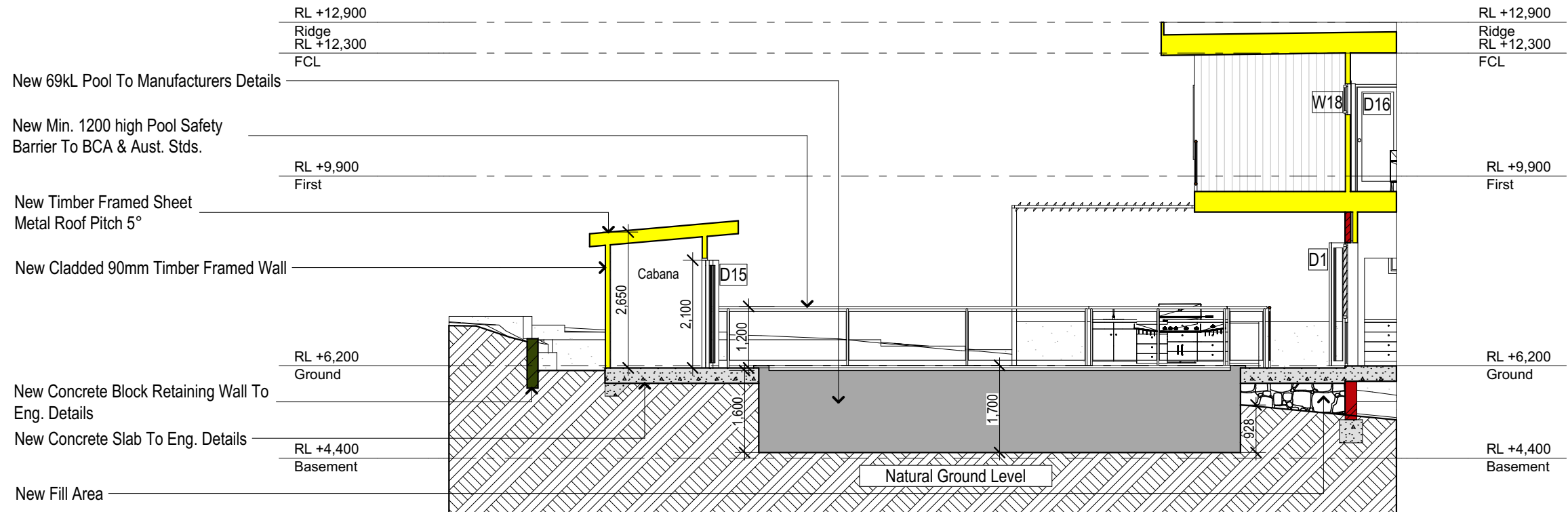
Date: 20/08/19

Checked By: GBJ

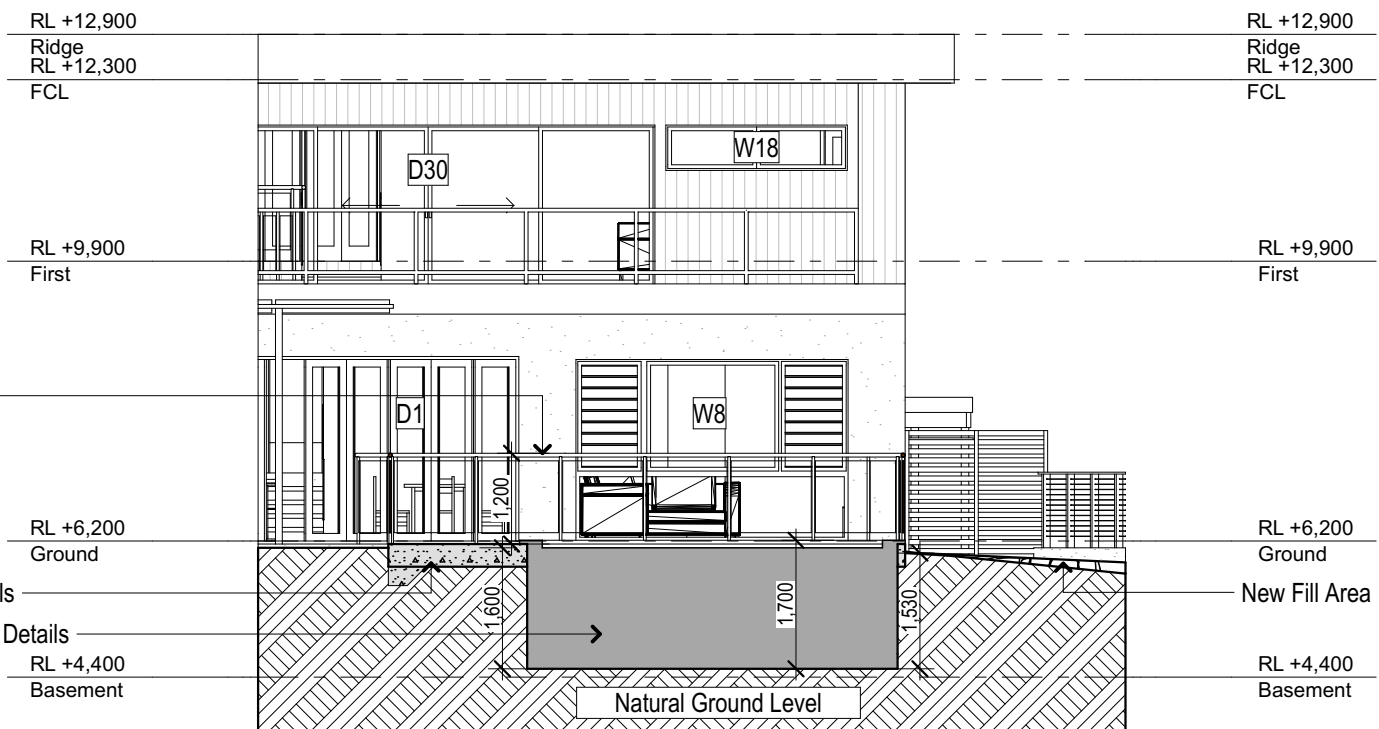
Drawing No.

**DA2005**





1 Section Pool 1:100



1 Section Pool 1:100

| Key construction and insulation materials |  |
|---|--|
| (see following pages for details)         |  |
| Construction:                             | Brick Veneer<br>Corrugated Iron<br>Suspended Timber Floor                |
| Insulation:                               | R2.5 wall insulation<br>R5.0 ceiling insulation<br>R2.0 floor insulation |
| Glazing:                                  | ALM-004-03 A Aluminium B DG Air Fill<br>High Solar Gain low-E -Clear     |

| Site Information                     | Proposed   | Compliance |
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| Housing Density (dwelling/m2)        | 1          | Yes        |
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| Max Building Height Above Natural GL | 8.5m       | Yes        |
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| Building envelope                    | 3.5m@45Deg | Variaton   |
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| Impervious area (m2)                 | 313.62m2   | Yes        |
| Maximum cut into ground (m)          | 1550mm     | Yes        |
| Maximum depth of fill (m)            | 865mm      | Yes        |
| Number of car spaces provided        | 2          | Yes        |



| Water Commitments                   |
|-------------------------------------|
| The swimming pool must be shaded.   |
| The swimming pool must be outdoors. |

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**DA APPLICATION ONLY**  
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**NOTES**  
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Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

#### Basix

Basix Certificate Number 1015090S

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2,  
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



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Email: gregg@rapidplans.com.au



Project North



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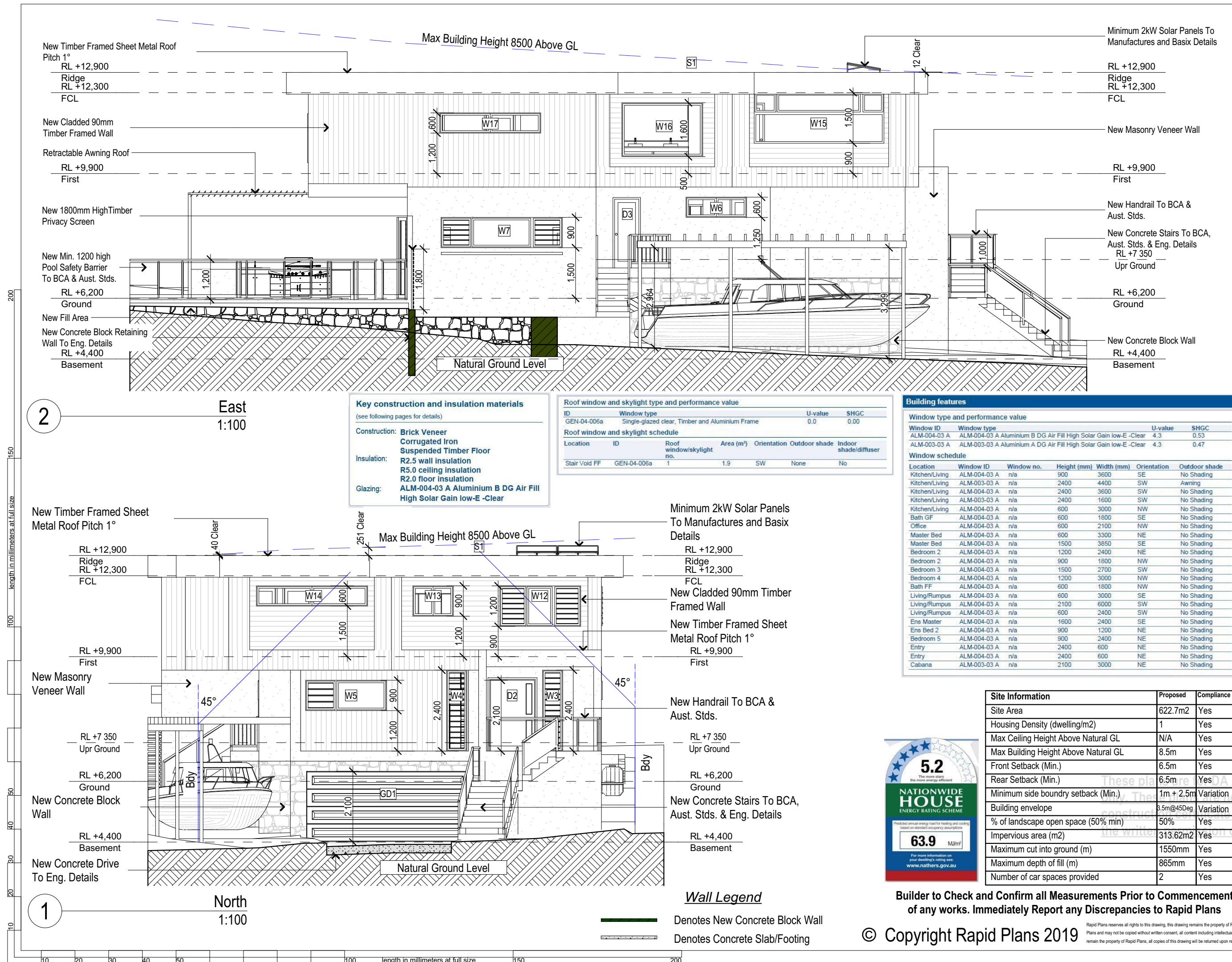
Client:  
Greg Beeman

Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212  
Drawing Title:  
Sections - Section Pool  
Section Pool

Scale: A3 as noted  
Status: DA  
Project No.  
RP1018BEE

Date: 20/08/19  
Checked By: GBJ  
Drawing No.  
**DA3003**



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Building Design and Architectural Drafting

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**BD&A** BUILDING DESIGNERS AUSTRALIA NSW

**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item

**Construction**  
Timber and Concrete, Timber and Masonry Walls  
Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
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All work to Engineers Specification and BCA  
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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Project North**

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

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Client: Greg Beeman  
Project Name: **New Dwelling**  
63 Gondola Road, North Narrabeen  
Lot 218 D.P. 16212  
Drawing Title: **Elevations - Elevations 1**  
North, East

| Site Information                           | Proposed             | Compliance |
|--|----------------------|------------|
| Site Area                                  | 622.7m <sup>2</sup>  | Yes        |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                    | Yes        |
| Max Ceiling Height Above Natural GL        | N/A                  | Yes        |
| Max Building Height Above Natural GL       | 8.5m                 | Yes        |
| Front Setback (Min.)                       | 6.5m                 | Yes        |
| Rear Setback (Min.)                        | 6.5m                 | Yes        |
| Minimum side boundary setback (Min.)       | 1m + 2.5m            | Variation  |
| Building envelope                          | 8.5m@45Deg           | Variation  |
| % of landscape open space (50% min)        | 50%                  | Yes        |
| Impervious area (m <sup>2</sup> )          | 313.62m <sup>2</sup> | Yes        |
| Maximum cut into ground (m)                | 1550mm               | Yes        |
| Maximum depth of fill (m)                  | 865mm                | Yes        |
| Number of car spaces provided              | 2                    | Yes        |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

**Wall Legend**

- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing

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**NOTES**  
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.  
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New Works to be constructed shown in Shaded/Blue  
63 Gondola Road, North Narrabeen is not considered a heritage item

**Construction**  
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Roof Timber to have R5.0 Insulation  
Insulation to External Timber and Masonry Walls R2.5  
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Glazing to BCA and AS01288-2047  
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Project North

**DA APPLICATION ONLY**  
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Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

**Elevations - Elevations 2**

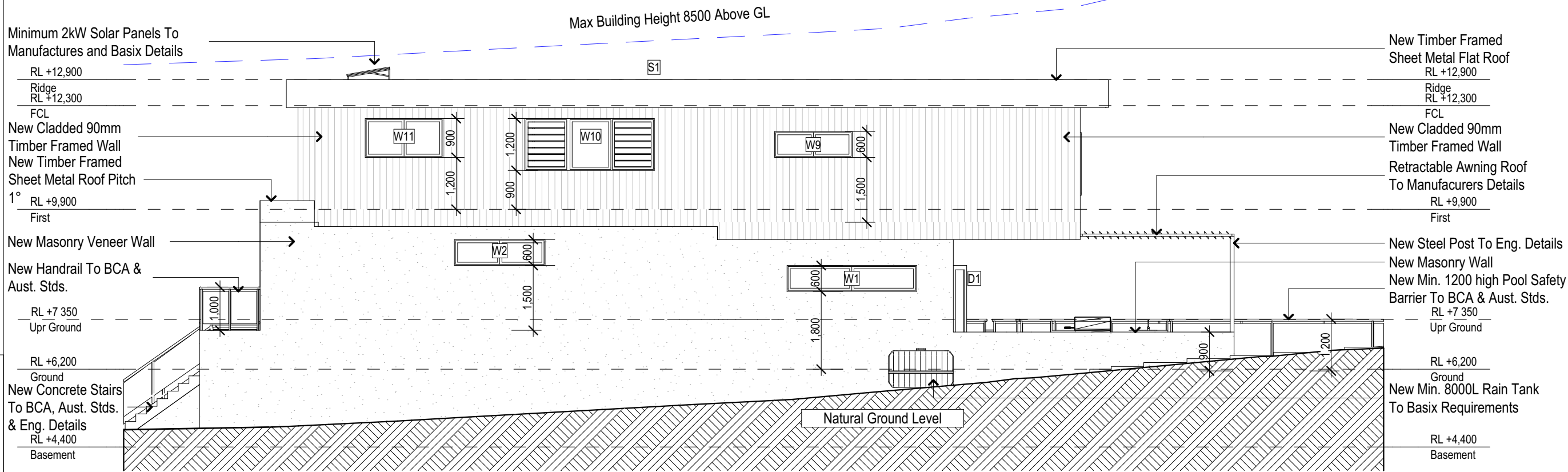
**South, West**

Scale: A3 as noted Date: 20/08/19

Status: DA Checked By: GBJ

Project No: RP1018BEE Drawing No.

**DA4002**



2  
West  
1:100

| Roof window and skylight type and performance value |   |                          |           |             |               |                       |
|---|---|--------------------------|-----------|-------------|---------------|-----------------------|
| ID  | Window type                                     |                          |           | U-value     | SHGC          |                       |
| GEN-04-006a   | Single-glazed clear, Timber and Aluminium Frame |                          |           | 0.0         | 0.00          |                       |
| Roof window and skylight schedule                   |   |                          |           |             |               |                       |
| Location  | ID  | Roof window/skylight no. | Area (m²) | Orientation | Outdoor shade | Indoor shade/diffuser |
| Stair Void FF                                       | GEN-04-006a                                     | 1                        | 1.9       | SW          | None          | No                    |

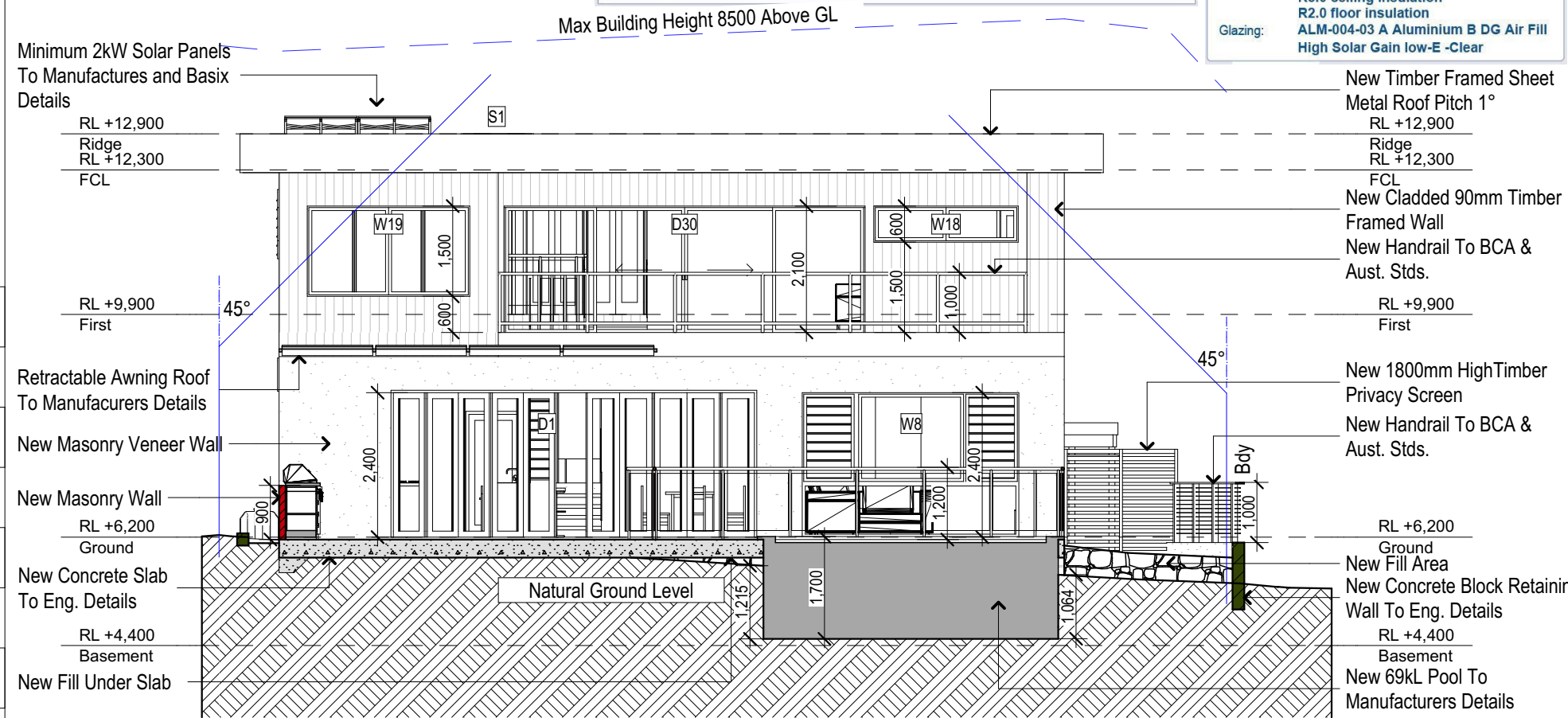
**Key construction and insulation materials**  
(see following pages for details)

Construction: **Brick Veneer**  
**Corrugated Iron**  
**Suspended Timber Floor**  
**R2.5 wall insulation**  
**R5.0 ceiling insulation**  
**R2.0 floor insulation**  
**ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear**

Insulation:

Glazing:

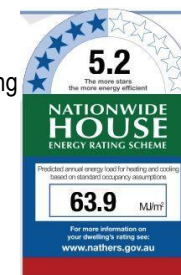
| Building features                 |   |            |             |            |             |               |
|-----------------------------------|---|------------|-------------|------------|-------------|---------------|
| Window type and performance value |   |            |             |            |             |               |
| Window ID                         | Window type   |            |             |            | U-value     | SHGC          |
| ALM-004-03 A                      | ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear |            |             |            | 4.3         | 0.53          |
| ALM-003-03 A                      | ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear |            |             |            | 4.3         | 0.47          |
| Window schedule                   |   |            |             |            |             |               |
| Location                          | Window ID   | Window no. | Height (mm) | Width (mm) | Orientation | Outdoor shade |
| Kitchen/Living                    | ALM-004-03 A  | n/a        | 900         | 3600       | SE          | No Shading    |
| Kitchen/Living                    | ALM-003-03 A  | n/a        | 2400        | 4400       | SW          | Awning        |
| Kitchen/Living                    | ALM-004-03 A  | n/a        | 2400        | 3600       | SW          | No Shading    |
| Kitchen/Living                    | ALM-003-03 A  | n/a        | 2400        | 1600       | SW          | No Shading    |
| Kitchen/Living                    | ALM-004-03 A  | n/a        | 600         | 3000       | NW          | No Shading    |
| Bath GF                           | ALM-004-03 A  | n/a        | 600         | 1800       | SE          | No Shading    |
| Office                            | ALM-004-03 A  | n/a        | 600         | 2100       | NW          | No Shading    |
| Master Bed                        | ALM-004-03 A  | n/a        | 600         | 3300       | NE          | No Shading    |
| Master Bed                        | ALM-004-03 A  | n/a        | 1500        | 3850       | SE          | No Shading    |
| Bedroom 2                         | ALM-004-03 A  | n/a        | 1200        | 2400       | NE          | No Shading    |
| Bedroom 2                         | ALM-004-03 A  | n/a        | 900         | 1800       | NW          | No Shading    |
| Bedroom 3                         | ALM-004-03 A  | n/a        | 1500        | 2700       | SW          | No Shading    |
| Bedroom 4                         | ALM-004-03 A  | n/a        | 1200        | 3000       | NW          | No Shading    |
| Bath FF                           | ALM-004-03 A  | n/a        | 600         | 1800       | NW          | No Shading    |
| Living/Rumpus                     | ALM-004-03 A  | n/a        | 600         | 3000       | SE          | No Shading    |
| Living/Rumpus                     | ALM-004-03 A  | n/a        | 2100        | 6000       | SW          | No Shading    |
| Living/Rumpus                     | ALM-004-03 A  | n/a        | 600         | 2400       | SW          | No Shading    |
| Ens Master                        | ALM-004-03 A  | n/a        | 1600        | 2400       | SE          | No Shading    |
| Ens Bed 2                         | ALM-004-03 A  | n/a        | 900         | 1200       | NE          | No Shading    |
| Bedroom 5                         | ALM-004-03 A  | n/a        | 900         | 2400       | NE          | No Shading    |
| Entry                             | ALM-004-03 A  | n/a        | 2400        | 600        | NE          | No Shading    |
| Entry                             | ALM-004-03 A  | n/a        | 2400        | 600        | NE          | No Shading    |
| Cabana                            | ALM-003-03 A  | n/a        | 2100        | 3000       | NE          | No Shading    |



1  
South  
1:100

**Wall Legend**

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing



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**NOTES**

63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.  
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**Construction**

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Roof Timber to have R5.0 Insulation  
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**Basic**

Basic Certificate Number 1015090S  
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Project North



**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

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Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

**Sunstudy - Perspective**

Per 1, Per 2, Per 3, Per 4

Scale: A3 as noted

Date: 20/08/19

Status: DA

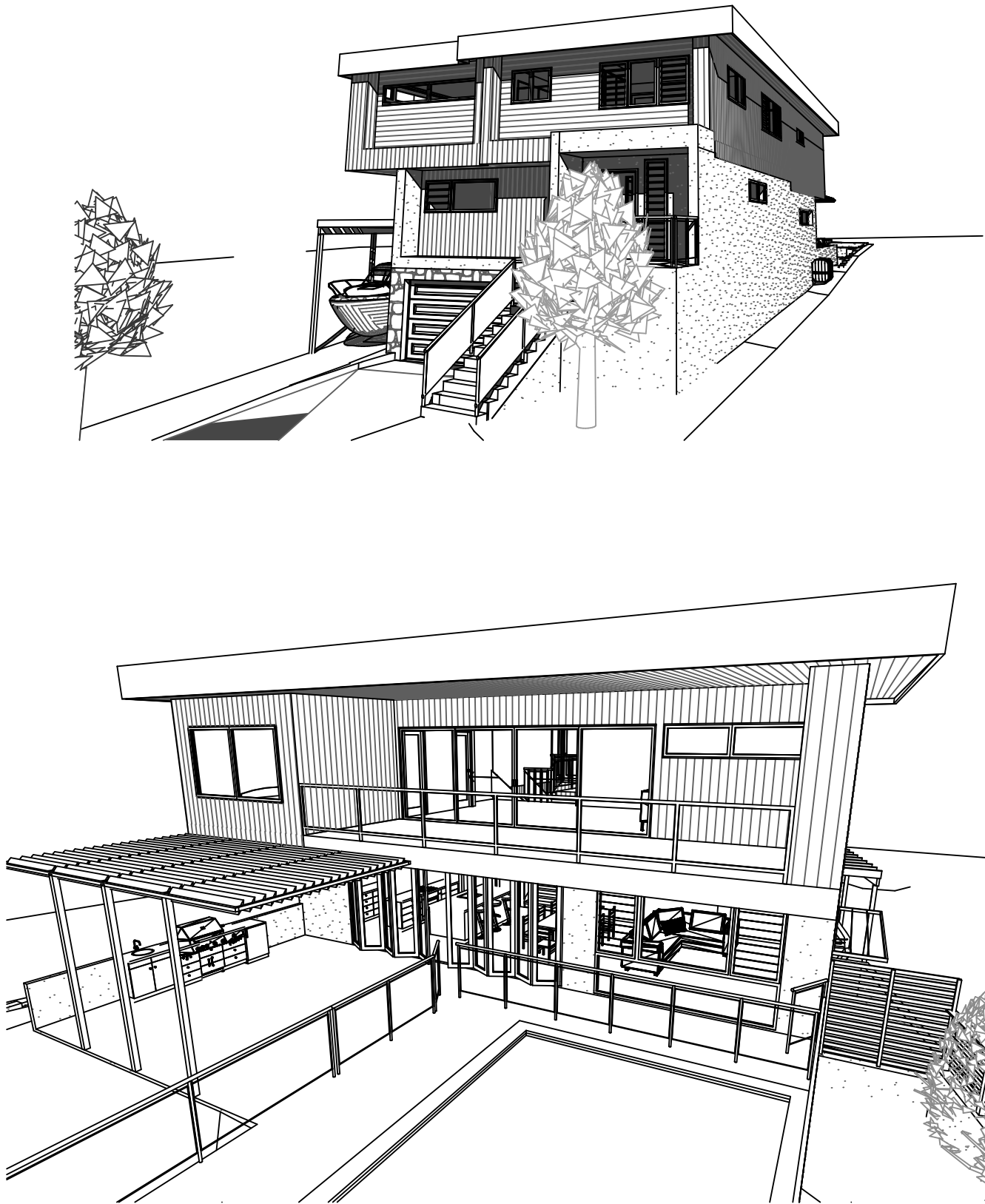
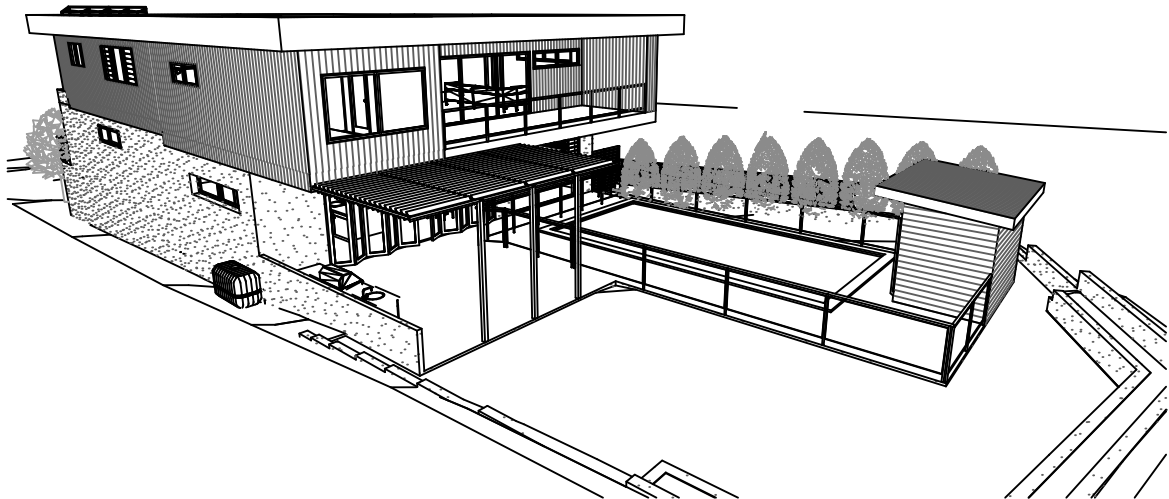
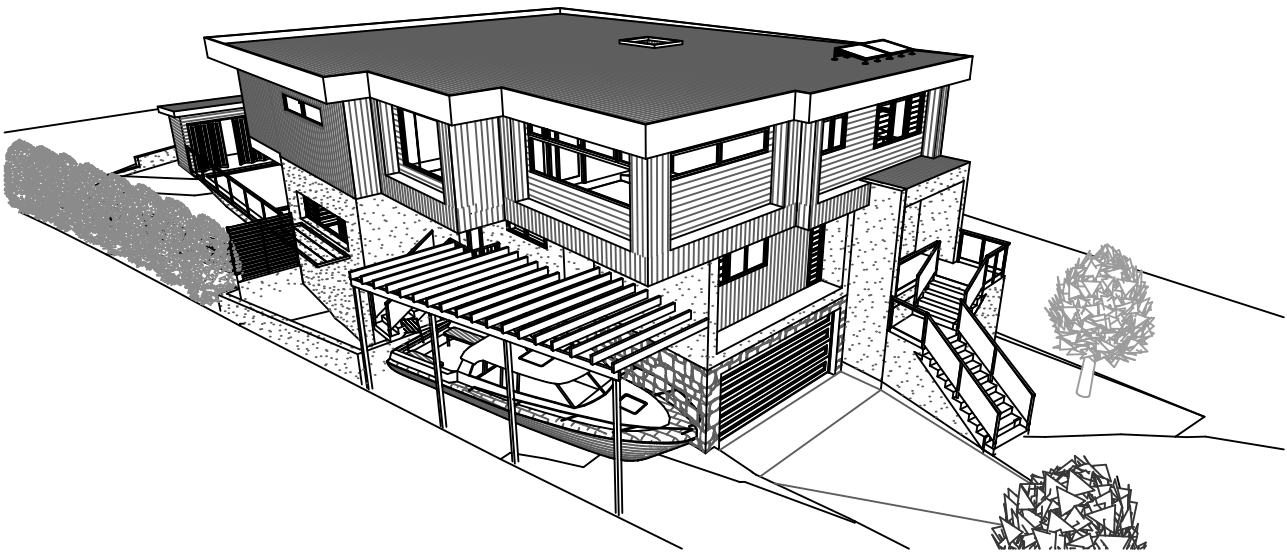
Checked By: GBJ

Project No:

Drawing No.

**RP1018BEE**

**DA5001**



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Denotes Garage Door (Typical).  
Owner To Confirm Colour and Type.



Denotes Concrete Block Retaining Wall (Typical).  
Owner To Confirm Colour and Type.



Denotes Glass and Steel Balustrade (Typical).  
Owner To Confirm Colour and Type.



Denotes Glass Timber Deck (Typical).  
Owner To Confirm Colour and Type.



Denotes Tiled Patio (Typical).  
Owner To Confirm Colour and Type.



Denotes Cladded Wall (Typical).  
Owner To Confirm Colour and Type.



Denotes Sheet Metal Roofing (Typical).  
Owner To Confirm Colour and Type.



Denotes Rendered Wall (Typical).  
Owner To Confirm Colour and Type.



Denotes Concrete Stair (Typical).  
Owner To Confirm Colour and Type.

| Site Information                     | Proposed   | Compliance |
|--------------------------------------|------------|------------|
| Site Area                            | 622.7m2    | Yes        |
| Housing Density (dwelling/m2)        | 1          | Yes        |
| Max Ceiling Height Above Natural GL  | N/A        | Yes        |
| Max Building Height Above Natural GL | 8.5m       | Yes        |
| Front Setback (Min.)                 | 6.5m       | Yes        |
| Rear Setback (Min.)                  | 6.5m       | Yes        |
| Minimum side boundry setback (Min.)  | 1m + 2.5m  | Variation  |
| Building envelope                    | 3.5m@45Deg | Variation  |
| % of landscape open space (50% min)  | 50%        | Yes        |
| Impervious area (m2)                 | 313.62m2   | Yes        |
| Maximum cut into ground (m)          | 1550mm     | Yes        |
| Maximum depth of fill (m)            | 865mm      | Yes        |
| Number of car spaces provided        | 2          | Yes        |

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BUILDING  
DESIGNERS  
AUSTRALIA NSW

**NOTES**  
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Project North



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**NOT FOR CONSTRUCTION**

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Client  
Greg Beeman  
Project Name  
**New Dwelling**  
63 Gondola Road, North Narrabeen  
2101

Lot 218 D.P. 16212

Drawing Title:

Schedules - Material & Colour Sample Board

Scale: A3 as noted

Date: 20/08/19

Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP1018BEE

DA6001