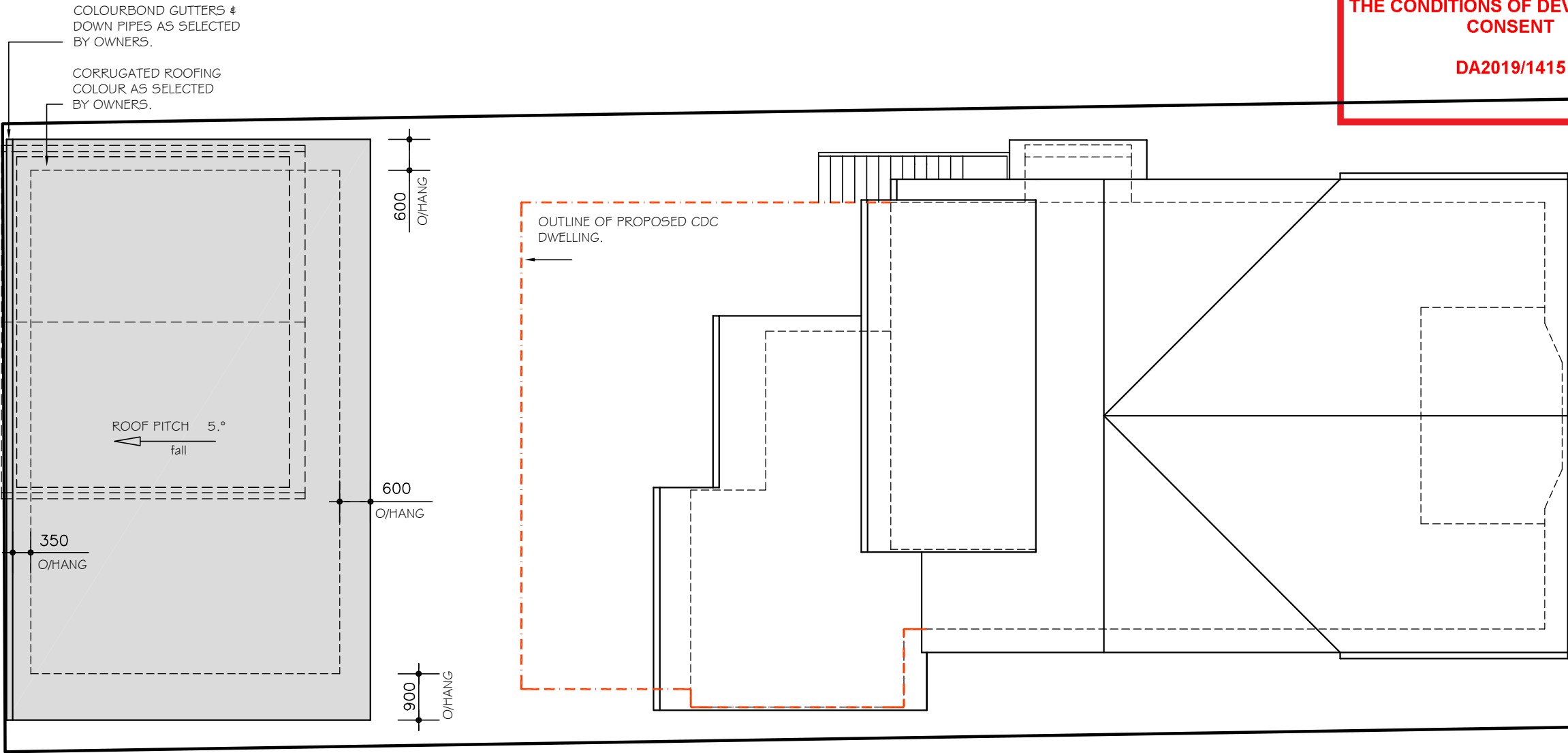


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1415

NOTES

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8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install lift off hinges to all wet area doors .



PROPOSED
ROOF PLAN
SCALE 1:100

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

JENNY BARR

PROPOSED : NEW DETACHED GARAGE AND STUDIO,
TO EXISTING RESIDENCE,

ADDRESS : 23 KANGAROO STREET DP 735841
MANLY LOT 21
NSW 2095

PLAN

SCALE: 1:100

DATE: 14.02.2019

REV:

JOB: 08/18

SHEET No :

DA 04

A3

**THIS PLAN IS TO BE READ IN
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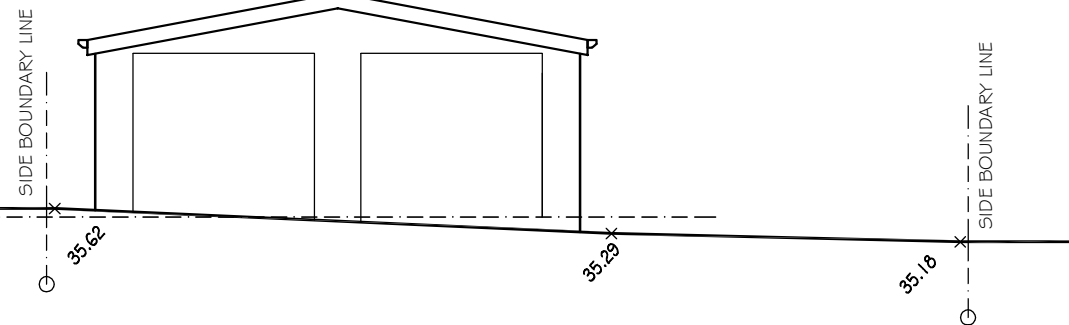
DA2019/1415

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RIDGE LEVEL
RL = 38.470

GARAGE LEVEL
RL = 35.400



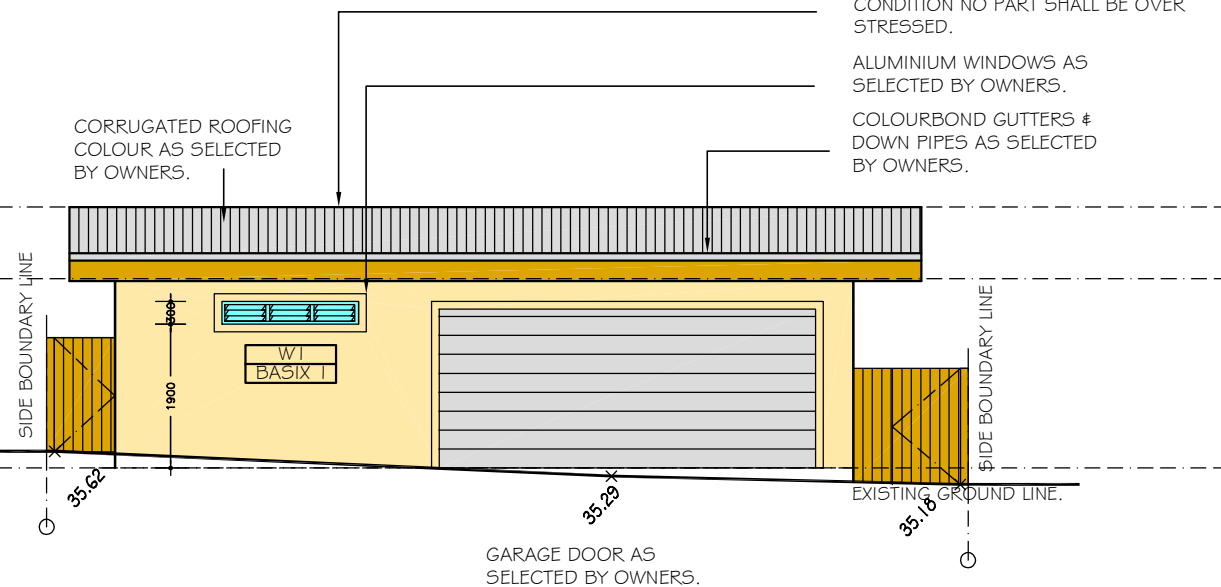
EXISTING
WEST ELEVATION

SCALE 1:100

RIDGE LEVEL
RL = 38.850

CEILING LEVEL
RL = 37.900

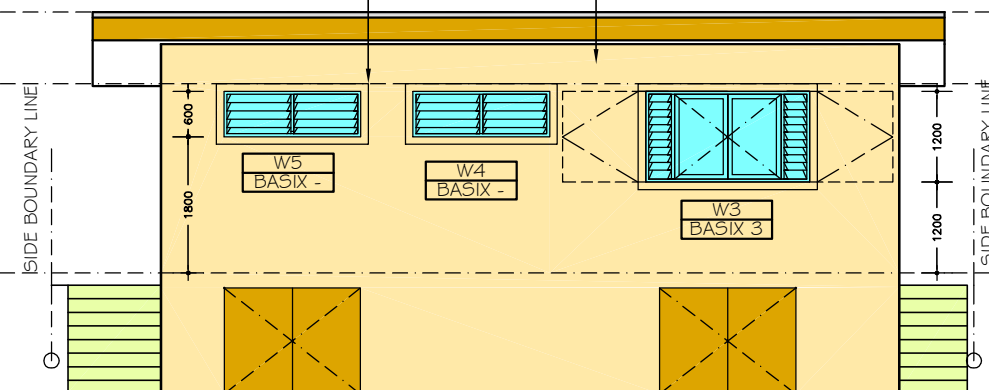
GARAGE LEVEL
RL = 35.400



PROPOSED
WEST ELEVATION

SCALE 1:100

200mm PRIMELINE WEATHERBOARDS
SMOOTH, COLOUR AS SELECTED BY
OWNERS.
100mm BAND.



PROPOSED
EAST ELEVATION

SCALE 1:100

Sammy Fedele

abn 36 627 664 311

**Architectural Drafting
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MANLY LOT 21
NSW 2095

ELEVATION

SCALE: 1:100

DATE: 14.02.2019

REV: JOB: 08/18

SHEET No :

DA 05

A3

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DA2019/1415

A3

ELEVATION

SHEET No.:

DA 06

SCALE: 1:100

DATE: 14.02.2019

REV:

JOB: 08/18

JENNY BARR

PROPOSED : NEW DETACHED GARAGE AND STUDIO,

REMOVE GARAGE AND PATHS AREAS#
MAKE GOOD ADJOINING
SURFACES AS NECESSARY.

ADDRESS : 23 KANGAROO STREET
MANLY NSW 2095

Architectural Drafting
Services

0404 037 606

email:sammyfedele@primus.com.au

Sammy Fedele

abn 36 627 664 311

RIDGE LEVEL
RL = 40.770

FIRST FLOOR LEVEL
RL = 36.030

GROUND FLOOR LEVEL
RL = 32.630

8.500 HEIGHT LIMIT

OUTLINE OF PROPOSED CDC
DWELLING.

OUTLINE OF EXISTING
DWELLING.

GUTTER 35.92

GARAGE LEVEL
RL = 35.400

REAR BOUNDARY LINE

PROPOSED
NORTH ELEVATION

SCALE 1:100

8.500 HEIGHT LIMIT

PROPOSED DETACHED
GARAGE AND STUDIO,
REMOVE GARAGE AND PATHS AREAS#
MAKE GOOD ADJOINING
SURFACES AS NECESSARY.

RIDGE LEVEL
RL = 38.850

CEILING LEVEL
RL = 37.900

GARAGE LEVEL
RL = 35.400

WEATHER STRIP TO
ALL EXTERNAL
DOORS.
SIDE DOORS AS
SELECTED BY OWNERS.

PROPOSED
SOUTH ELEVATION

SCALE 1:100

RIDGE LEVEL
RL = 40.770

FIRST FLOOR LEVEL
RL = 36.030

GROUND FLOOR LEVEL
RL = 32.630

GUTTER 35.92

GUTTER 35.29

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DA2019/1415

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BASIX NOTES

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2. b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

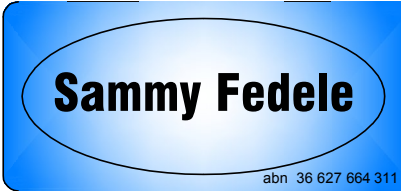
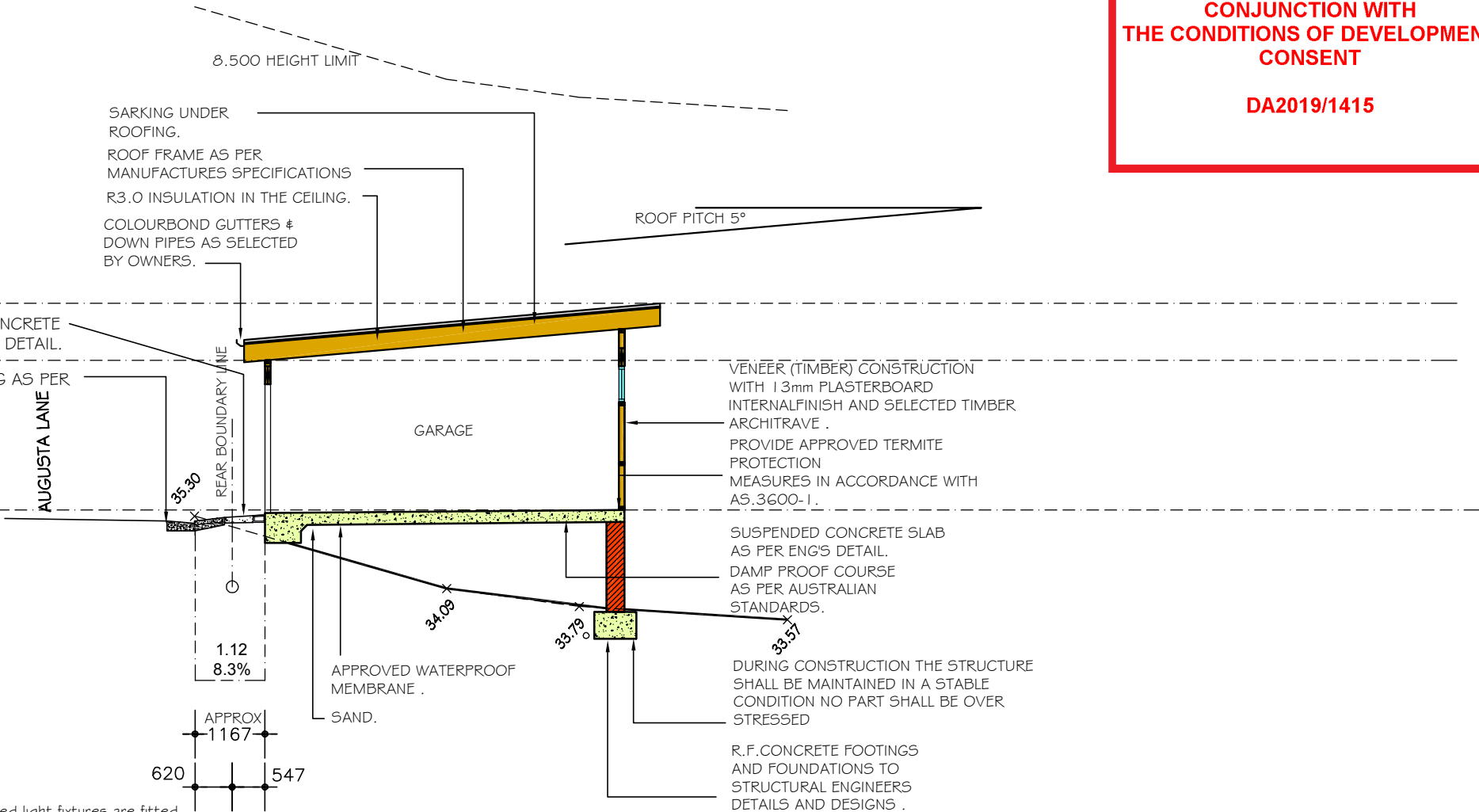
Glazing requirements

W1 W 0.54 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W2 N 1.4 0 0 eave/verandah/pergola/balcony >=600 mm

standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W3 E 2.6 0 0 external louvre/blind (adjustable) standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)



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A3