

STATEMENT OF ENVIRONMENTAL EFFECTS

Section 4.55 Modification of Approved DA2019/1536 & and Approved Section 4.55 MOD2020/0154

Project

Additional Window and Awning

Location

Lot 11 DP 28512
9 Vines Avenue
Forestville NSW 2087
For: Mr & Mrs Hart

Date

6th June 2022

Prepared by

IQ Homes

INTRODUCTION

This Statement of Environmental Effects accompanies an Approved Development Application DA2019/1536 and Section 4.55 MOD2020/0154. The proposal seeks to:

- 1) add a small window on the eastern side of the building, and,
- 2) add an awning to the back deck on the north side of the property.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. It provides an assessment of the proposed development against the heads of consideration as set out in Warringah LEP 2011- Land Zone R2 –Low Density Residential.

As a result of this assessment it is concluded that the proposed amendment and development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

THE SITE

The site is identified as Lot 11 DP 28512 and is known as 9 Vines Avenue, Forestville NSW.

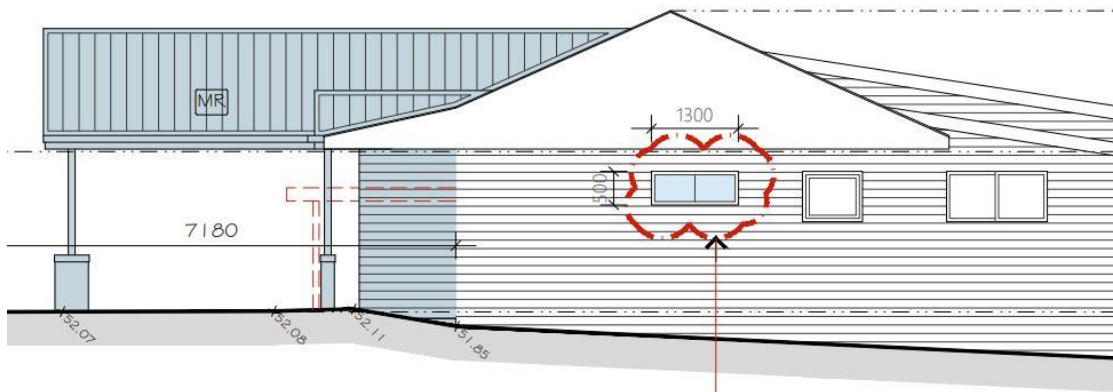
The site is located on the northern and low side of Vines Avenue, is a rectangular block, has a total area of 697m² and is bounded on three sides by residential properties. The site has a natural slope across East to West and falls from the road frontage to the rear approximately 2.6m over the 37.185m side boundary. The existing residence floor level is below the level of the footpath.

The site has a swimming pool, is landscaped and maintains privacy to adjoining boundaries.

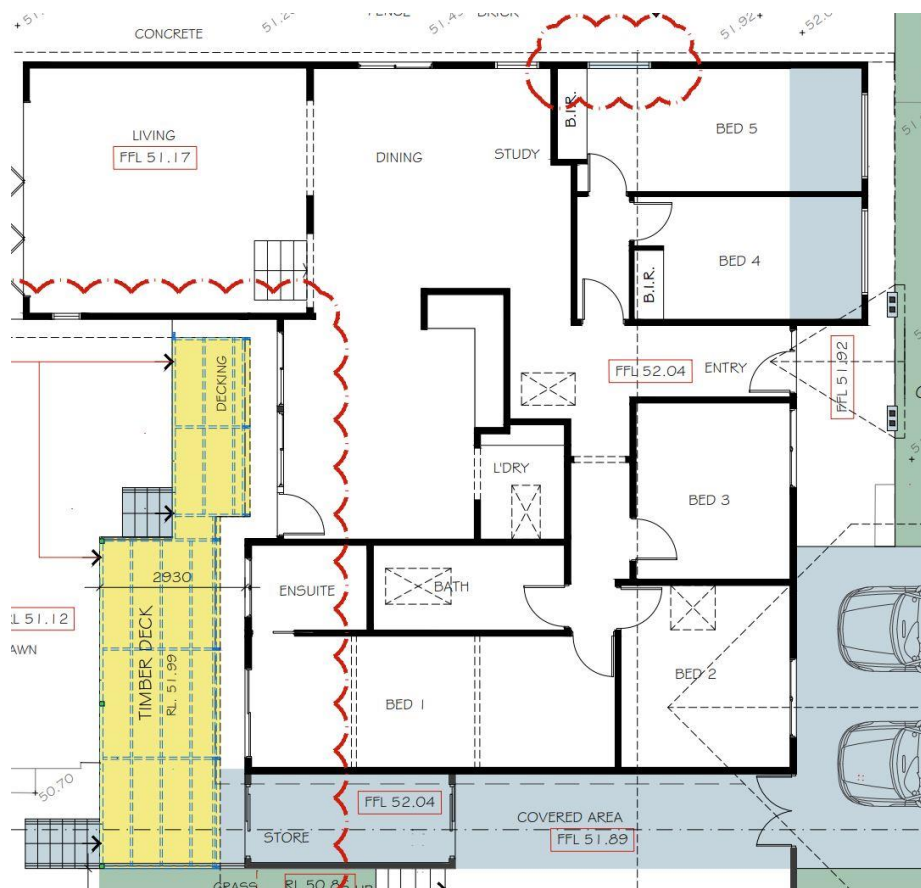
The site is connected to all services and is not subject to flooding, is in a Landslip Area B, is not in an acid sulphate zone, and is not in a Bushfire Prone Land zone.

SECTION 4.55 AMENDMENT PROPOSAL PART A

New high set window is proposed to the eastern elevation. It measures 1.3m x 0.5m



East Elevation – Proposed window highlighted in blue



SECTION 4.55 AMENDMENT PROPOSAL PART B

The existing rear deck is fenced without any awning. It is highly exposed without any shade to protect residents. The deck can be easily viewed from the upper level main residence and balcony of number 7 Vines Avenue, on the western side of the property. This impedes privacy for the residents of both 7 & 9 Vines Avenue.

PROPOSED AWNING OVER EXISTING DECKING

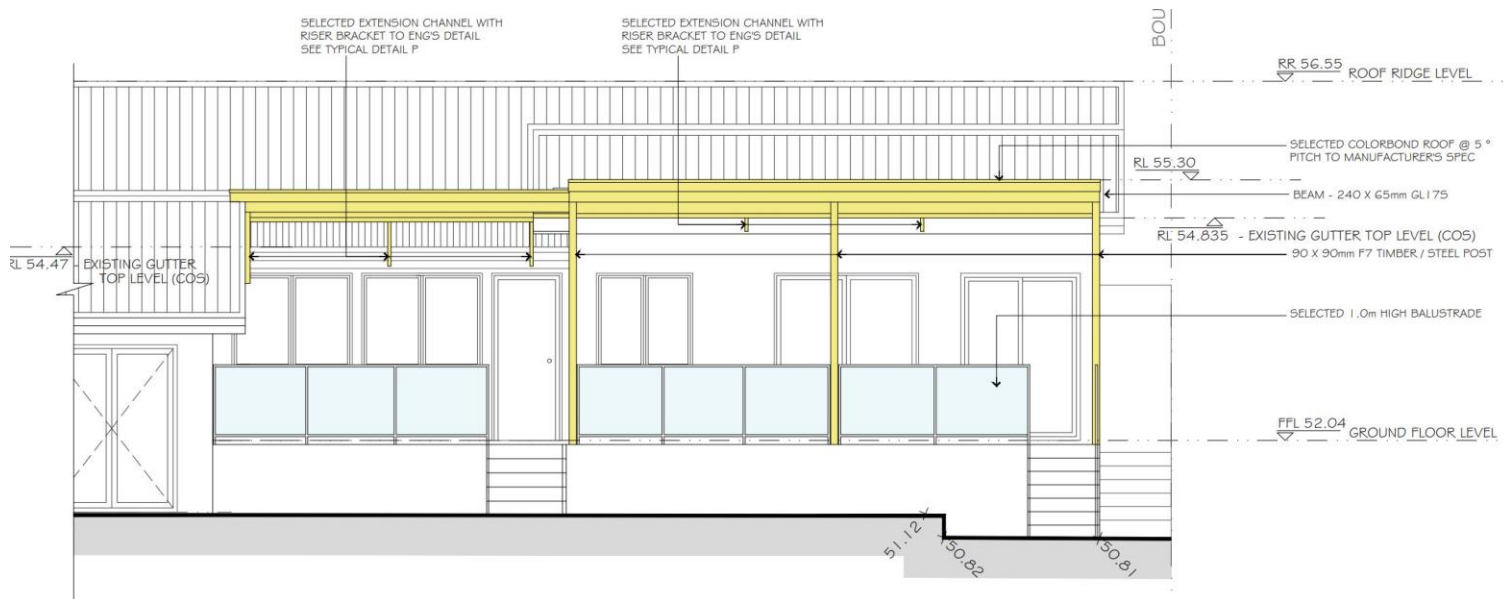
The proposed colorbond roof awning to match existing colourbond roof, is to be built over existing ground floor level deck on the north side of property. Height of awning remains well below roof ridge level of main residence. Total height of awning is 2.4M from ground floor level of main residence. Awning follows shape of deck. A 1.8M privacy screen will be located at the west end of the deck.

This will be in keeping with the building structure and landscape design of existing approved DA2019/1536 & Section 4.55 MOD2020/0154. The awning will offer privacy for both residents at both 9 Vines and 7 Vines Avenue.

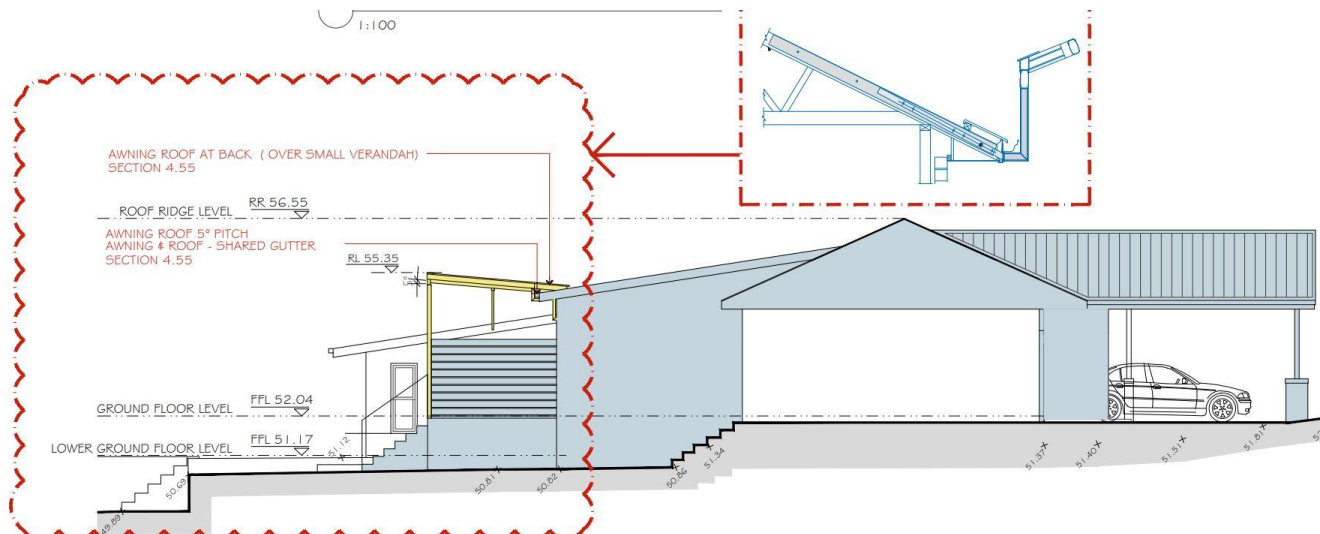
All engineering has been approved for the proposed awning on the 16/2/2022 by Circle Z Design Pty Ltd.

No landscape or soft planting areas will change from current approved DA2019/1536 & Section 4.55 MOD2020/0154.

North Elevation – Proposed Awning



West Elevation – Proposed Awning



LOCALITY SPECIFIC DEVELOPMENT CONTROLS

Statement of Environmental Effects Checklist for Buildings Class 1 and 10

Proposed		Compliance with Planning Controls? Y/N	Additional Comments
Site area m2		697m2	
Housing Density dwelling/m2		Y	
Max ceiling height above natural ground level	3.9m	Y	
Impervious area m2	350m2	Y	Reduced from current existing BUA
Maximum building height m	5.19m	Y	
Western Boundary Wall/Fenceline	Proposed: Additional window along eastern wall of residence. New awning to be built over existing back deck proposed in DA2019/1536. Awning Height: 2.4M Width: 2840mm & 2120mm Length: 6685mm & 4400mm Additional Screening: 1800mm	Y	Window: Additional light required for internal residence. Neighbouring property to this window has carport along this section hence no privacy issues can be foreseen. Awning will give more privacy to both residents at 7 and 9 Vines Avenue.
Rear building setback m	14.42 m	Y	Existing to remain
Minimum side boundary setback	0.9 m	Y	
Private open space m2	Approx. 70 sqm	Y	
% of landscape open space %	30%	N	Approved landscape area not to be changed

Stormwater

New stormwater system with tanks is to be installed as per council conditions DA2019/1536 and Section 4.55 MOD2020/0154. Approval code S68A2020/0013.

Warringah LEP 2011 - Land Zone R2 Low Residential

It is considered the proposal will not result in any detrimental impact upon the adjoining properties or upon the character of the surrounding area.

The proposal will not adversely impact on the privacy of adjoining properties.

The proposal will not cause loss of views from other properties.

The proposal will not cause loss of sunlight or overshadow adjoining residences.

The proposal will not detrimentally impact on existing trees or alter the natural landscape.

The proposal is considered to be appropriate and relates sympathetically to the scale and character of the site and the adjoining developments.

We believe that the proposal is considered appropriate and is submitted to the council for favourable consideration.