

Certificate No. 0009284688-01
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Assessor name Martin Pinson
Accreditation No. DMN/19/1921
Property Address 6 6 Mitchell Road, Palm Beach NSW, 2108
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LEVEL	DR/WD NO.	ROOM	SIZE	TYPE	ORIENTATION	FRAMING	GLASS TYPE	OTHER
ENTRY /GARAGE								
	EF01	ENTRY	1600 X 2100	SOLID TIMBER DOOR + SIDELIGHTS	WEST	TIMBER	CLEAR	
	EF02	ENTRY	2400 X 1200	HOPPER WDS + FIXED	EAST	TIMBER	CLEAR	FACING CLIFF
	EF03	ENTRY	5270 X 1200	HOPPER WDS + FIXED	NORTH	TIMBER	CLEAR	EXTERIOR SHADING
	EF04	STAIRS	1200 X 1200 X 2400	HOPPER WDS + FIXED	SOUTH/EAST	TIMBER	CLEAR	
	EF05	GARAGE	4500 X 2100	TIMBER PANEL LIFT	WEST	TIMBER	CLEAR	
	EF06	GARAGE	3600 X 790	HOPPER WDS + FIXED	EAST	TIMBER	CLEAR	FACING CLIFF
BEDROOM FLOOR								
	BF01	ENSUITE /ROBE	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	BF02	ENSUITE /ROBE	4050 X 1200	HOPPER WDS	SOUTH	TIMBER	CLEAR	
	BF03	ENSUITE	900 X 2100	HOPPER WDS	WEST	TIMBER	CLEAR	
	BF04	ENSUITE	900 X 2100	HOPPER WDS	WEST	TIMBER	CLEAR	
	BF05	MAIN BED	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	BF06	MAIN BED	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	SOUTH	TIMBER	CLEAR	
	BF07	BEDROOM	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	BF08	STUDY	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	BF09	BEDROOM	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	BF10	ENSUITE	1200 X 1200 X 1200	HOPPER WDS + FIXED	EAST/SOUTH	TIMBER	CLEAR	
	BF11	STAIRS	1200 X 1200 X 2400	HOPPER WDS + FIXED	EAST/SOUTH	TIMBER	CLEAR	
	BF12	ENSUITE	900 X 940	HOPPER WDS + FIXED	WEST	TIMBER	CLEAR	FACING CAVE
	BF13	GALLERY	2700 X 1200	HOPPER WDS + FIXED	SOUTH	TIMBER	CLEAR	FACING CAVE
GROUND FLOOR								
	GF01	LIVING/DINING	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	GF02	LIVING/DINING	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	GF03	LIVING/DINING	4050 X 1200	HOPPER WDS	SOUTH	TIMBER	CLEAR	
	GF04	KITCHEN/DINING	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	GF05	LIVING/DINING	900 X 2100	HOPPER WDS	WEST	TIMBER	CLEAR	
	GF06	LIVING/DINING	900 X 2100	HOPPER WDS	WEST	TIMBER	CLEAR	
	GF07	KITCHEN/DINING	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	GF08	KITCHEN/DINING	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	GF09	BUNK ROOM	4050 X 2100	SLIDING DOOR 3 LEAVES 1 FIXED	NORTH	TIMBER	CLEAR	
	GF10	BUNK ROOM	900 X 1500	ALCOVE FIXED GLAZING	NORTH	TIMBER	CLEAR	UNDER DRIVEWAY
	GF11	ENSUITE	1200 X 1200 X 1200	ALCOVE FIXED GLAZING	NORTH	TTIMBER	CLEAR	UNDER DRIVEWAY
	GF12	LAUNDRY	1800 X 940	HOPPER WDS	WEST	TIMBER	CLEAR	
HIGH LEVEL GLAZING								
	HLO1	BEDROOMS	20110 X 430	FIXED GLAZING	NORTH	NIL	CLEAR	
	HLO2	BEDROOMS	1.45 SQM	FIXED GLAZING	WEST	NIL	CLEAR	
	HLO3	BEDROOMS	20110 X 430	FIXED GLAZING	SOUTH	NIL	CLEAR	
	HLO4	LIVING/DINING	20110 X 430	FIXED GLAZING	WEST	NIL	CLEAR	
	HLO5	LIVING/DINING	1.45 SQM	FIXED GLAZING	WEST	NIL	CLEAR	
	HLO6	LIVING/DINING	20110 X 430	FIXED GLAZING	SOUTH	NIL	CLEAR	
	HLO7	BEDROOMS	1.45 SQM	FIXED GLAZING	EAST	NIL	CLEAR	
	HLO8	ENSUITE	0.5 SQM	FIXED GLAZING	EAST	NIL	CLEAR	
	HLO9	BUNK ROOM	1.45 SQM	FIXED GLAZING	EAST	NIL	CLEAR	

HOUSED

BY NANNA LESIUK
 m:0405128186 e:nannalesiuk@housedarchitects.com

project:
6 MITCHELL ROAD PALM BEACH
LOT 1 DP 1086858
 living in landscapes of cliffs, caves + sea
 Design: Stephen Lesiuk

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drawing:
 DAO COVER PAGE + WINDOWS

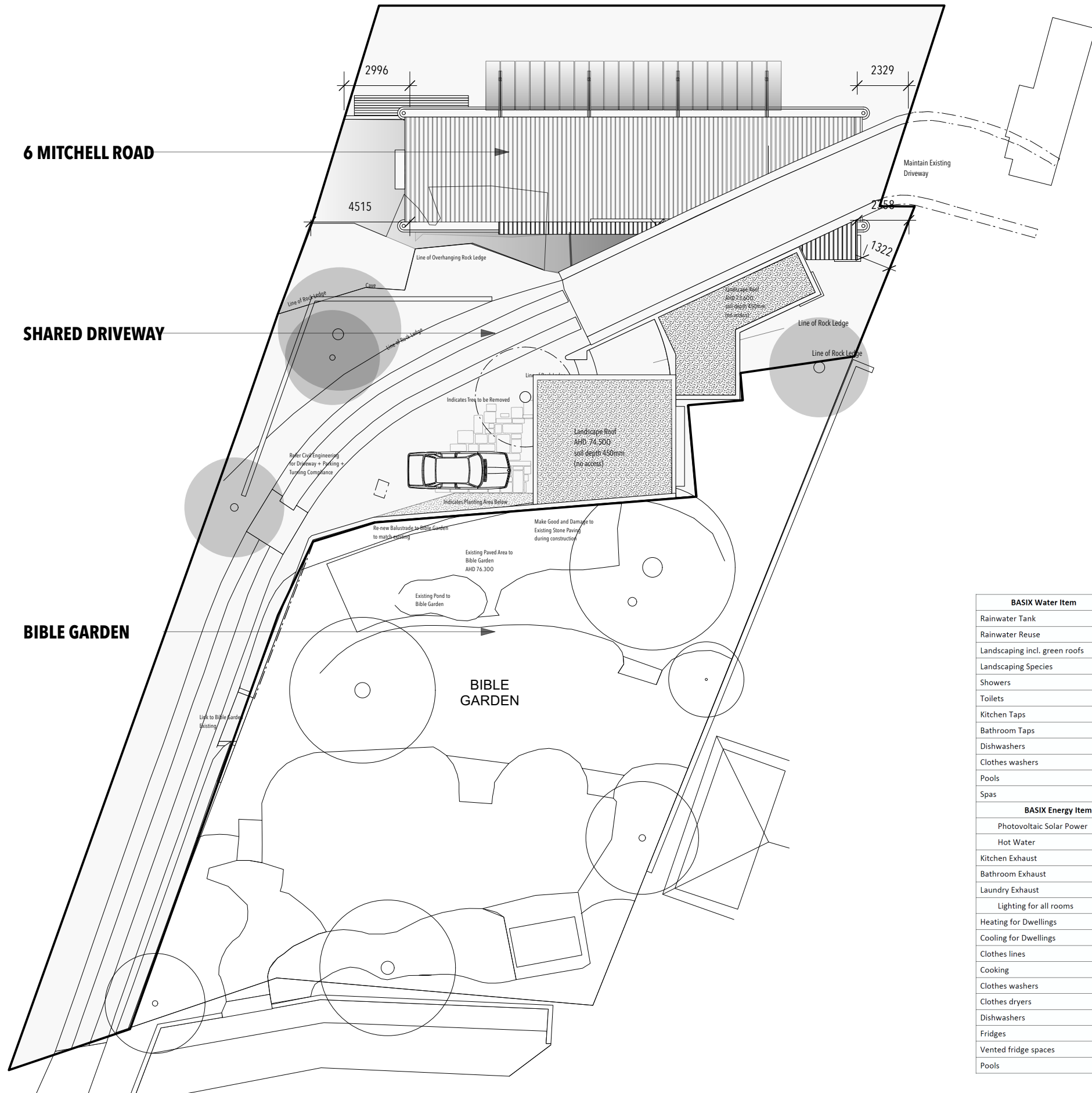
status :
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date :
 23/5/2024

scale :
 1:1

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 scale bar





BASIX Water Item	Proposed
Rainwater Tank	2.0 kL tank collecting > 171 m ² roof
Rainwater Reuse	Irrigation, Laundry, Pool (no Toilets)
Landscaping incl. green roofs	<400m ²
Landscaping Species	300m ² (of 400) = Locally indig/1 drop
Showers	≤ 9 L/min (i.e. least-efficient 4 star)
Toilets	4 star, or better
Kitchen Taps	5 star, or better
Bathroom Taps	6 star, or better
Dishwashers	Not assessed
Clothes washers	Not assessed
Pools	12kL or less
Spas	None
BASIX Energy Item	Proposed
Photovoltaic Solar Power	5kW
Hot Water	Heat pump with STCs >31
Kitchen Exhaust	Fan to façade/roof - manual switch
Bathroom Exhaust	Fan to façade/roof - manual switch
Laundry Exhaust	Fan to façade/roof - manual switch
Lighting for all rooms	LEDs or CFLs for ≥80% fittings (dedicated)
Heating for Dwellings	1 phase (unzoned) EER>3.0
Cooling for Dwellings	1 phase (unzoned) EER>3.0
Clothes lines	External clothes lines
Cooking	Gas cooktop + electric oven
Clothes washers	Not assessed
Clothes dryers	Not assessed
Dishwashers	Not assessed
Fridges	Not assessed
Vented fridge spaces	Not assessed
Pools	12kL or less (solar heating only + pump timer + no cover)

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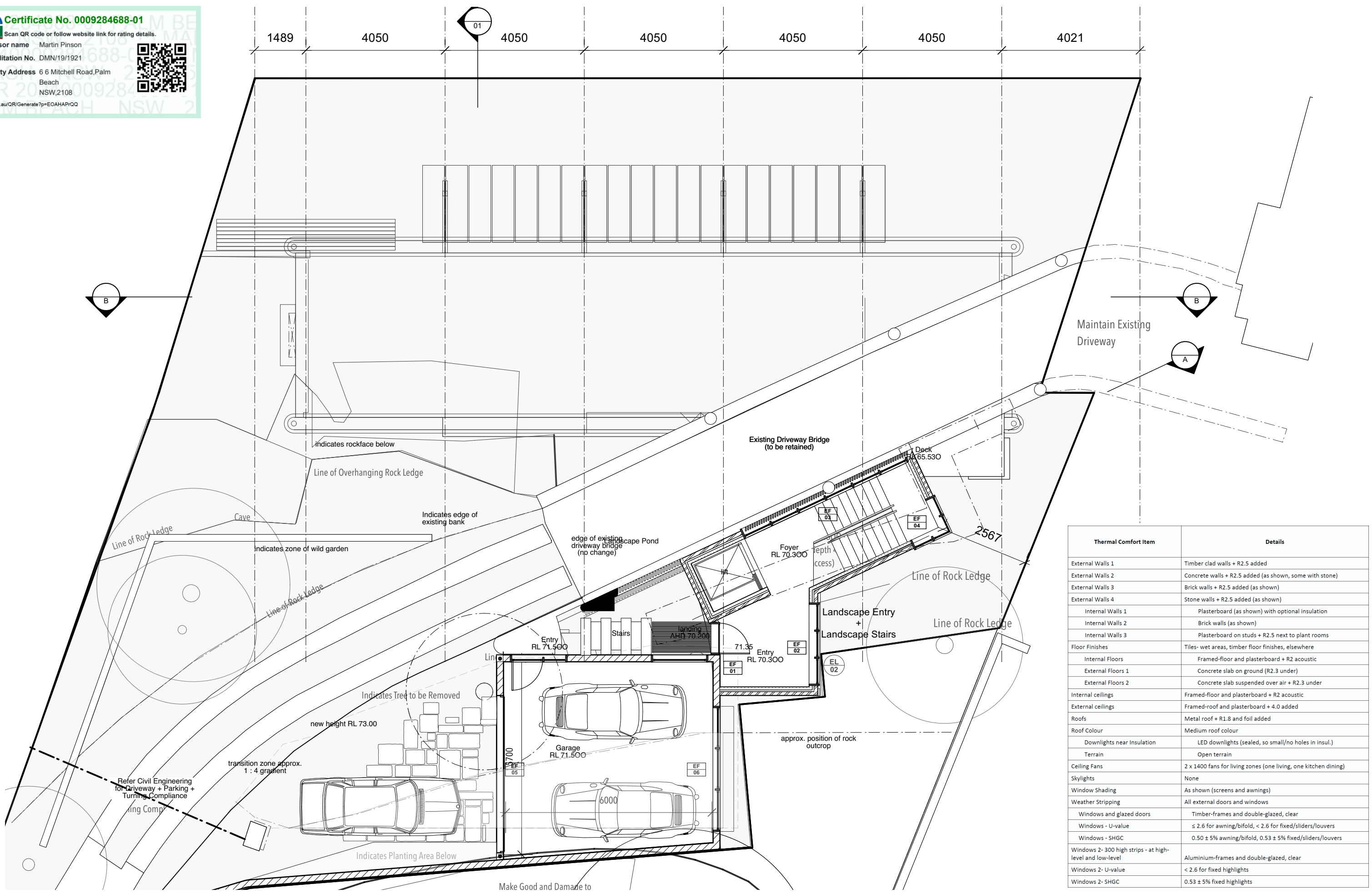
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drawing:
 DA01 SITE PLAN / ROOF PLAN
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Thermal Comfort Item	Details
External Walls 1	Timber clad walls + R2.5 added
External Walls 2	Concrete walls + R2.5 added (as shown, some with stone)
External Walls 3	Brick walls + R2.5 added (as shown)
External Walls 4	Stone walls + R2.5 added (as shown)
Internal Walls 1	Plasterboard (as shown) with optional insulation
Internal Walls 2	Brick walls (as shown)
Internal Walls 3	Plasterboard on studs + R2.5 next to plant rooms
Floor Finishes	Tiles- wet areas, timber floor finishes, elsewhere
Internal Floors	Framed-floor and plasterboard + R2 acoustic
External Floors 1	Concrete slab on ground (R2.3 under)
External Floors 2	Concrete slab suspended over air + R2.3 under
Internal ceilings	Framed-floor and plasterboard + R2 acoustic
External ceilings	Framed-roof and plasterboard + 4.0 added
Roofs	Metal roof + R1.8 and foil added
Roof Colour	Medium roof colour
Downlights near Insulation	LED downlights (sealed, so small/no holes in insul.)
Terrain	Open terrain
Ceiling Fans	2 x 1400 fans for living zones (one living, one kitchen dining)
Skylights	None
Window Shading	As shown (screens and awnings)
Weather Stripping	All external doors and windows
Windows and glazed doors	Timber-frames and double-glazed, clear
Windows - U-value	≤ 2.6 for awning/bifold, < 2.6 for fixed/sliders/louvers
Windows - SHGC	0.50 ± 5% awning/bifold, 0.53 ± 5% fixed/sliders/louvers
Windows 2- 300 high strips - at high-level and low-level	Aluminium-frames and double-glazed, clear
Windows 2- U-value	< 2.6 for fixed highlights
Windows 2- SHGC	0.53 ± 5% fixed highlights

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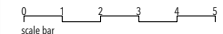

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drawing:
 DA02 ENTRY LEVEL

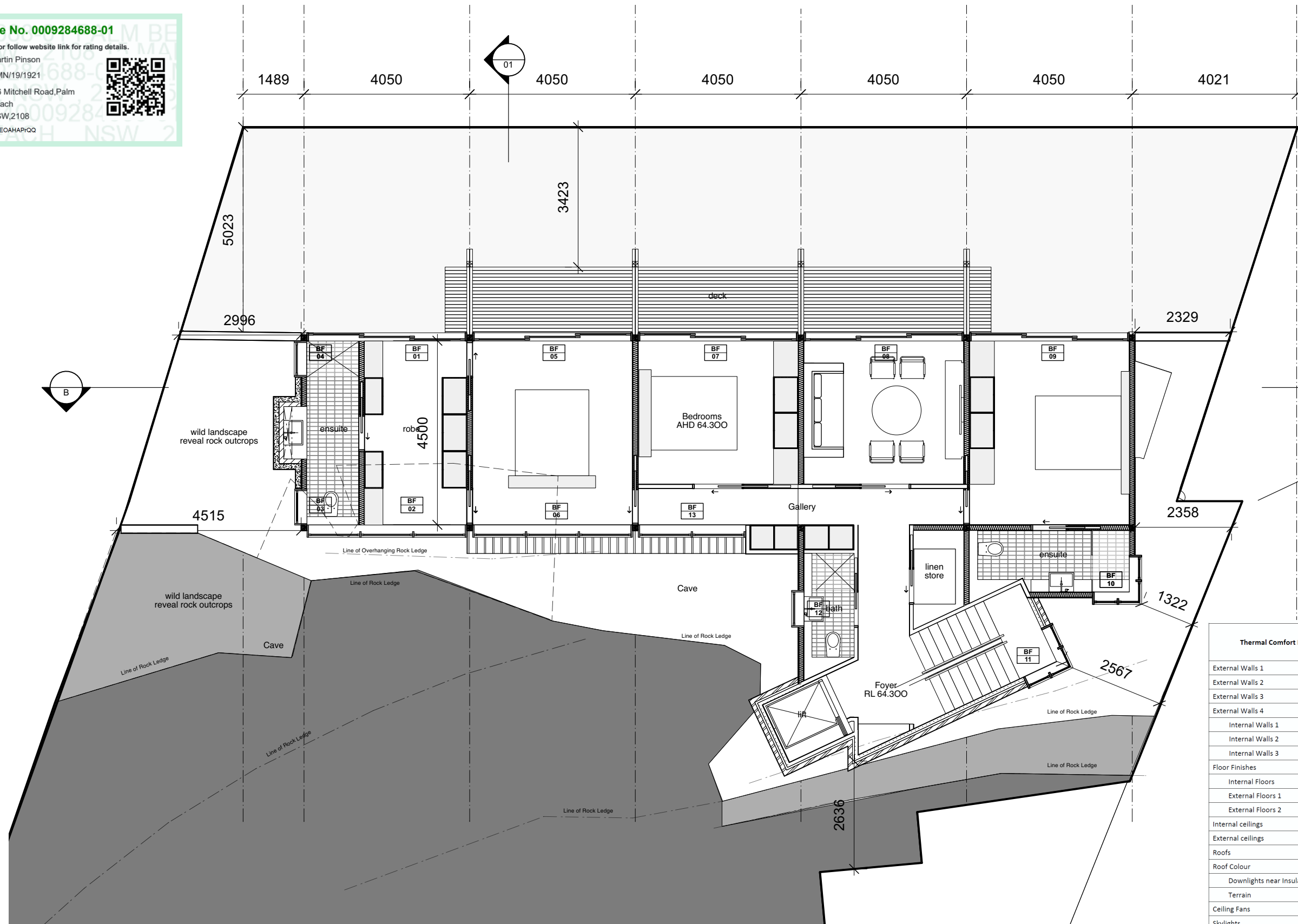
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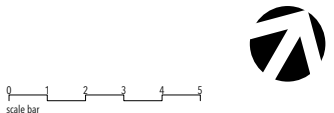
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drawing:
DA03 BEDROOMS

status:
DEVELOPMENT APPLICATION

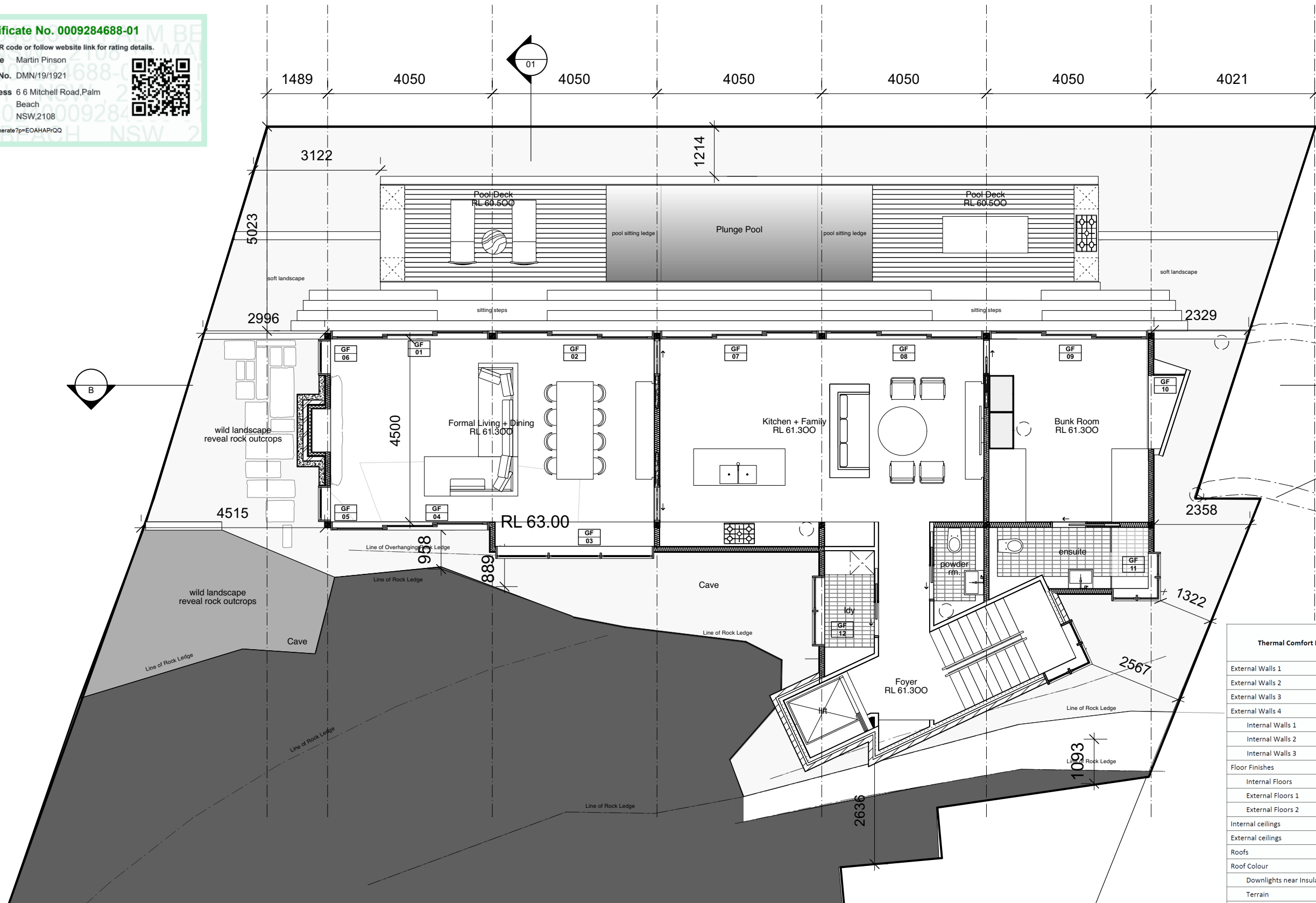
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LOT 1 DP 1086858
 living in landscapes of cliffs, caves + sea
 Design: Stephen Lesiuk

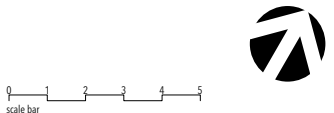
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drawing:
DA04 LIVING

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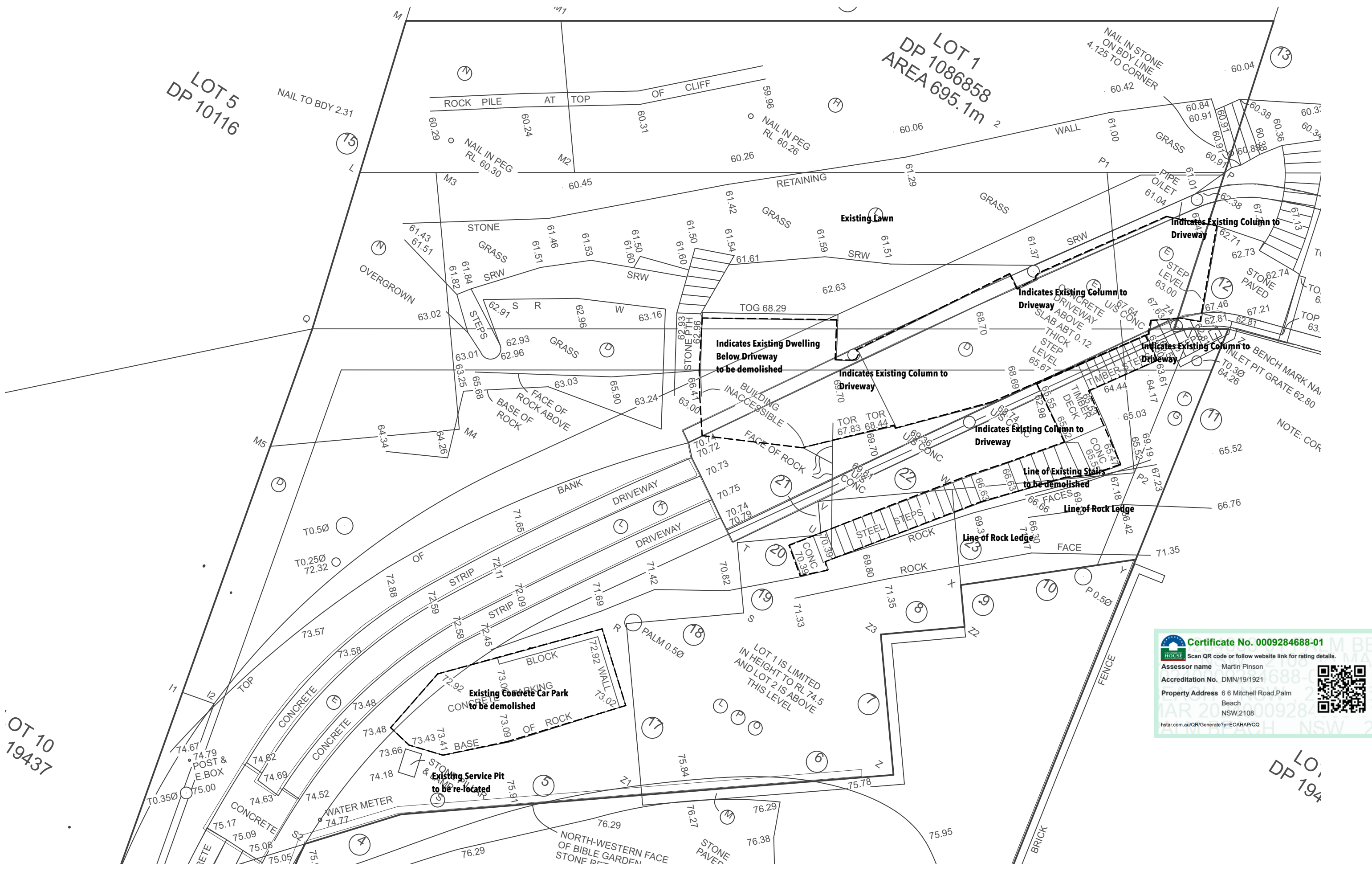
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LOT 5
DP 10116

LOT 1
DP 1086858
AREA 695.1m²



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LOT 10
19437

LOT 1
DP 194

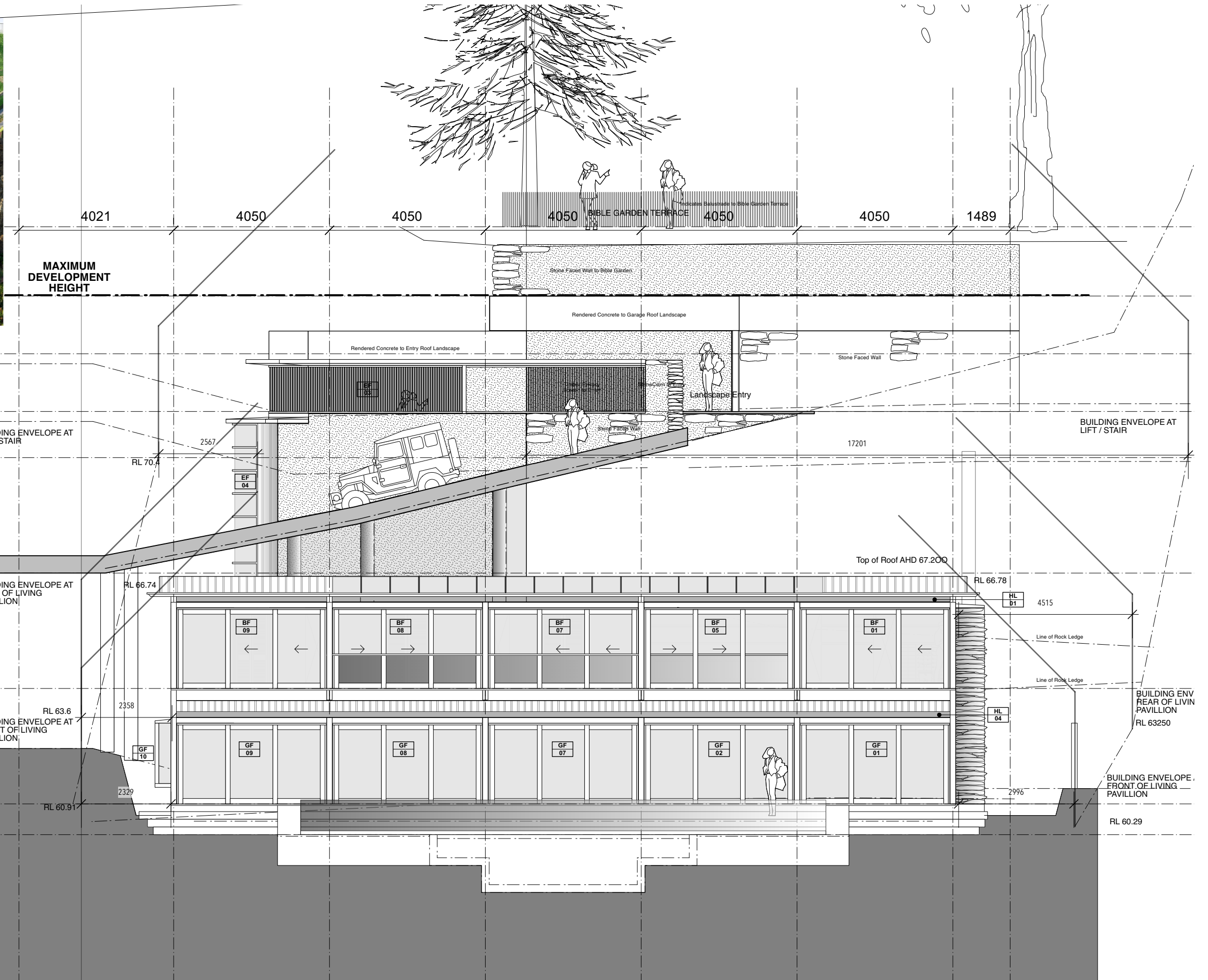
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drawing: DA06	DEMOLITION PLAN
status:	DEVELOPMENT APPLICATION

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drawing:
 DA08 NORTH ELEVATION

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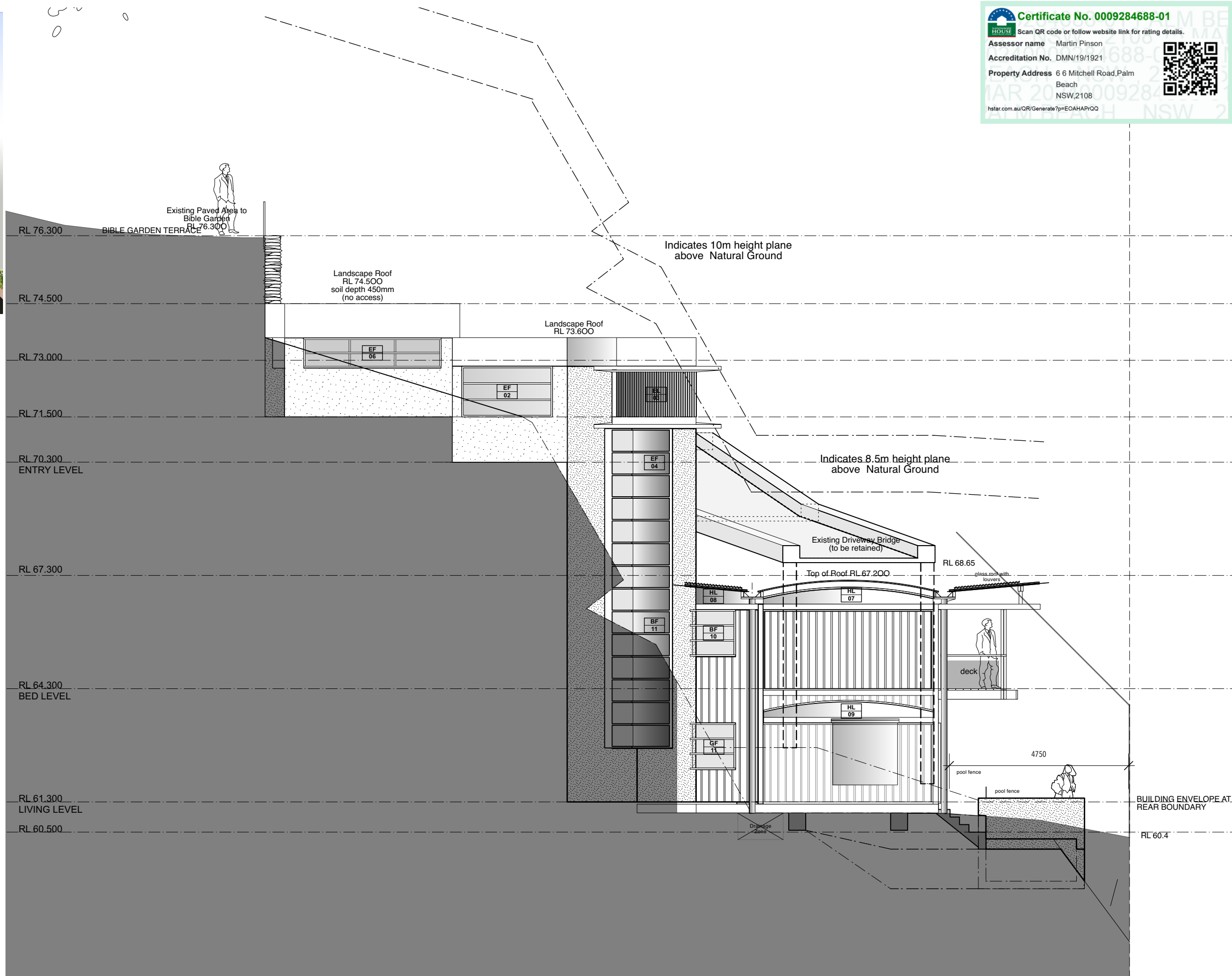
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drawing:
 DA09 EAST ELEVATION

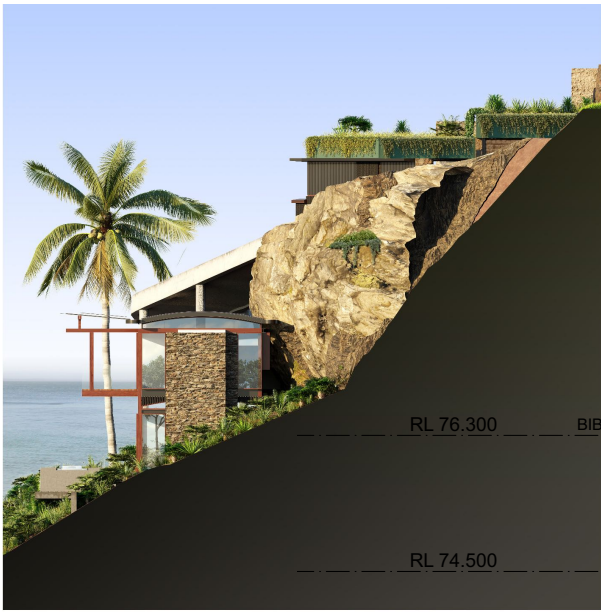
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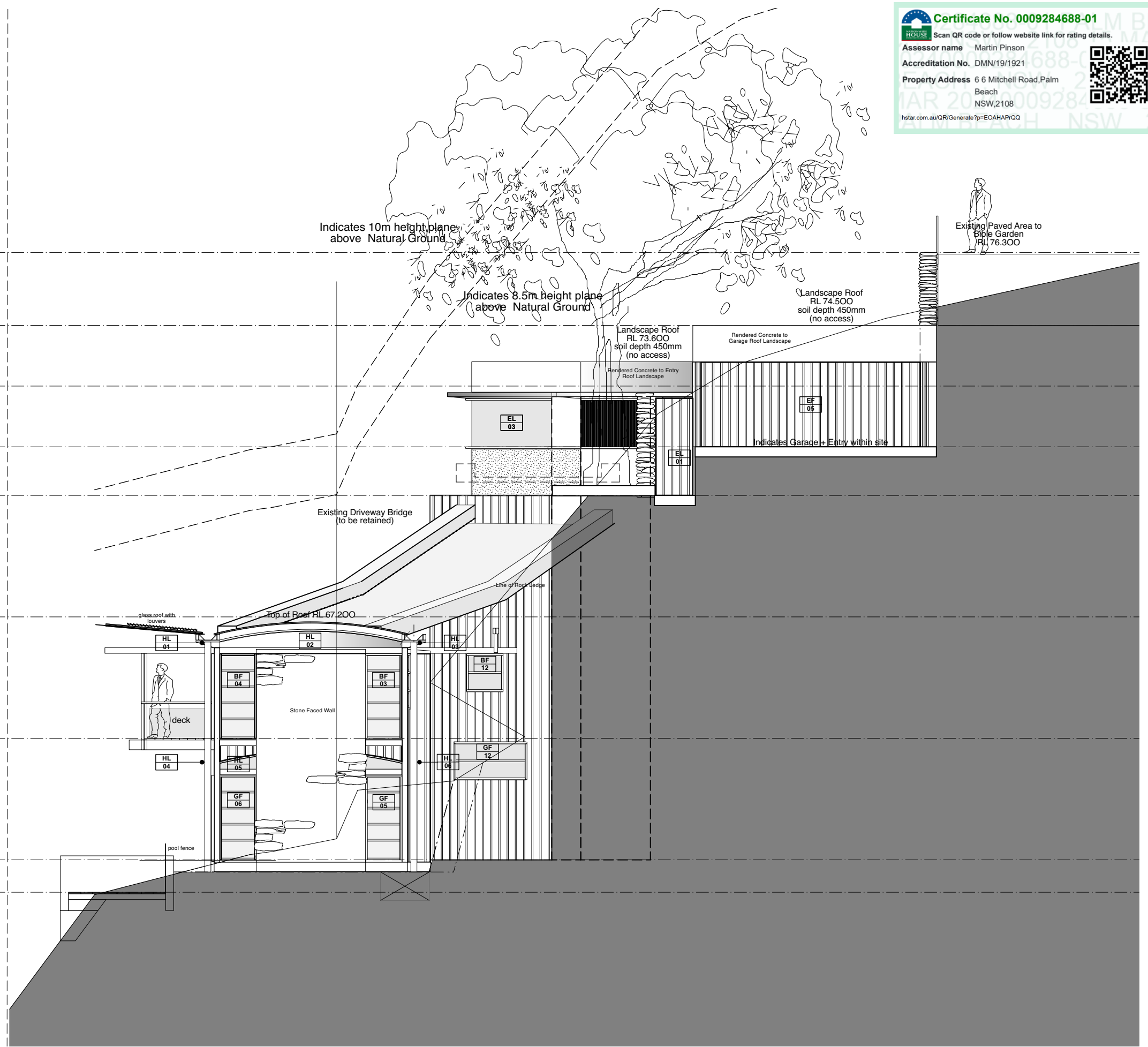
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RL 76.300 BIBLE GARDEN TERRACE
 RL 74.500
 RL 73.000
 RL 71.500
 RL 70.300 ENTRY LEVEL
 RL 67.300
 RL 64.300 BED LEVEL
 RL 61.300 LIVING LEVEL
 RL 60.500



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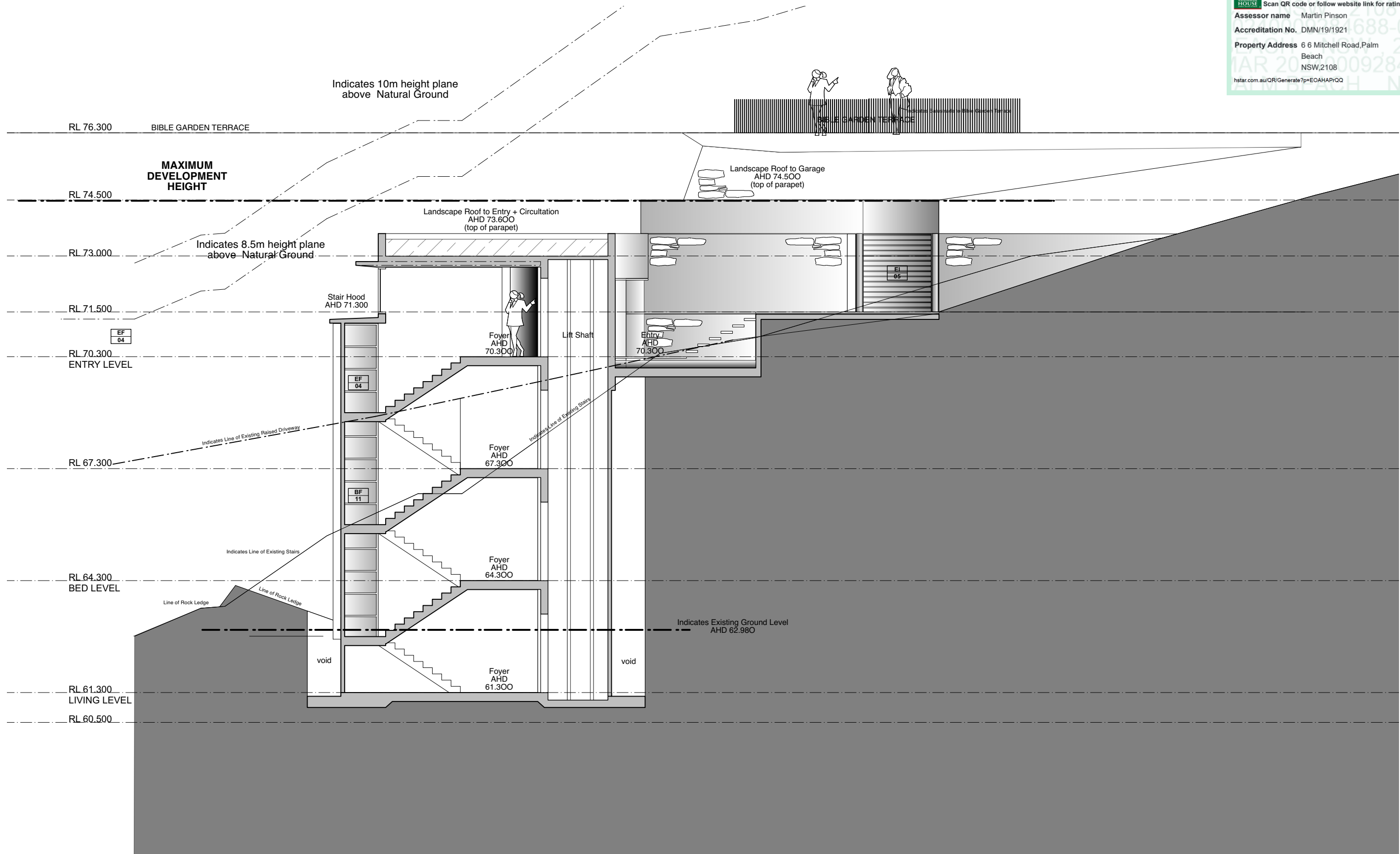
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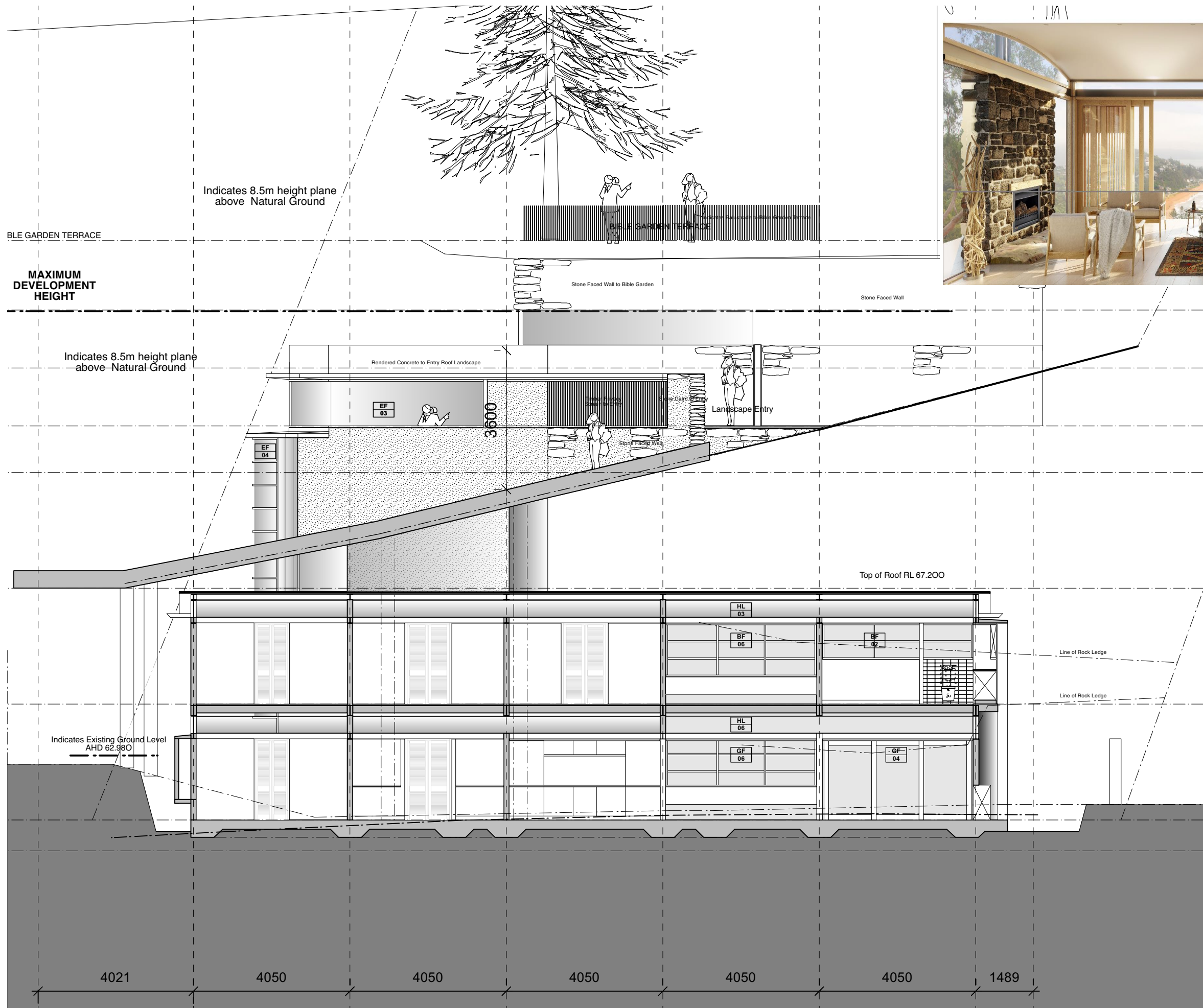
drawing:
 DA10 WEST ELEVATION

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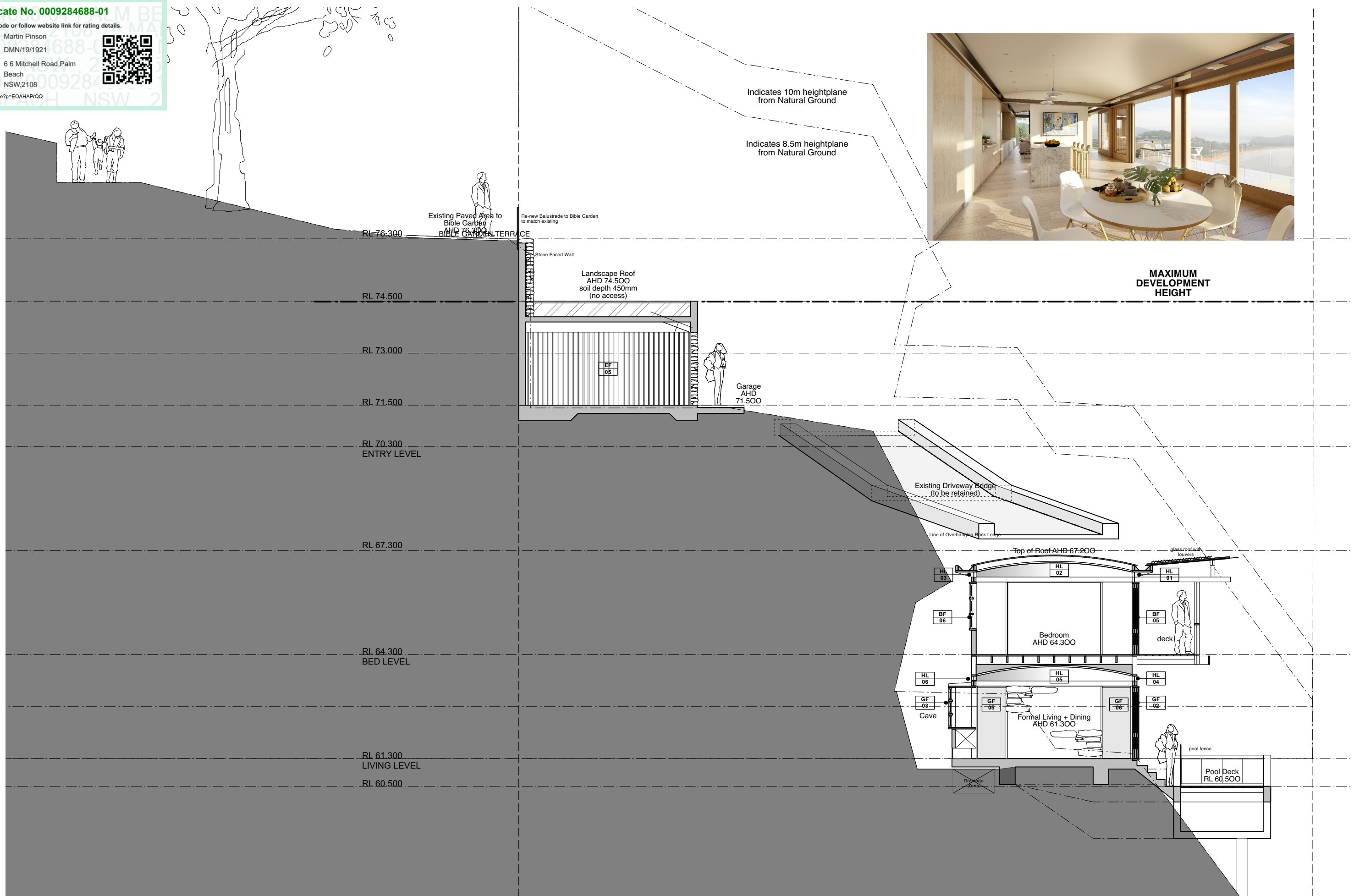
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 Nominated Architect Nanna Lesiuk, 10732

drawing: DA14 SECTION BB - LIVING PAVILION
 status: DEVELOPMENT APPLICATION
 date: 23/5/2024
 scale: 1:100

scale bar: 0 1 2 3 4 5



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HOUSED
 BY NANNA LESIUK
 m:0405128186 e:nannalesiuk@housedarchitects.com

project:
6 MITCHELL ROAD PALM BEACH
LOT 1 DP 1086858
 living in landscapes of cliffs, caves + sea
 Design: Stephen Lesiuk

NOTE: All work to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions.
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 Nominated Architect Nanna Lesiuk, 10732


drawing:
 DA15 SECTION 01 - LIVING PAVILION

status:
 DEVELOPMENT APPLICATION

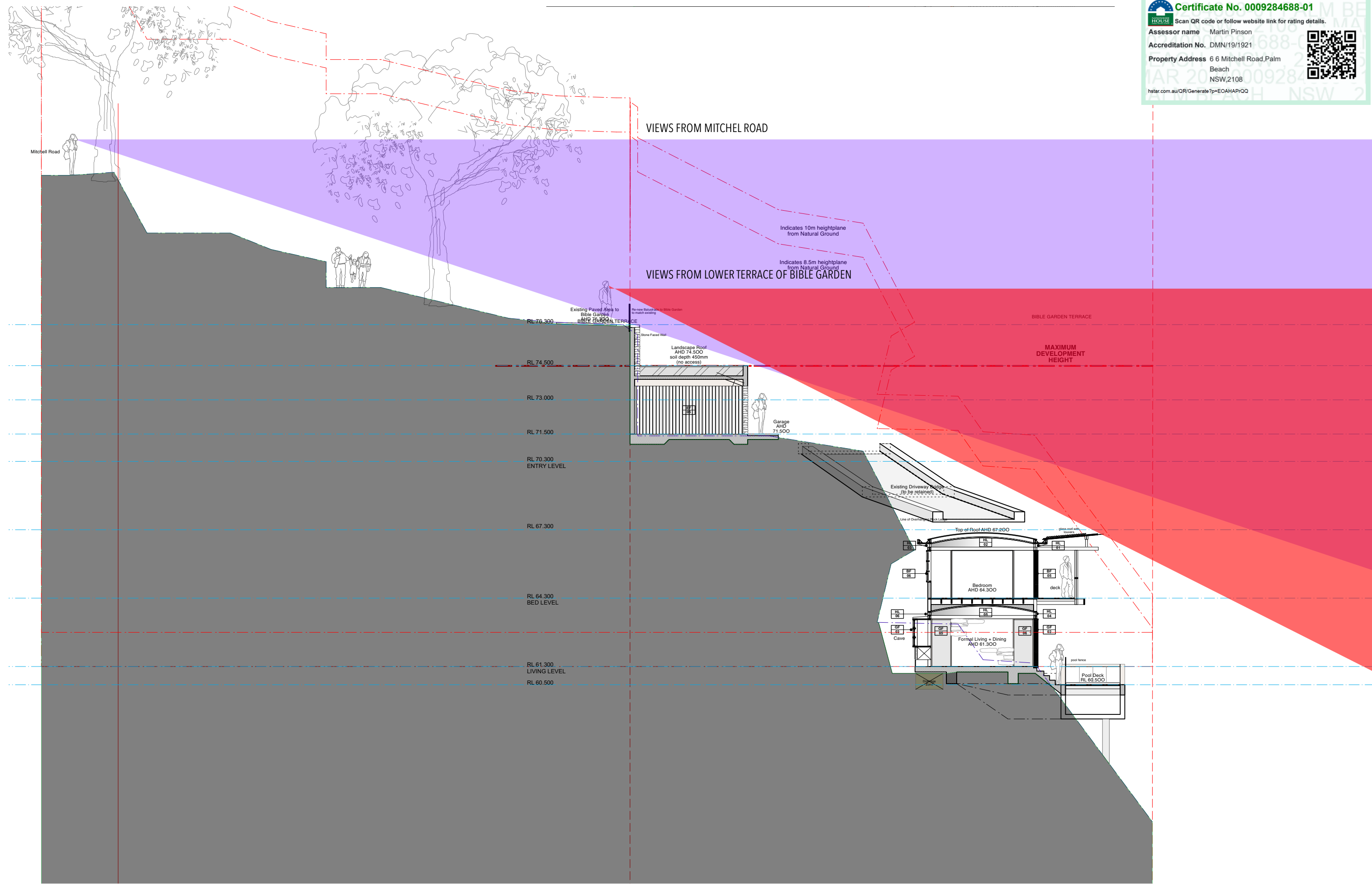
date:
 23/5/2024

scale:
 1:100

0 1 2 3 4 5
 scale bar



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 Nominated Architect Nanna Lesiuk, 10732


drawing:
 DA16 SECTION - VIEW ANALYSIS

status:
 DEVELOPMENT APPLICATION

date:
 23/5/2024

scale:
 1:100

0 1 2 3 4 5
 scale bar





RM01 RENDERED MASONRY
PAINTED, SMOOTH FINISH

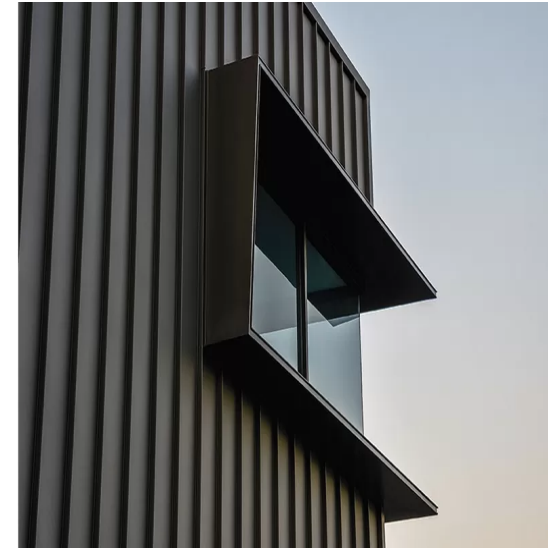
RM02 RENDERED MASONRY
PAINTED, TEXTURED FINISH



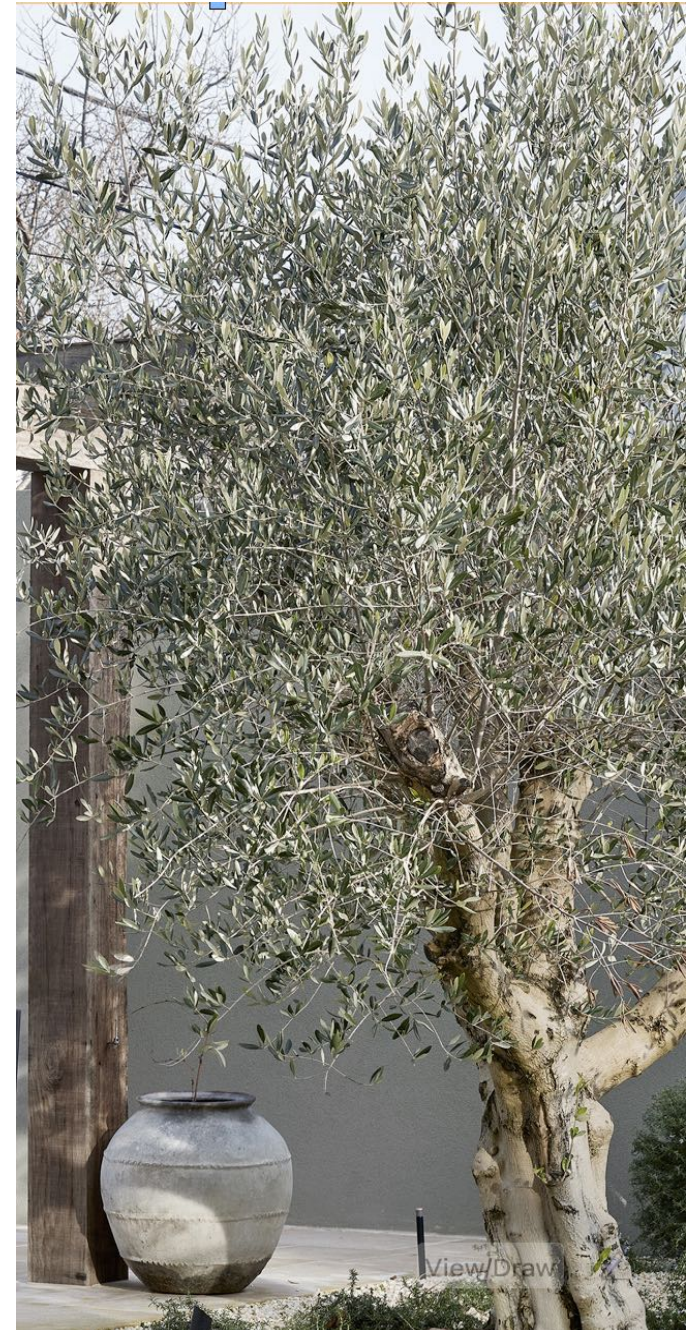
RM03 MASONRY -
BOWRAL SIMMENTAL SILVER



DOORS AND WINDOWS
TIMBER



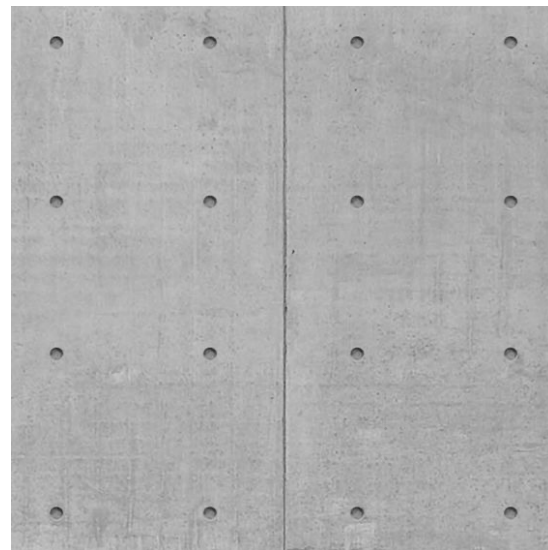
ALU01 METAL POP OUT BOX -



TMB 01 CHARACTER WOOD - SHIP LAP CLADDING
(WOODOS)



SC SANDSTONE



CONC01 CONCRETE FINISH



SF01
EXTERIOR FLOORING/INTERIOR
FLOORING
ECO OUTDOOR SCALA CRAZY FLAGGING

Certificate No. 0009284688-01


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Assessor name Martin Pinson

Accreditation No. DMN/19/1921

Property Address 6 6 Mitchell Road, Palm Beach NSW, 2108

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drawing:
DA21 MATERIALS

status :
DEVELOPMENT APPLICATION

date :
23/5/2024

scale :
1:1

0 1 2 3 4 5
scale bar

