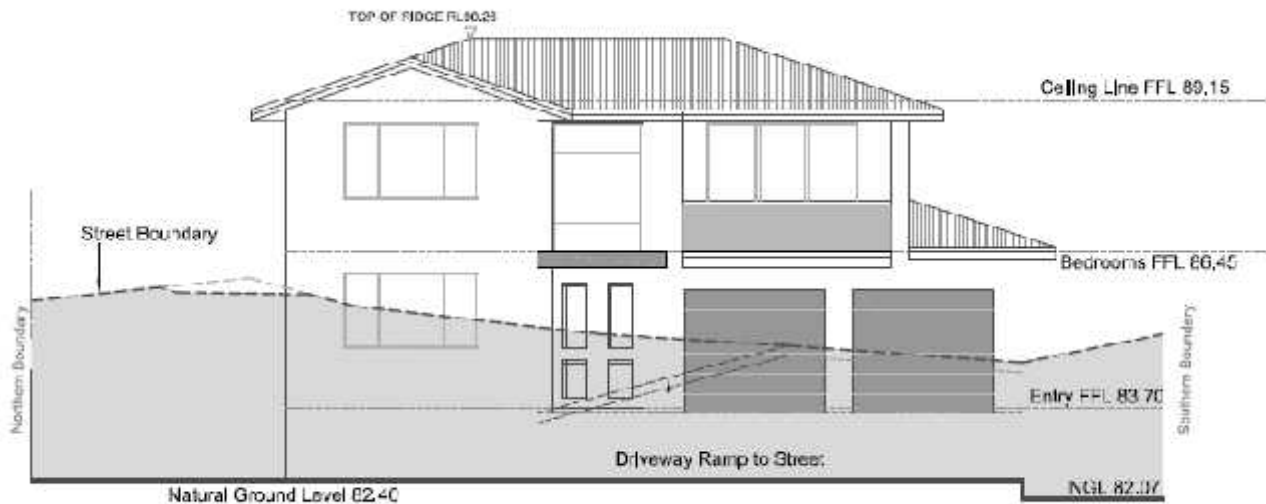


STATEMENT OF ENVIRONMENTAL EFFECTS

FOR A PROPOSED DEMOLITION OF EXISTING STRUCTURES,
CONSTRUCTION OF NEW THREE LEVELED MAIN DWELLING
NEW DETACHED GRANNY FLAT AND HOME OFFICE STUDIO.

**Proposed Development at No.4 Southern Cross Way
Allambie Heights NSW 2100 Lot 2316 DP 753028**



**Proposed Street View of new dwelling at:
No. 4 Southern Cross Way Allambie Heights**



Existing Street View of No. 4 Southern Cross Way Allambie Heights

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Aerial view of No.4 Southern Cross Way Allambie Heights NSW

1. INTRODUCTION

The proposed development consists of demolition and removal of the existing dwelling, the existing attached carport and all concrete pathways and driveways in order to prepare to erect a new three level main dwelling with a detached Granny Flat dwelling at the rear yard and a detached home office studio with fully landscaped areas as shown in the submitted plans. The proposal intends to assimilate the new design to the existing streetscape in shape colours or materials so as to make a contribution of a high quality and increase the value and improve the existing street view. The site is identified also as Lot 2316 DP 753028

2. THE SITE

The subject site is located within the R2 Low Density Residential zone and is mostly regular in shape apart from the frontage which takes the street angle and it has a frontage of 21.205m and the Northern boundary having a max. depth of 49.47m. The site has an approximate area of 927.80m². There is a considerable slope over the site from the front to the rear allowing for an efficient gravity fed stormwater discharge system which the owner has tried to negotiate with any of the rear neighbours unsuccessfully and all the documents and the process has been tabled at the Pre-lodgement meeting for this proposal (App. No. PLM 2020/0043) Stormwater Engineers have been engaged who have designed a gravity fed stormwater collection basin with associated Rain Water Tanks and pumping the stormwater to the street gutter as shown in the submitted Hydraulic Plans. The site has few significant trees and an Arborist has been engaged in order to make an informed decision of the best way to manage the proposed design by preserving the maximum quality greenery and retain the value of the existing trees on the site or the neighbouring sites. The proposal intends to be fully in keeping with the conclusions of the Arborist as stated in his submitted report.

3. THE DEVELOPMENT

The proposed development consists of the following:

- 1) Demolition of the existing single storey clad dwelling with tile roof and all other existing structures in accordance with the relevant laws and disposing it or reusing some materials as per the submitted Waste Management Plan.
- 2) Construction of a new three level main dwelling with a detached Granny Flat dwelling at the rear yard and a detached home office studio. The new structures will have matching construction materials and finishes. The proposal will form two fully self-contained dwellings with separate private open space for each dwelling and one single storey home office studio to be used by the occupants of the main dwelling. The proposal includes undercover car parking for the main dwelling and ample storage area. The proposal is to be of cavity brick construction with a Colorbond metal roof to match the existing later developments in the neighbourhood. The front facade of the proposed new main dwelling has been designed to reflect and compliment the character, colours and materials of the existing neighbouring dwellings making it a good quality infill which will increase the value and the visual aspect of the existing site.

4. SEPP (Affordable Rental Housing) 2009

The proposed secondary dwelling is subject to the provisions entailed within Division 2 of the ARH SEPP.

Zoning and Permissibility

The site is located within the R2 Low Density Residential zone and therefore the ARH SEPP applies.

Development Standards

The maximum permitted gross floor area for the secondary dwelling is 60sqm. The proposed Granny Flat (secondary dwelling) has a gross floor area of 60sqm which satisfies this requirement.

5. WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011 (WLEP 2011)

The site is located within the R2 Low Density Residential zone and therefore the proposed new dwelling and the secondary dwelling are permissible.

PRINCIPAL ENVIRONMENTAL STANDARDS

Height of Buildings

The proposed primary dwelling has been designed to comply to this requirement and when measured from the natural ground level to the top of the roof ridge it is 8.49m. The proposed secondary dwelling maximum height is 4.5m as shown on the submitted set of plans.

Heritage Conservation

The site is located just opposite of the Conservation Area No.C9 (Manly Dam and surrounds) which was the main reason that the proposal was so gently nestled within the existing tree canopy in order not to detract in any way of the current street character which has been preserved almost with no change to the significant trees that are to be preserved and protected during the construction process. The Arborist recommendations have been

implemented in full and all the recommended procedures will be followed as shown on the proposed landscape plan.

DEVELOPMENT ON SLOPING SITE

The development is identified within the "Landslip Risk B" precinct of the WELP 2011 and for this reason Geotechnical Engineers were engaged and their report has been a part of the application for this development. The proposal intends to follow all that has been recommended in the submitted report.

WARRINGAH DEVELOPMENT CONTROL PLAN (WDCP 2011)

PART B: BUILT FORM CONTROLS

B1 Wall Height

The proposed development is on a site with 25% slope from front to the rear and a great care has been taken to design the dwelling with a minimal adverse affects to any of the neighbouring sites. In order to minimise excavation of the natural ground levels, the proposed primary dwelling overall wall height was not able to be contained within the 7.2m requirement and so it has varied between 7.2m up to 8.12m in height, but the secondary dwelling maximum wall height has been contained to only 3.93m and the home office maximum wall height is about 4.2m. Having regard to the moderately steep slope of the site the application should be considered under the exceptions provision which we would like to demonstrate that the proposal satisfies the conditions set out for difficult sites such as this.

The design shows an innovative roof design that suits the split level floors that follow the slope of the land and the special effects that have been adopted to reduce the appearance of bulk and scale when viewed from any elevation. For this reason the proposal involves few wall setbacks, contrasting material colours and roof protrusions which all contribute in the substantial reduction of the bulk and scale for the partial wall encroachment in this proposal. Further and beyond these measures both of the boundary side setbacks to the proposed encroaching walls of the building have been kept at a minimum of 4.5m from the boundaries which demonstrates the intent of the proposal to allow maximum open space for sunlight, air and improved privacy through appropriate space for landscaped gardens creating even greater softening affects on the proposed development.

The proposal is also benefiting from all the existing significant trees that are to remain and be protected during the construction because their canopy is well above the height of the building and they further reduce the bulk and scale of the proposal no matter from where the visual aspect is taken. The effect of the tree canopies can be best visualised on the schematic drawing submitted with the DA application showing the proposed development, the slope of the land, the downstream neighbouring dwelling and all other natural land features in the given side view.

The proposal does not hinder any views for any of the neighbouring dwellings nor from any public areas. The neighbouring dwellings are positioned in such a way relating to the proposal that on this point we do not expect any negative impact. Because of the slope of the land and the position of the proposed primary dwelling, both of the neighbouring two storey dwellings facing the rear will have unobstructed distant views as shown schematically on the aerial view montage submitted with this DA application.

The proposal has demonstrated in varies ways to be sensitive and to minimise any adverse impact to any of the neighbouring dwellings. The greater than normal side setbacks of 4.5m and also the stepped down form of the structure allows sufficient sunlight

to the southern boundary even in the worst winter months and also reduces the bulk and scale to the neighbouring dwelling and by minimising the window openings on the side it reduces overlooking on to the neighbouring private open space. Similarly the proposal has been sensitive to the northern side by allowing a large side boundary setback of 4.5m with a wide landscaped garden to separate the dwellings and in various ways of reducing the bulk and scale of the proposed northern side facade. Also where possible windows have been avoided facing the northern side boundary in order to minimise overlooking on to the neighbouring dwelling.

The proposal has been designed in such a way to allow for a minimum amount of excavation on the southern side in order to allow for the best use of the lower floor level which will be hardly visible from the street view and in so doing it allows the northern side elevation to have no excavation at all. The northern side will be easily visible from the street level which will show a wide open space with a natural slope of the land fully landscaped as shown on the submitted Landscape Plan. The natural slope of the land demanded a split level design for each of the floor levels which as shown on the submitted plans it provides well balanced use of the living and sleeping areas. The proposal provides a well thought usable spaces and in turn a good quality dwelling living facility.

The proposal demonstrates an innovative design of the roof structure which limits the height of all the external walls which in turn reduces the bulk and scale of the structure. The roof design provides assimilation with the street scape character and in turn the proposal will be as a fitting infill within the provided space. The roof being stepped down with some cladding features on the sides as painted weather board cladding will further reduce the bulk of the structure and provide sufficient character interest.

WE ask the Council to consider the proposed variation to the 7.2m wall height on the merit of the compliance in general to all the objectives as listed in the DCP Control.

B3 Side Boundary Envelope

The WDCP 2011 requires that from a 4.0m height the building envelope will be projected at 45 degrees in order to keep the proposed building structures within the envelope. In this regard the Primary Dwelling and the Secondary Dwelling are both within the envelope limits. The proposed development complies with the requirements of this control.

B5 Side Boundary Setbacks

The WDCP 2011 permits 900mm minimum side setback, but because of the boundary envelope the proposed primary dwelling allows for 4.5m side setback to the north and 2.5m minimum side setback to the south. The secondary dwelling provides 2.425m to the north boundary and the home studio provides 1.5m setback to the south boundary. The proposed development complies with the requirements of this control.

B7 Front Boundary Setbacks

The WDCP 2011 requires a minimum of 6.5m front setback. The proposal provides minimum of 7.0m front setback, but overall because of the street boundary being on an angle the front setback is much greater. The proposed development complies with the requirements of this control.

B9 Rear Boundary Setbacks

The WDCP 2011 requires a minimum of 6.0m setback. The proposed secondary dwelling and the private outdoor deck provide 6.0m setback as required by the DCP but the home

office studio provides 7.70m rear setback. The proposed development complies with the requirements of this control.

C3 Parking Facilities

The DCP requirement is for a minimum of 2 off-street parking spaces and the garage openings not to exceed 6.0m or 50% of the building width... The primary dwelling provides for two car garage and the garage openings in total are less than what is maximum permitted. The proposed development complies with the requirements of this control.

C4 Stormwater

There is a considerable slope over the site from the front to the rear allowing for an efficient gravity fed stormwater discharge through a downstream easement system which the owner has tried to negotiate with any of the rear neighbours unsuccessfully and all the documents and the process has been tabled at the Pre-lodgement meeting for this proposal (App. No. PLM 2020/0043) On the advice from the Council a Stormwater Engineer have been engaged who has designed an OSD a gravity fed stormwater collection basin with associated Rain Water Tanks for the primary and the secondary dwellings and the OSD rainwater to be pumped to the street gutter as shown in the submitted Stormwater Concept Plans. The proposal intends to comply with this councils requirement.

C4 Erosion and Sedimentation

The Sediment Control Plan has been prepared and submitted which includes specific details and specification in regard to this clause. The proposal intends to comply with this councils requirement.

C5 Waste Management

The waste management plan has been prepared and submitted which identifies and quantifies best measures of minimising and disposing of waste during the construction. The proposal intends to comply fully with the councils minimum requirements.

D1 Landscaped Open Space and Bushland Settings

The control stipulates that development shall ensure at least 40% of the site area is landscaped open space. In calculating landscaped open space, natural impervious surfaces such as rock outcrops area included in the calculation, whereas landscaped areas with dimensions less than 2m are excluded. The original proposal at the pre- DA stage provided reduced landscape area because of the second driveway going all the way down to the secondary dwelling, but when the driveway was deleted from the proposal the landscaped area has increased to be much greater than the required 40% of the site.

The landscaped open space area as proposed now has increased to 53.6% of the site which equates to 497.63sqm. This translates as a great advantage to the proposed development in various ways, such as it improves the outdoor recreation facility, it further reduces the bulk and scale of the proposal, it adds to the quality of the biodiversity for the site, it creates a greater quality to the visual aspect from the street view and many other benefits that may not need to be mentioned here. The submitted landscape plan shows that the majority of the selected planting is natives including the additional trees that have been selected. The proposed development complies with the requirements of this control.

D7 Views

The control requires that new development is to allow for reasonable view sharing. The proposal intends to demonstrate that this was one of the important aspect in choosing the most accommodating position and shape of all the proposed structures so as to provide most reasonable distant view to the neighbouring dwelling on the northern boundary.

The proposal has been supported with a "schematic Diagram showing Land Slope, Tree Canopy Size and General Views" which provides a clear demonstration that No.2 which is the neighbouring dwelling on the northern boundary will have unobstructed views that the proposed primary dwelling will also share. The diagram shows the neighbouring dwelling in a shaded form for clearer identification and is using the ground levels and the first floor gutter levels for the neighbouring dwelling from the same detail survey as submitted with this application.



The existing dwelling No.4 is on the left and No.2 is on the right taken from the rear yard.

D8 Privacy

The control requires building layout to be designed in a manner that optimises privacy for the occupants of the development and occupants of adjoining properties. The proposal has taken careful consideration of the neighbouring private sensitive areas in order to minimise any given concerns in this regard. In general windows facing the side boundaries have been minimised apart for the middle floor living room facing the southern and western distant views but in such case a narrow balcony has been added with a obscured glass balustrade of 1.2m height which will block the overlooking to any neighbouring windows on the southern side. Most of the windows facing the northern side are obscured glass windows apart for two that are from the kitchen splash-back window and the butler's kitchen window. It is the intention of this proposal to comply with this councils requirement for the benefit of all concerned.

D9 Bulk

The control requires side and rear setbacks to progressively increase as wall height increases and aims to avoid large areas of continuous wall planes. The pre-DA advice was taken in full consideration and articulated wall features with metal roof cover to reduce the wall plane were created including a matching contrasting face brick walls to the upper level which visually creates astatically improved treatment as suggested in the Council's advice. It is our opinion that the proposed development has made sufficient amendments in order to comply with the objectives in reducing the bulk of the primary dwelling. For these reasons the proposal in our opinion has complied with this requirement.

D12 Glare and Reflections

The external material finish including the metal roof lining shall comply to the Basix requirements in order to minimise solar reflections to neighbouring properties. According to the selected materials and their reflective surfaces the proposal is deemed to comply to this DCP requirement.

E1 Preservation of trees or Bushland Vegetation

The site has a cluster of large trees at the front and all efforts have been taken to best preserve and retain the majority of the trees in the recommendation of the Arborist report prepared specifically for this site. Please refer to the submitted Arborist Report which supports the DCP objectives and it has been followed as prescribed in detail.

E4 Wildlife Corridors

The site is identified within the 'Wildlife Corridors' precinct under the provisions of the Council's DCP2011 and for that reason the plant species selected and the cluster density as shown in the landscape design are types of native species that promote and encourage biodiversity to occur where the specific wildlife will thrive and be sustained in much greater measure than at present. The proposal intends to bring a greater benefit to the local wildlife setting and in this regard the proposal complies with the WDCP requirements.

E6 Retaining unique environmental features

The rocky outcrops have been shown on the Landscape plan and it is the intent for the proposal to preserve them as environmental features during the construction and finalising the landscape works of the site. The proposal complies with the objectives of the WDCP in this regard.

10. CONCLUSION

Overall the proposal is considered to have a negligible impact on both the environment and the aesthetic appearance of the area. It is typical of a development within the area and will result in an improvement in the appearance of the existing structures and the biodiversity of the site. The proposal will take advantage of the site's topography and the natural contours, and provide a development of high quality. Over all it will provide a quality life style to the occupants and improved landscaped infill. We suggest approval of this proposal.