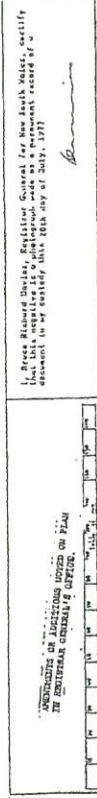


Form No. 4---To be used in conjunction with Forms 2 or 3.



FEET INCHES		METRES	
1	30	0.254	30.48
2	6	0.508	60.96
3	9 1/2	0.762	91.44
4	12	1.016	121.92
5	15 1/4	1.270	152.40
6	18 1/2	1.524	182.88
7	21 3/4	1.778	213.36
8	24 3/4	2.032	243.84
9	27 3/4	2.286	274.32
10	30 3/4	2.540	304.80
11	33 3/4	2.794	335.28
12	36 3/4	3.048	365.76
13	39 3/4	3.302	396.24
14	42 3/4	3.556	426.72
15	45 3/4	3.810	457.20
16	48 3/4	4.064	487.68
17	51 3/4	4.318	518.16
18	54 3/4	4.572	548.64
19	57 3/4	4.826	579.12
20	60 3/4	5.080	609.60
21	63 3/4	5.334	640.08
22	66 3/4	5.588	670.56
23	69 3/4	5.842	701.04
24	72 3/4	6.096	731.52
25	75 3/4	6.350	762.00
26	78 3/4	6.604	792.48
27	81 3/4	6.858	822.96
28	84 3/4	7.112	853.44
29	87 3/4	7.366	883.92
30	90 3/4	7.620	914.40
31	93 3/4	7.874	944.88
32	96 3/4	8.128	975.36
33	99 3/4	8.382	1005.84
34	102 3/4	8.636	1036.32
35	105 3/4	8.890	1066.80
36	108 3/4	9.144	1097.28
37	111 3/4	9.398	1127.76
38	114 3/4	9.652	1158.24
39	117 3/4	9.906	1188.72
40	120 3/4	10.160	1219.20
41	123 3/4	10.414	1249.68
42	126 3/4	10.668	1280.16
43	129 3/4	10.922	1310.64
44	132 3/4	11.176	1341.12
45	135 3/4	11.430	1371.60
46	138 3/4	11.684	1402.08
47	141 3/4	11.938	1432.56
48	144 3/4	12.192	1463.04
49	147 3/4	12.446	1493.52
50	150 3/4	12.700	1524.00
51	153 3/4	12.954	1554.48
52	156 3/4	13.208	1584.96
53	159 3/4	13.462	1615.44
54	162 3/4	13.716	1645.92
55	165 3/4	13.970	1676.40
56	168 3/4	14.224	1706.88
57	171 3/4	14.478	1737.36
58	174 3/4	14.732	1767.84
59	177 3/4	14.986	1798.32
60	180 3/4	15.240	1828.80
61	183 3/4	15.494	1859.28
62	186 3/4	15.748	1889.76
63	189 3/4	16.002	1920.24
64	192 3/4	16.256	1950.72
65	195 3/4	16.510	1981.20
66	198 3/4	16.764	2011.68
67	201 3/4	17.018	2042.16
68	204 3/4	17.272	2072.64
69	207 3/4	17.526	2103.12
70	210 3/4	17.780	2133.60
71	213 3/4	18.034	2164.08
72	216 3/4	18.288	2194.56
73	219 3/4	18.542	2225.04
74	222 3/4	18.796	2255.52
75	225 3/4	19.050	2286.00
76	228 3/4	19.304	2316.48
77	231 3/4	19.558	2346.96
78	234 3/4	19.812	2377.44
79	237 3/4	20.066	2407.9

AC NO P -	HA
3 - 15 1/2	1,253

L498406
DP237855
1419 3 3 144

(3) (5)

INSTRUMENT SETTING OUT TERMS OF EASEMENTS AND RESTRICTIONS AS TO USER INTENDED TO BE CREATED PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1919-1984.

Sheet 3 of 3 Sheets

PART 11

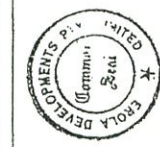
Plan: DP237855
Subdivision of Lot 16 in D.P. 533443 and Lot 2 in D.P. 527791 covered by Council Clerk's Certificate No. 7033 of 1985.

Full name and address of proprietor of the land:
Erola Developments Pty. Limited,
37 York Street, Sydney.

TERMS OF RESTRICTIONS AS TO USER FOURTHLY REFERRED TO IN ABOVE-MENTIONED PLAN.

(Continued)

- (1) For the benefit of any adjoining land owned by the transferor but only during the ownership thereof by the transferor its successors and assigns other than purchasers on sale no fence shall be erected on the land hereby transferred to divide the same from such adjoining land without the consent of the transferor but such consent shall not be withheld if such fence is erected without expense to the transferor and in favour of any person dealing with the transferee such consent shall be deemed to have been given in respect of every such fence for the time being erected.
 - (2) The transferee shall not excavate carry away or remove or permit to be excavated carried away or removed from the land hereby transferred any earth clay stone gravel soil or sand except so far as may be necessary for the erection in accordance with the covenants herein contained of any such house building erection or swimming pool thereon or for any purposes incidental and/or ancillary thereto.
 - (3) The expression "the land hereby transferred" where herein used shall be deemed to refer separately and severally to each lot hereby transferred and restrictions in this covenant contained shall apply to each lot as if the transferee had given separate covenants in respect of each such lot.
- The benefit of the foregoing covenants shall be appurtenant to the lots benefited as set forth in Part 1 hereof.
- The burden of the foregoing covenants is upon the lots burdened as set forth in Part 1 hereof.
- The restrictions hereby created may be released varied or modified by Erola Developments Pty. Limited without the consent of any other person.



THE COMMON SEAL OF EROLA DEVELOPMENTS PTY. LIMITED was hereunto affixed by authority of the Board of Directors and in the presence of
Director
Secretary

AND WE HEREBY DECLARE that the facts in the foregoing instrument are true and correct and that we are duly authorized to execute the same on behalf of EROLA DEVELOPMENTS PTY. LIMITED.

Witness my hand and seal this 18th day of April 1990.

Director
Secretary

Warragah Shire Council
R. J. ...

L498406
DP237855
1419 3 3 144
15.7.89

Sheet 1 of 3 Sheets

PART 1

Plan: DP237855
Subdivision of Lot 16 in D.P. 533443 and Lot 2 in D.P. 527791 covered by Council Clerk's Certificate No. 7033 of 1985.

Full name and address of proprietor of the land:
Erola Developments Pty. Limited,
37 York Street, Sydney.

1. Identity of easement or restriction referred to in above-mentioned plan:
Easements to drain water throas (3) feet wide

SCHEDULE OF LOTS ETC. AFFECTED

Lots burdened	Lots, name of road or authority benefited
16	Lot 14 in D.P. 237418
17	Lot 16, 51 and Lot 14 in D.P. 237418
18	Lot 17, 18, 51 and Lot 14 in D.P. 237418
19	Lot 18, 17, 13, 51 and Lot 14 in D.P. 237418
20	Lot 14 in D.P. 237418
30	Lot 14 in D.P. 237418
31	Lot 14 in D.P. 237418
32	Lot 14 in D.P. 237418
33	Lot 14 in D.P. 237418
34	Lot 14 in D.P. 237418
35	Lot 14 in D.P. 237418
36	Lot 14 in D.P. 237418
37	Lot 14 in D.P. 237418
38	Lot 14 in D.P. 237418
39	Lot 14 in D.P. 237418
40	Lot 14 in D.P. 237418

2. Identity of easement or restriction secondly referred to in above-mentioned plan:
Easement for Drainage six (6) feet wide

SCHEDULE OF LOTS ETC. AFFECTED

Lots burdened	Lots, name of road or authority benefited
22	Warragah Shire Council

3. Identity of easement or restriction thirdly referred to in above-mentioned plan:
Rights of Carriageway fifteen (15) feet wide

SCHEDULE OF LOTS ETC. AFFECTED

Lots burdened	Lots, name of road or authority benefited
57	58
58	57

4. Identity of easement or restriction fourthly referred to in above-mentioned plan:
Restrictions as to User

SCHEDULE OF LOTS ETC. AFFECTED

Lots burdened	Lots, name of road or authority benefited
16 to 59 incl.	Every other lot

Warragah Shire Council
R. J. ...

AMENDMENTS AND/OR ADDITIONS MADE ON PLAN IN THE LAND TITLES OFFICE															
10	20	30	40	50	60	70	Table of mm	110	120	130	140				

This negative is a photograph made as a permanent record of a document in the custody of the Registrar General this day, 18th April, 1990



A. Alward

L498406
L498405
L498406

Instrument pursuant to Regulation 92D Conveyancing
Act Regulations, 1961, setting out the terms of
assessments or restrictions as to user created by
registration of the within-mentioned Deposited Plan. 237855
14-7-1969

INSTRUMENT SETTING OUT TERMS OF EASEMENTS AND RESTRICTIONS AS TO USER INTENDED
TO BE CREATED PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1919-1964

Sheet 2 of 3 Sheets

PART 11

Subdivision of Lot 10 in D.P. 533443
and Lot 2 in D.P. 527991 covered by
Council Clerk's Certificate No. 7033
of 1965

Plan: DP237855

Full name and address of
proprietor of the land:
Evole Developments Pty. Limited,
37 York Street, Sydney.

TERMS OF EASEMENT FOR DRAINAGE SIX (6) FEET WIDE SECONDLY REFERRED TO IN
ADJOINED PLAN

Easement to drain water as set out in Part 111 Schedule 1Va of the
Conveyancing Act 1919-1964.

TERMS OF RESTRICTIONS AS TO USER FOURTHLY REFERRED TO IN ADJOINED PLAN

- (a) Not more than one main building shall be erected or permitted to remain on the land hereby transferred.
- (b) No such main building shall be erected or used otherwise than as a single private dwelling house provided that this restriction shall not prevent the use of any such building by a medical practitioner or dentist in the practice of his profession.
- (c) No building shall be erected on the land hereby transferred with external walls or wall of materials other than brick stone concrete glass or timber or any combination of the said materials and the building shall not be erected on the land hereby transferred in conjunction with all or any of the other walls or walls of materials in this clause referred to and the proportions of timber so used in relation to the total external wall area shall not exceed 25 per cent thereof PROVIDED THAT nothing in this covenant contained shall preclude or prohibit a building having the inner framework of its external walls constructed of timber or other materials with an external brick face or veneer.
- (d) No garage or outbuilding shall be erected or permitted to remain on the land hereby transferred except until after or concurrently with the erection of any such main building.
- (e) No main building erected or permitted to remain on the land hereby transferred shall have a minimum living area excluding any attached garage or car port under the main roof of less than 1000 square feet.
- (f) Except where otherwise required by any public body or authority no sanitary conveniences erected or permitted to remain on the land hereby transferred shall be detached or separated from any main building erected thereon.
- (g) Where any sanitary convenience is required by any public body or authority to be and remain detached from any such main building no such sanitary convenience shall be erected or permitted to remain in a conspicuous place or position on the land hereby transferred and if the same is visible from the road or other lots in the subdivision the same shall be suitably screened.
- (h) Any dividing fence erected along the boundaries of the land hereby transferred which extend from the building alignment of the main building to the street frontage shall not exceed 2'6" in height.
- (i) No main building shall be erected or permitted to remain on the land hereby transferred unless the same shall be connected to the sewer if available and if not available to a septic tank installation the design and construction of which is acceptable to the proper authorities. If approval of the said septic tank installation cannot be obtained then connection shall be to a septic closet the design and construction of which is acceptable to the proper authorities.

14-7-1969
A. Alward

AMENDMENTS AND/OR ADDITIONS MADE ON
PLAN IN THE LAND TITLES OFFICE

This negative is a photograph made as a permanent
record of a document in the custody of the
Registrar General this day. 18th April, 1990

10 20 30 40 50 60 70 Table of mm 110 120 130 140

