

**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GLUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

**IMPORTANT NOTES:**

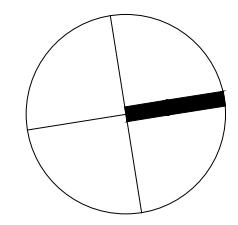
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REVISION	ISSUED	DESCRIPTION	BY
PRELIM	Nov 2020	ISSUED FOR PRELODGEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

PROJECT  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

CLIENT  
**ALLEN GROUP DEVELOPMENTS**

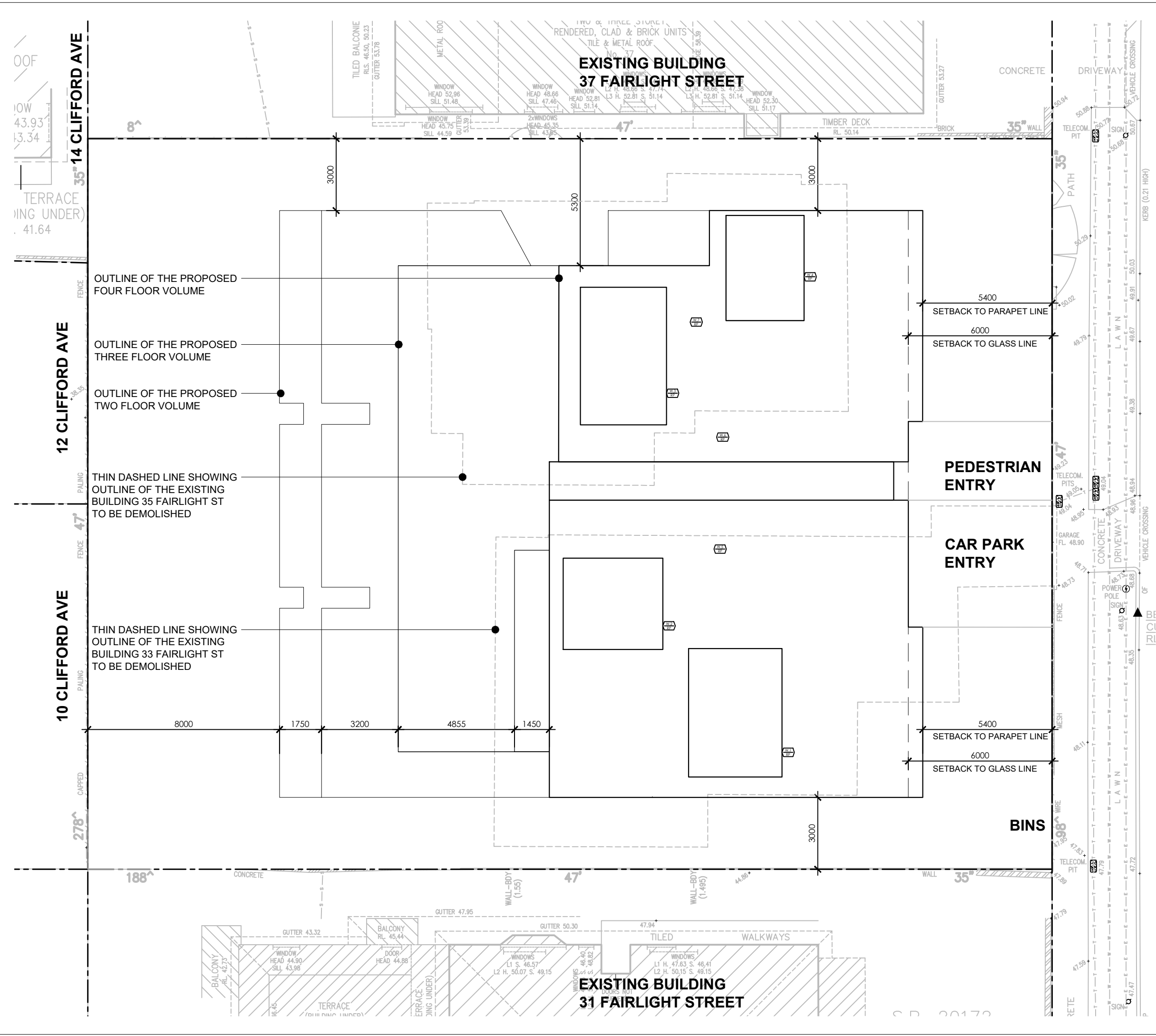


DRAWING TITLE  
**SITE ANALYSIS**

PROJECT  
**FSF**

SCALE @A3	STATUS	NUMBER	REVISION
1:250	DA	1.01	A





**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		



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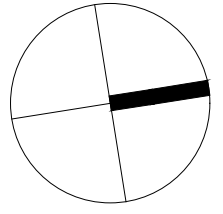
REVISION	ISSUED	DESCRIPTION	BY
PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

PROJECT  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

CLIENT  
**ALLEN GROUP DEVELOPMENTS**

DRAWING TITLE  
**SITE PLAN**

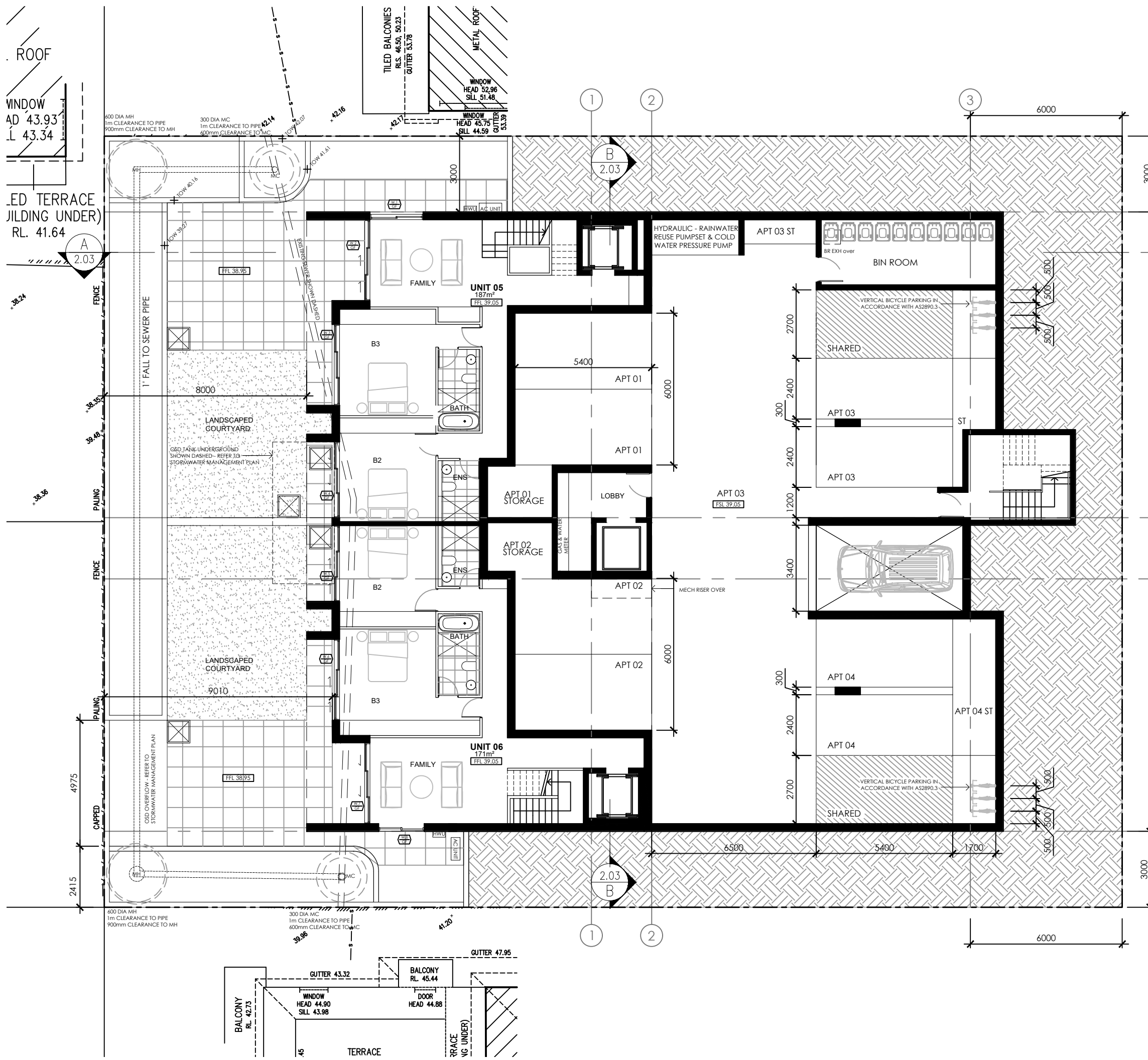


SCALE @A3  
**1:150**

STATUS  
**DA**

NUMBER  
**1.02**

REVISION  
**A**



**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FK	FIXED PANEL	FLL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL	HWU	HOT WATER UNIT



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PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

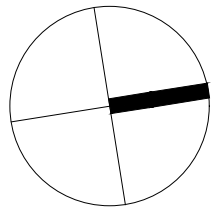
**PROJECT**  
NEW APARTMENTS

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

**CLIENT**  
ALLEN GROUP  
DEVELOPMENTS

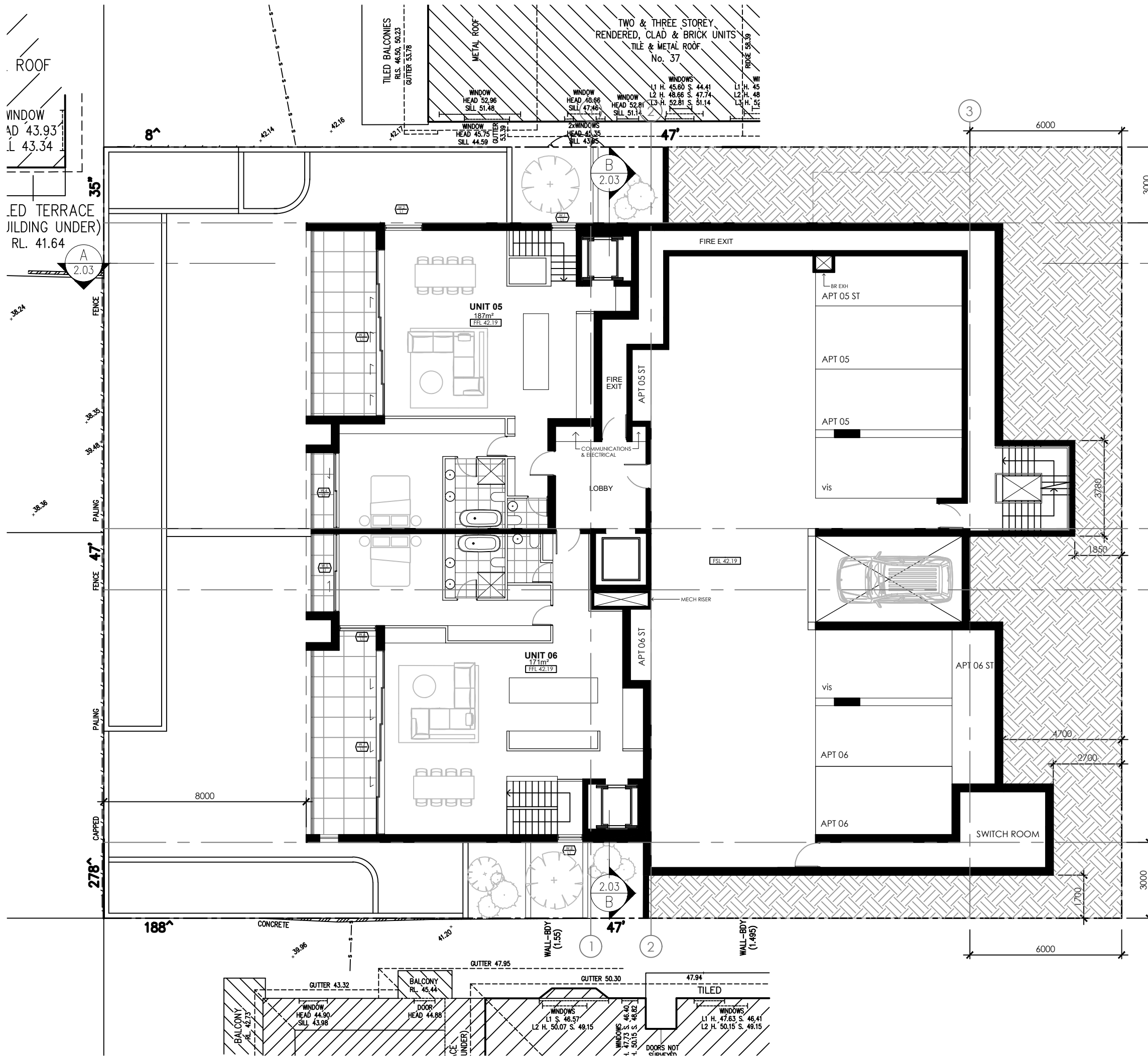
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GROUND FLOOR (R.L. 39.05)

**SCALE @A3** 1:150  
**STATUS** DA  
**NUMBER** 1.03  
**REVISION** A



**PROJECT**  
FSF





**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFFL	ABOVE FINISHED FL. L.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINFALL OUTLET	SW	SWING PANEL		

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

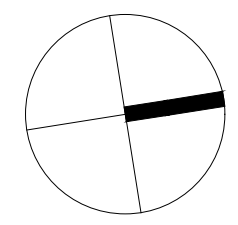
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REVISION	ISSUED	DESCRIPTION	BY
PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
NEW APARTMENTS

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

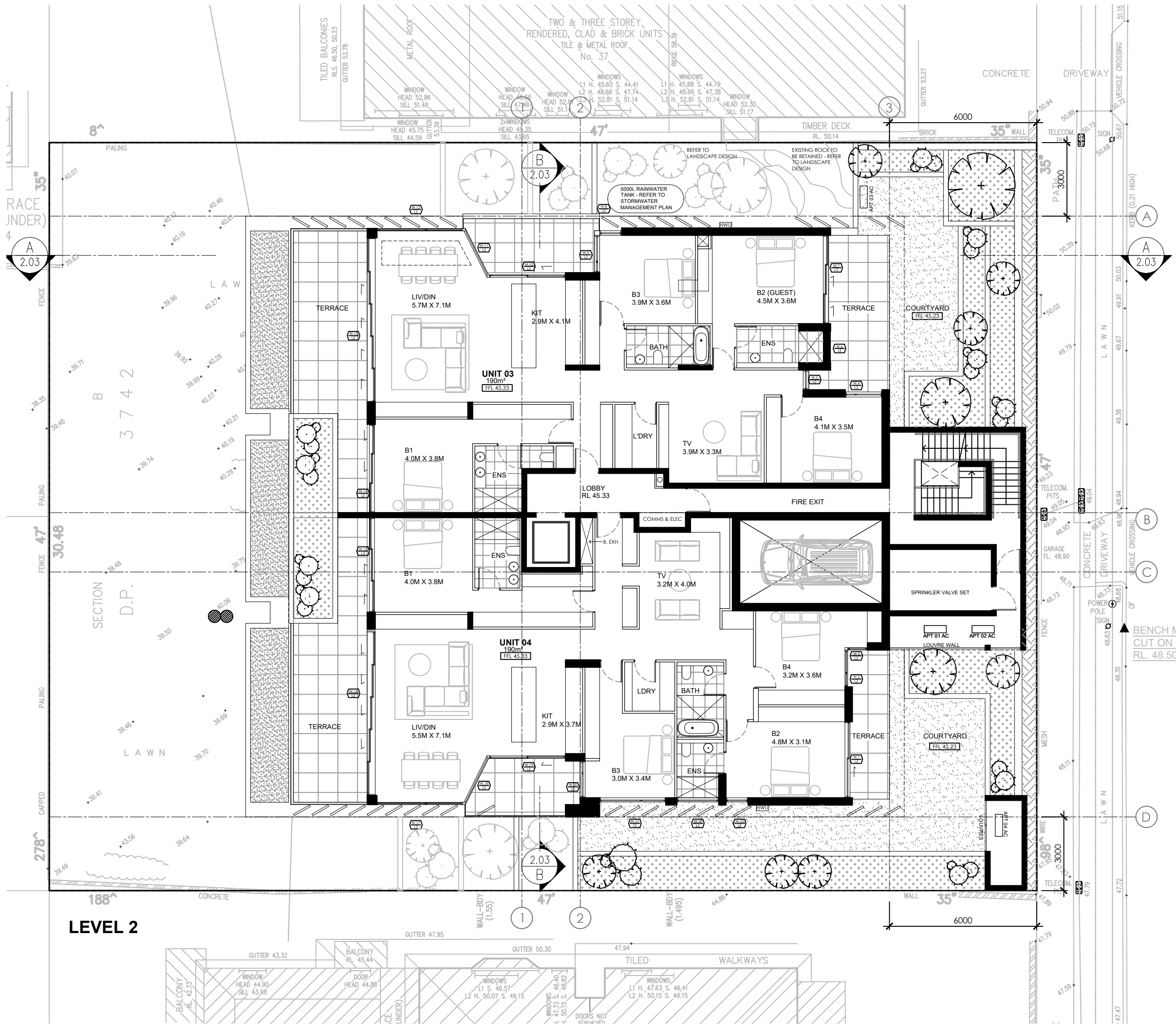
**CLIENT**  
ALLEN GROUP  
DEVELOPMENTS



**DRAWING TITLE**  
LEVEL 1 (R.L. 42.19)

**PROJECT**  
FSF

SCALE @A3	STATUS	NUMBER	REVISION
1:150	DA	1.04	A



**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL	HWU	HOT WATER UNIT

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

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PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
NEW APARTMENTS

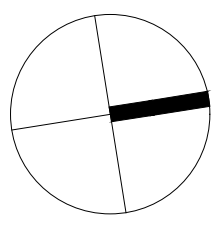
33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

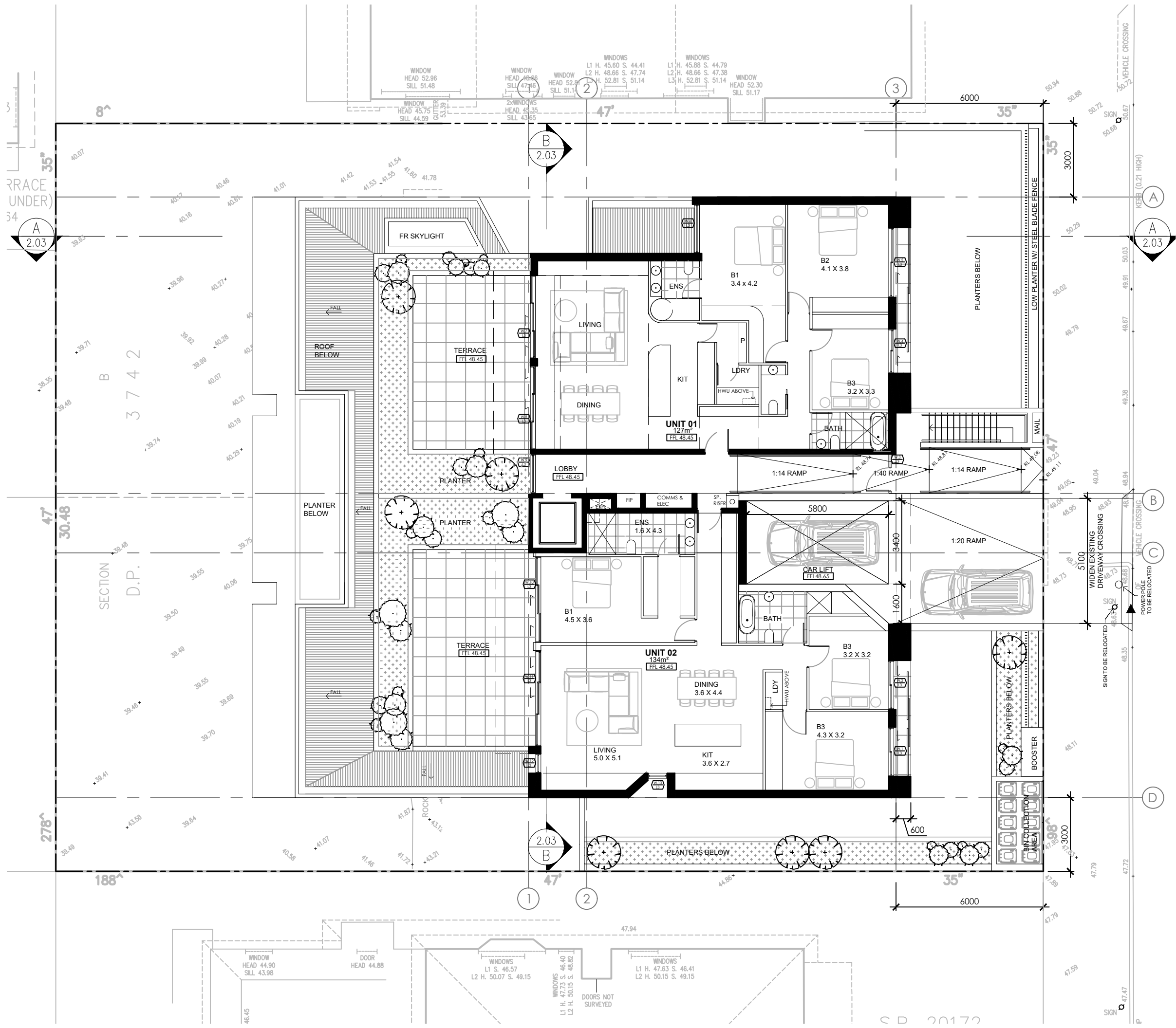
**CLIENT**  
ALLEN GROUP  
DEVELOPMENTS

**DRAWING TITLE**  
LEVEL 2 (R.L. 45.33)

**PROJECT**  
FSF

SCALE @A3	STATUS	NUMBER	REVISION
1:150	DA	1.05	A





**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINFALL OUTLET	SW	SWING PANEL	HWU	HOT WATER UNIT

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

**IMPORTANT NOTES:**

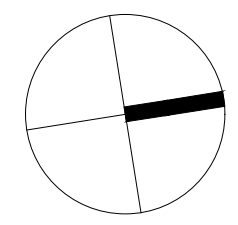
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PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
NEW APARTMENTS

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

**CLIENT**  
ALLEN GROUP  
DEVELOPMENTS



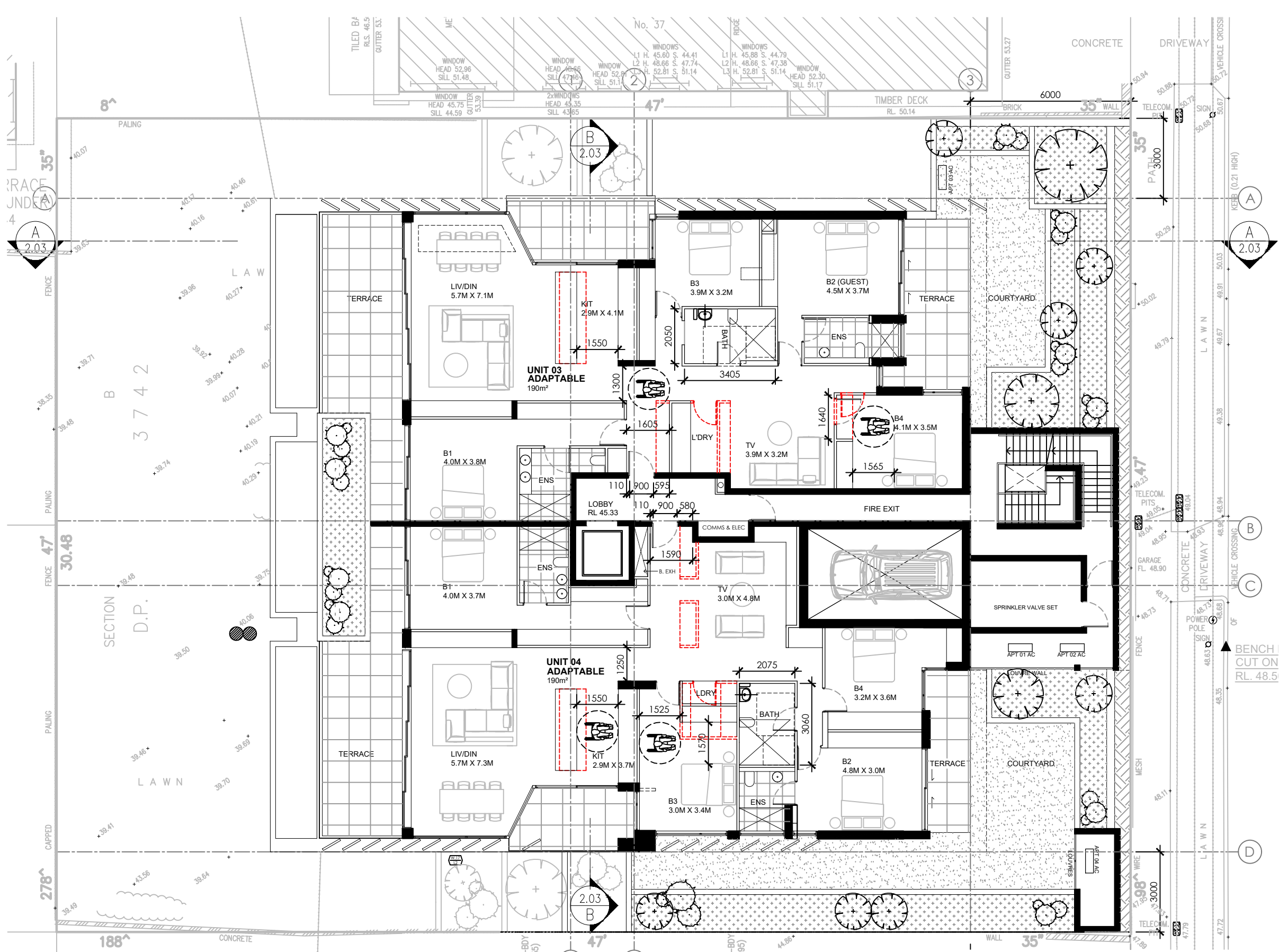
**DRAWING TITLE**  
LEVEL 3 (R.L. 48.45)

**PROJECT**  
FSF

SCALE @A3	STATUS	NUMBER	REVISION
1:150	DA	1.06	A







**LEVEL 2**

**POST-ADAPTATION LAYOUT OF UNITS 03 & 04**

RED DASHED LINE DENOTES INTERNAL WALL TO BE REMOVED/ADJUSTED

**GENERAL DESIGN PRINCIPLES**

- CIRCULATION SPACE IN BEDROOM DESIGNED IN ACCORDANCE WITH AS 1428.2
- SLIDING DOORS TO BALCONY
- 2250mm DIA. CIRCULATION SPACE IN LIVING SPACE.
- SHOWER AND BASIN DESIGNED IN ACCORDANCE WITH AS 1428.1.
- 1550mm DIA. CIRCULATION SPACE IN KITCHEN & LAUNDRY
- 850mm CLEAR OPENING FOR DOOR WITH DOOR LEVER HANDLE AND HARDWARE TO AS 1428.1.

**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVER WINDOW	AFL	ABOVE FINISHED F.L.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

**platform ARCHITECTS**  
 2/40 EAST ESPLANADE, MANLY  
 p. 02 8385 9759 abn. 74602856157  
 nom. architect brida Gough, Reg No. 8280

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A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
**NEW APARTMENTS**

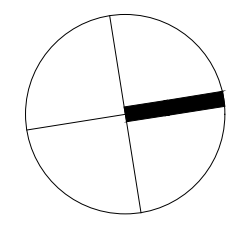
33-35 FAIRLIGHT STREET,  
 FAIRLIGHT NSW

**CLIENT**  
**ALLEN GROUP DEVELOPMENTS**

**DRAWING TITLE**  
**ADAPTABLE UNITS (R.L. 45.33)**

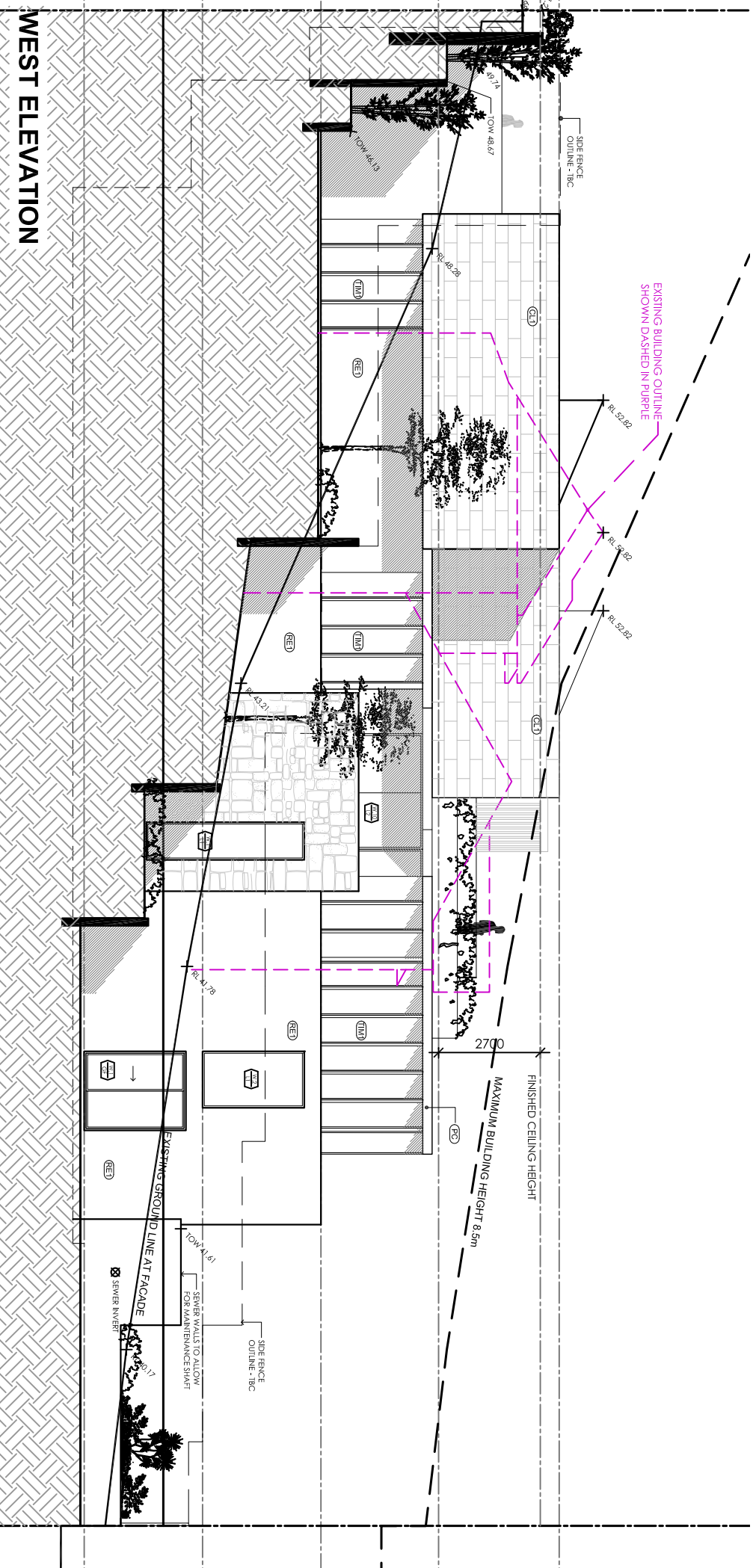
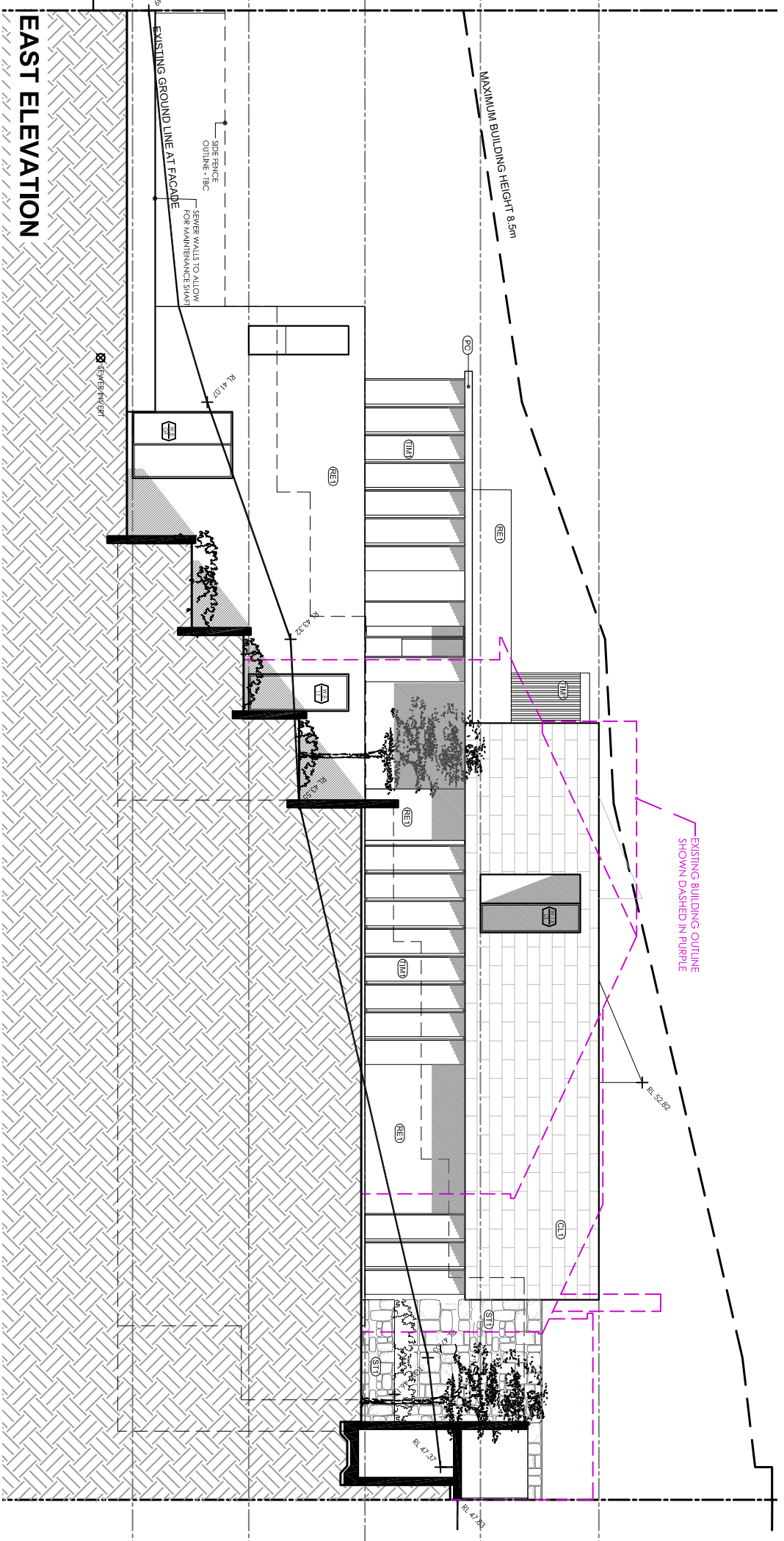
**PROJECT**  
 FSF

SCALE @A3	STATUS	NUMBER	REVISION
1:150	DA	1.08	A



**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	FRIDGE	BG	BOX GUTTER	OP	OPaque GLAZING
RE	REFRIGERATOR	FR	FRIDGE	FP	FINISHED FLOOR
LD	LAUNDRY	TK	TILED PANEL	FL	FINISHED FLOOR L
GB	GLASS BALUSTRADE	LV	LOUVER WINDOW	AFV	ABOVE FINISHED F.L.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOC	TOP OF CURTAIN
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TCG	TOP OF CURTAIN
PL	PLASTER	DM	DOUBLE HING W.	R.R.	RIDGE R.L.
PLN	PLASTER	SW	SWING PANEL	H.WU	HOT WATER UNIT
RWO	RAINWATER OUTLET				



**platform**  
ARCHITECTS

2/40 EASTERN AVENUE, MANLY  
P. 02 8395 9799 QDN. 74602856157  
FROM ARCHITECT BRUCE GUNN, REG NO. 6280

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- 3. All drawings are to be checked and approved by the architect before construction.
- 4. All drawings are to be checked and approved by the architect before construction.
- 5. All drawings are to be checked and approved by the architect before construction.

REVISION	ISSUED	DESCRIPTION	BY
PRELIM	NOV 2020	ISSUED FOR PRELIMINARY MEETING WITH COUNCIL	BG/BB
A	OCT 2021	DA SUBMISSION	BG/BB

**PROJECT**  
NEW APARTMENTS  
33-35 FARLIGH STREET,  
FARLIGH NSW

**CLIENT**  
ALLEN GROUP  
DEVELOPMENTS

**DRAWING TITLE**  
EAST AND WEST ELEVS  
PROJECT FSF

**SCALE** BA3  
1:150  
**STATUS** DA  
**NUMBER** 201  
**REVISION** A





**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
R	REFRIGERATOR	BG	BOX GUTTER	OP	OPaque GLAZING
F	FLOOR	FR	FRIED PANNE	FL	FRIED STOCK FL
LDY	LAUNDRY	LV	LOUVER WINDOW	FFL	FABRIC FINISHED F.L.
GAB	GLASS BALUSTRADE	SD	SLIDING PANEL	AW	AWNING WINDOW
MB	METAL BALUSTRADE	AD	ADJUSTABLE WINDOW	PC	PCRYLIC SCREEN
PS	PLASTER	AM	AWNING WINDOW	DM	DOUBLE HUNG W.
PL	PLANET	SW	SWING PANEL	R.R.	RIDGE R.
RWO	RAINWATER OUTLET			HWU	HOT WATER UNIT

**platform**  
ARCHITECTS

2/10 EASTERN AVENUE, MANLY  
P. 02 8385 9799 QDN. 74602856157  
From architect: Belle Gough, Reg No. 6280

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REVISION	ISSUED	DESCRIPTION	BY
A	NOV 2020	ISSUED FOR PROLOGEMENT MEETING WITH COUNCIL	BG/BB
A	OCT 2021	DA SUBMISSION	BG/BB

**PROJECT**  
**NEW APARTMENTS**  
 33-35 FARLIGHT STREET,  
 FARLIGHT NSW

**CLIENT**  
**ALLEN GROUP**  
**DEVELOPMENTS**

**DRAWING TITLE**  
**NORTH AND SOUTH ELEVATIONS**  
**PROJECT**  
**FSF**  
 SCALE: B/A3  
 STATUS: DA  
 NUMBER: 201  
 REVISION: A

**LEGEND**

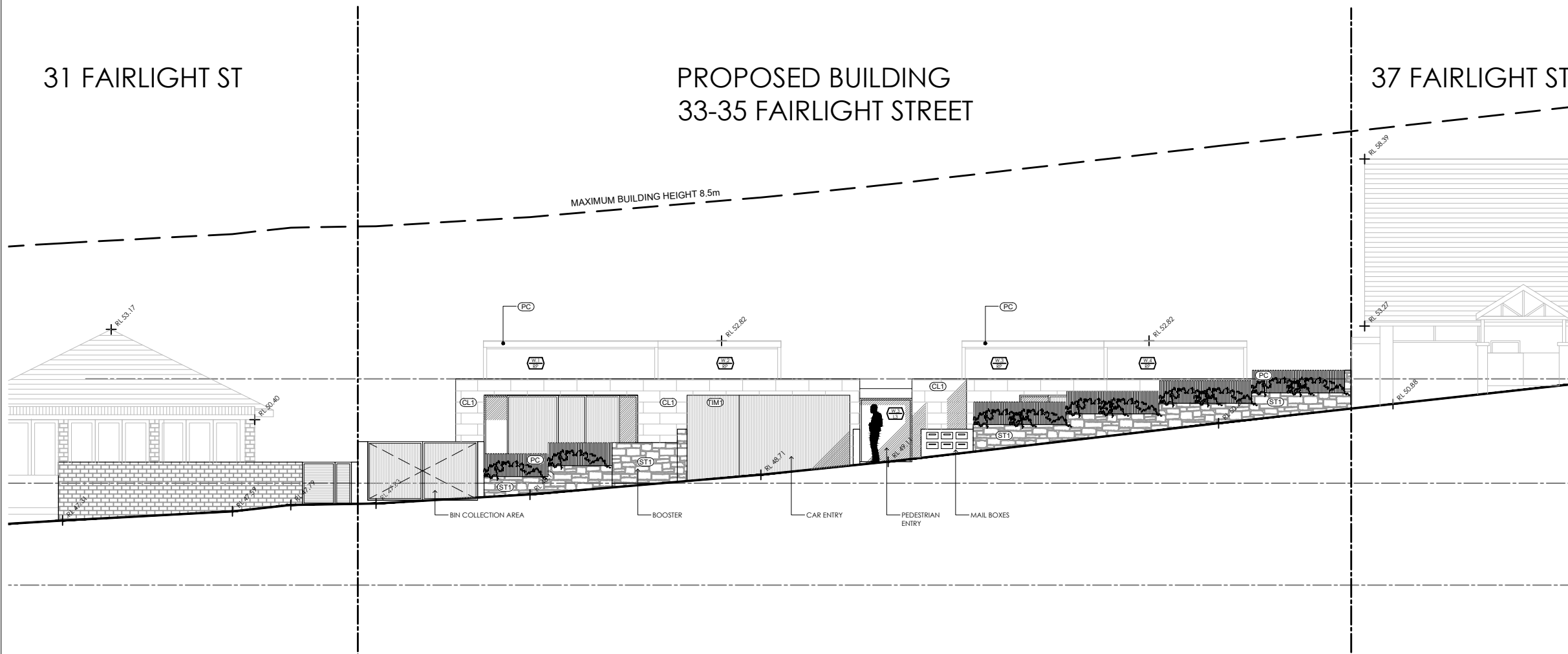
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F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CS	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

31 FAIRLIGHT ST

PROPOSED BUILDING  
33-35 FAIRLIGHT STREET

37 FAIRLIGHT ST

MAXIMUM BUILDING HEIGHT 8.5m



**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

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PROJECT  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

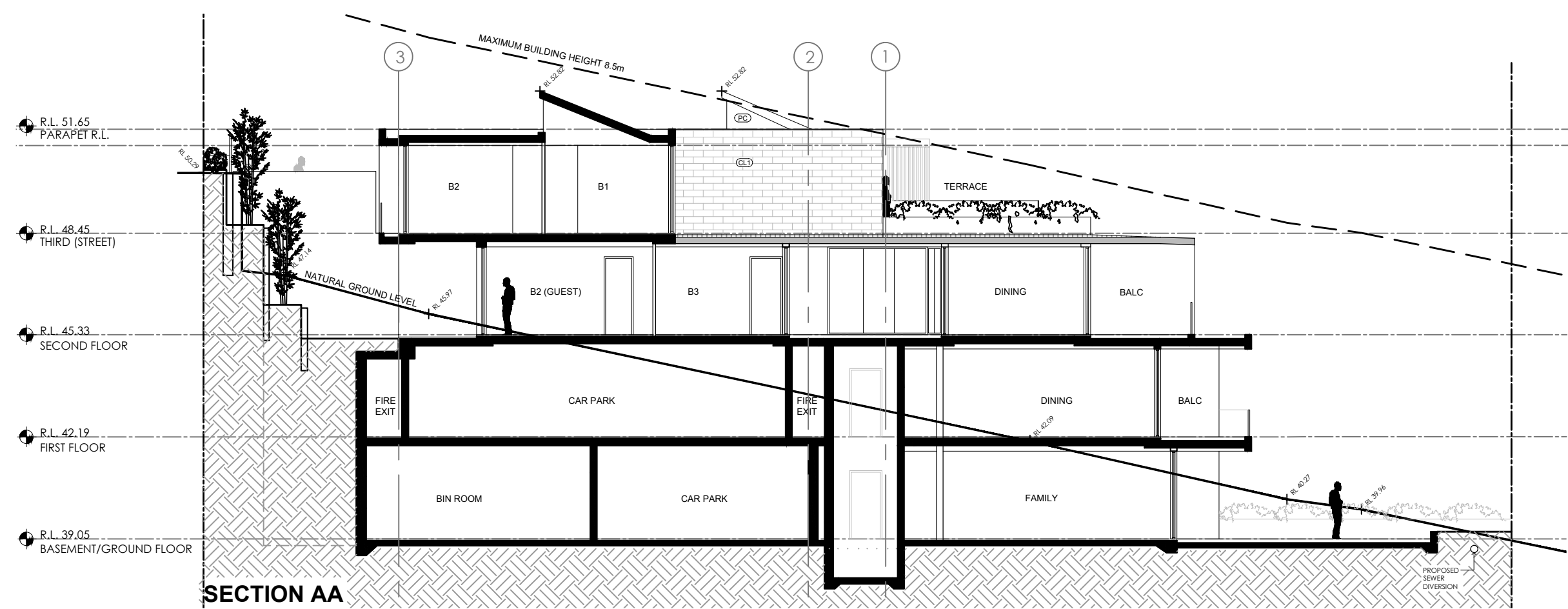
CLIENT  
**ALLEN GROUP  
DEVELOPMENTS**

DRAWING TITLE  
**PRELIM ELEVATIONS**

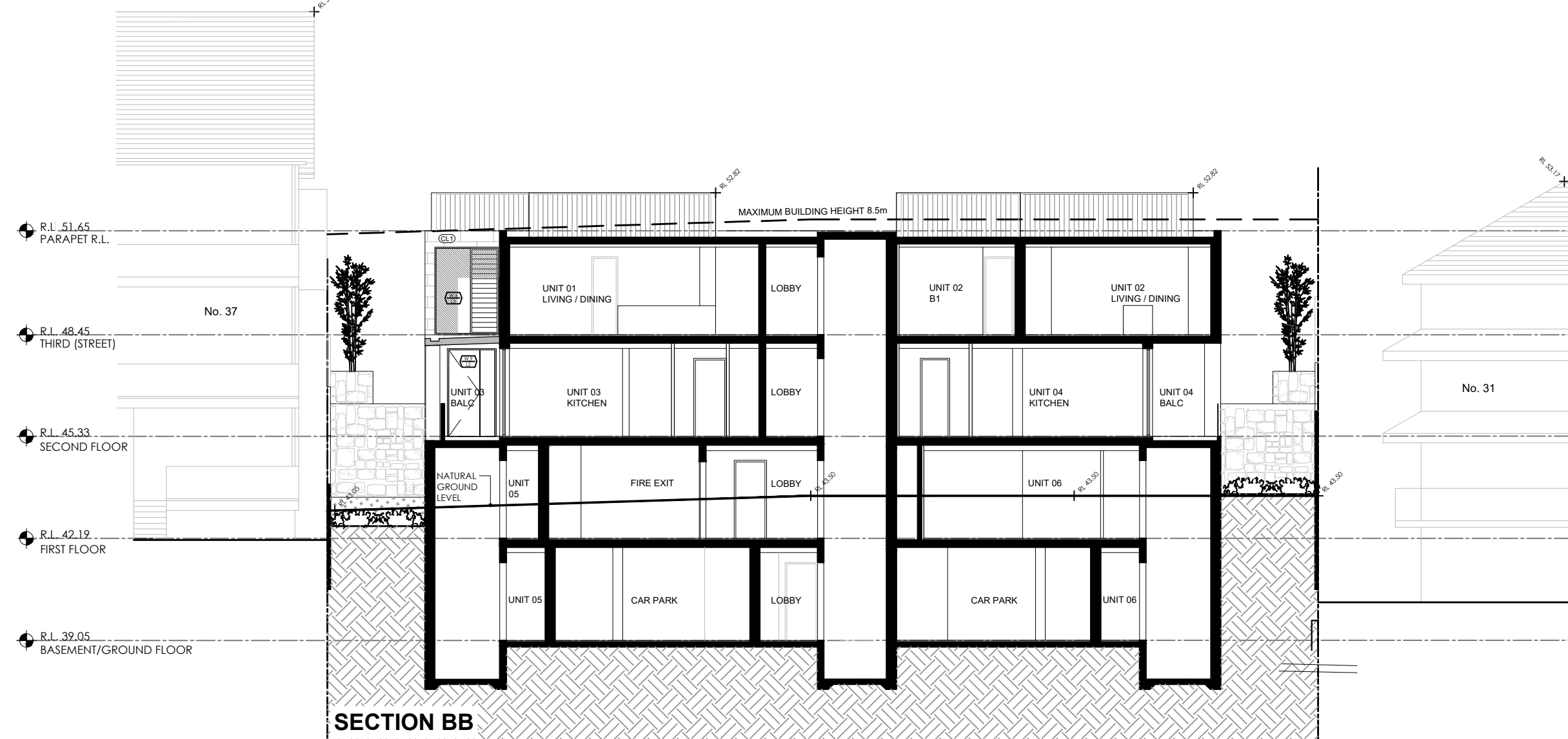
PROJECT  
**FSF**

SCALE @A3	STATUS	NUMBER	REVISION
1:150	DA	2.03	A





**SECTION AA**



**SECTION BB**

**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GLUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

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REVISION	ISSUED	DESCRIPTION	BY
PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

**CLIENT**  
**ALLEN GROUP DEVELOPMENTS**

**DRAWING TITLE**  
**PRELIM SECTIONS**

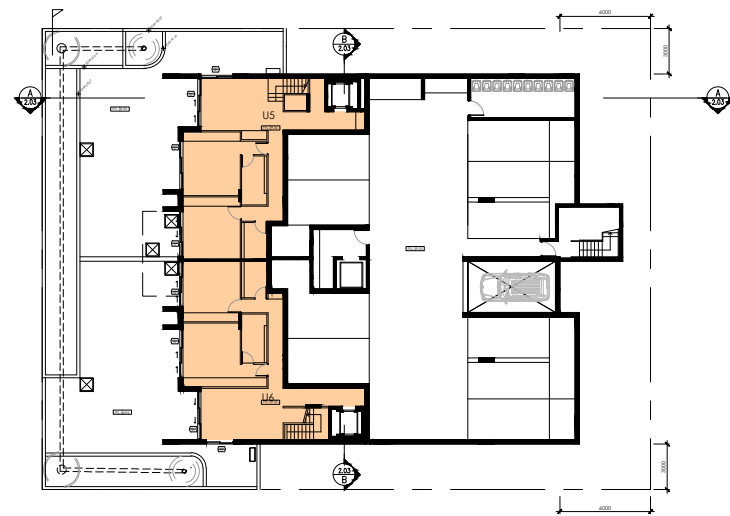
**PROJECT**  
**FSF**

SCALE @A3	STATUS	NUMBER	REVISION
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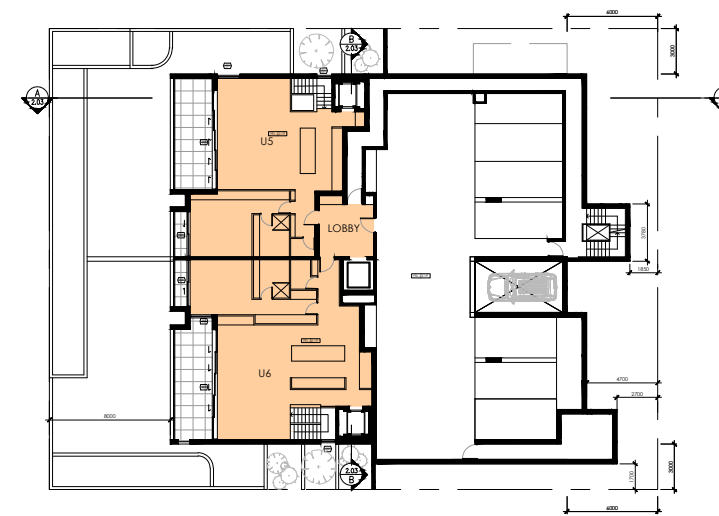
**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL. L.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL	HWU	HOT WATER UNIT

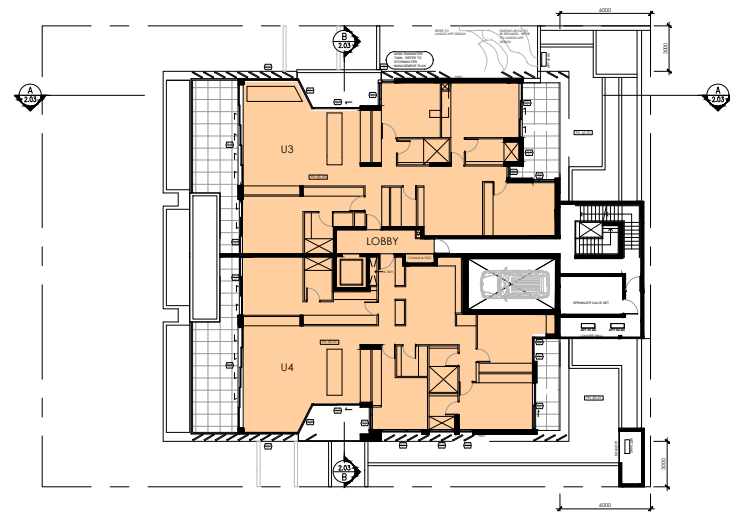
 **GROSS FLOOR AREA**



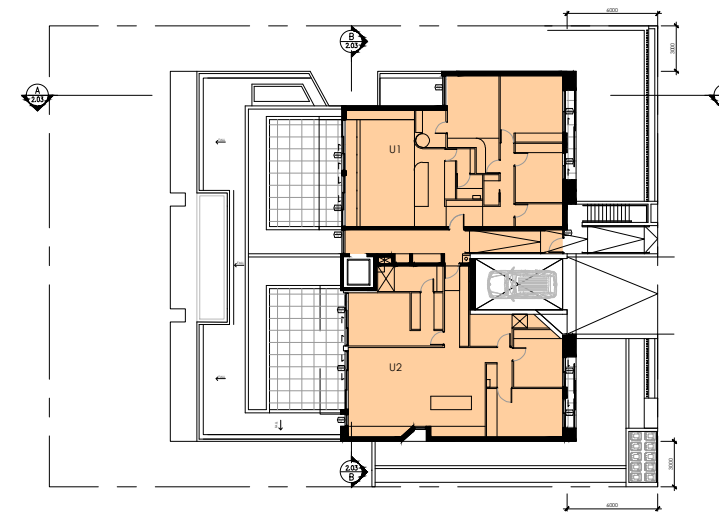
**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**



**SECOND FLOOR PLAN**



**THIRD FLOOR PLAN**

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

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**GFA SUMMARY FOR THE PROPOSED DESIGN**

TOTAL SITE AREA: 1226 sqm

TOTAL GFA: 1060 sqm

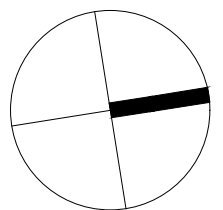
LESS 1% FOR SERVICES 1060 - 10.60 = 1049.40 sqm

**PROPOSED FSR 0.85 :1**

**PROJECT**  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

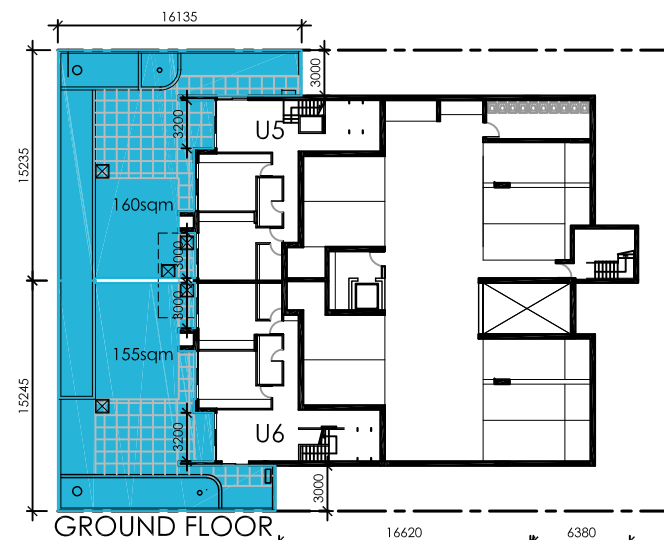
**CLIENT**  
**ALLEN GROUP DEVELOPMENTS**



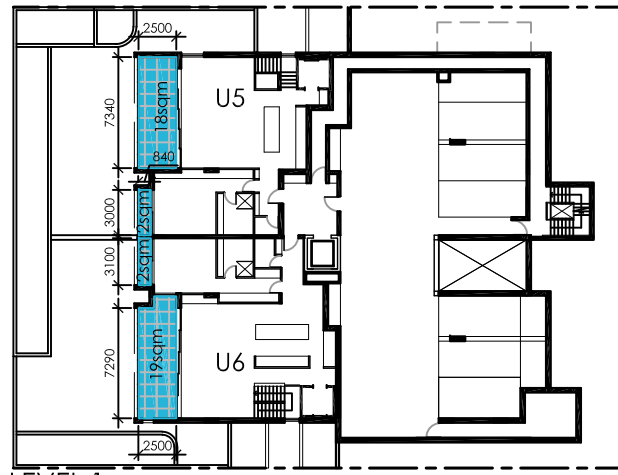
**DRAWING TITLE**  
**GFA CALCULATION**

**PROJECT**  
**FSF**

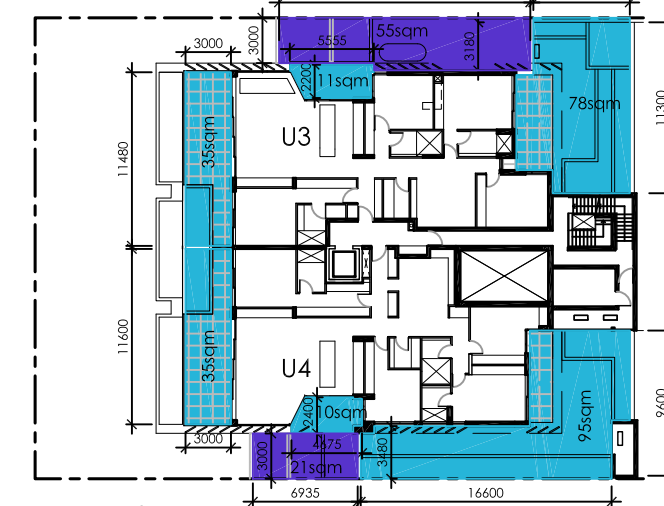
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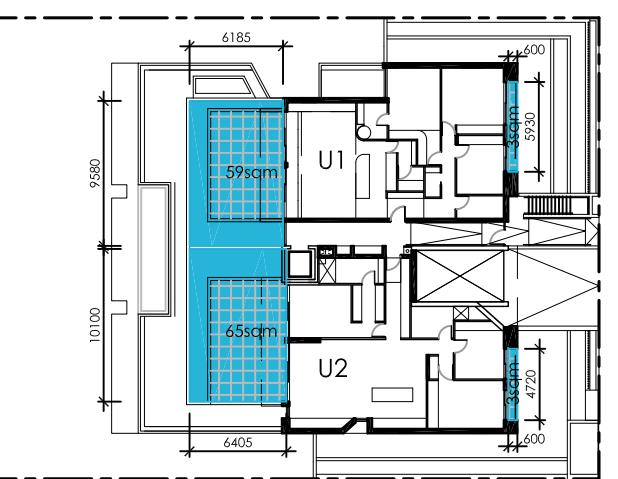
GROUND FLOOR



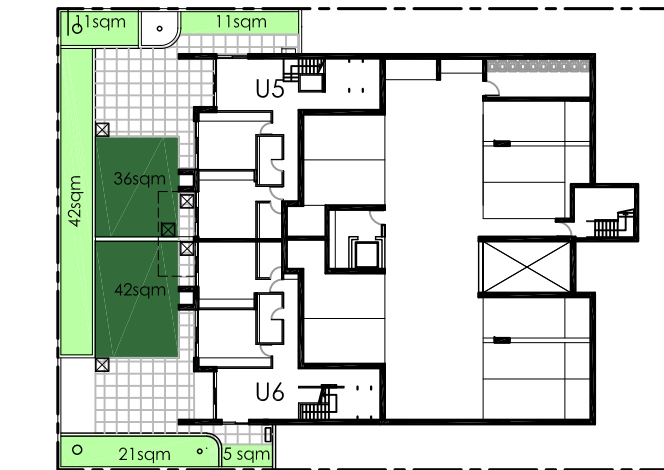
LEVEL 1



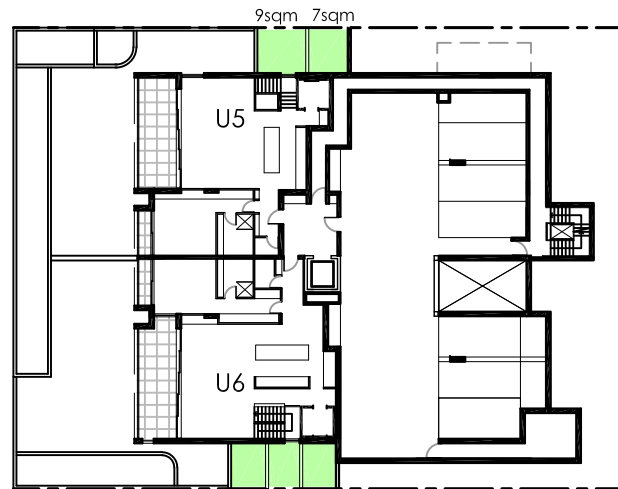
LEVEL 2



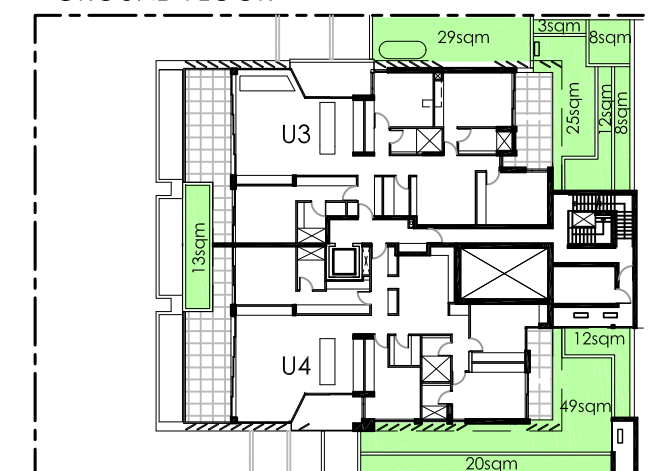
LEVEL 3



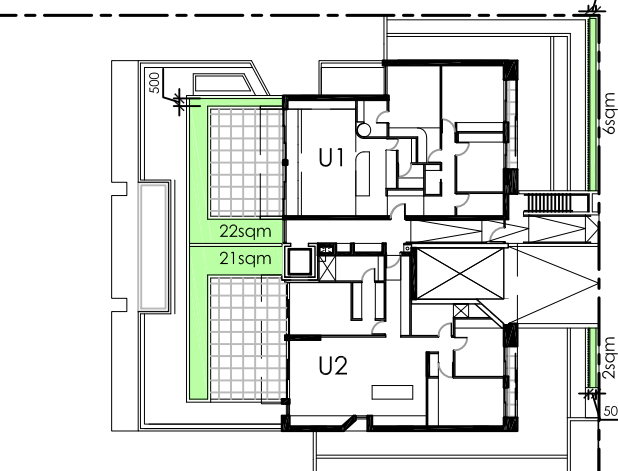
GROUND FLOOR



LEVEL 1



LEVEL 2



LEVEL 3

### TOTAL OPEN SPACE

SITE AREA = 1226 sqm

- U1 = 59 + 3 = 62 sqm
- U2 = 65 + 3 = 68 sqm
- U3 = 35 + 11 + 78 = 124 sqm
- U4 = 35 + 10 + 100 = 140 sqm
- U5 = 18 + 2 + 160 = 180 sqm
- U6 = 2 + 19 + 155 = 176 sqm

TOTAL PRIVATE OPEN SPACE = 750 sqm (262 sqm ABOVE GROUND)  
 OPEN SPACE - OTHER = 76 sqm

**TOTAL OPEN SPACE DCP REQUIREMENT = 750 + 76 = 826 sqm = 67% OF SITE AREA**  
**= AT LEAST 55% OF SITE AREA (AREA OS3)**

**ABOVE GROUND DCP REQUIREMENT = 32% OF TOTAL OPEN SPACE**  
**= NO MORE THAN 40% OF TOTAL OPEN SPACE**

### LANDSCAPED AREA

TOTAL OPEN SPACE = 826 sqm

- TOTAL DEEP SOIL = 78 sqm
- TOTAL LANDSCAPE - PLANTER = 354 sqm

**TOTAL LANDSCAPE AREA DCP REQUIREMENT = 432 sqm (52% OF TOTAL OPEN SPACE)**  
**= AT LEAST 35% OF TOTAL OPEN SPACE (AREA OS3)**

### LEGEND

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FPK	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFFL	ABOVE FINISHED FL. L.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TJA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINFALL OUTLET	SW	SWING PANEL		

- PRIVATE OPEN SPACE
- OPEN SPACE - OTHER
- LANDSCAPE AREA - PLANTER
- LANDSCAPE AREA - DEEP SOIL



2/40 EAST ESPLANADE, MANLY  
 p. 02 8385 9759 abn. 74602856157  
 nom. architect Bridie Gough, Reg No. 6280

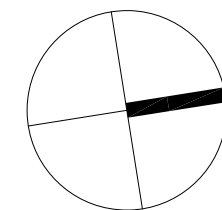
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REVISION	ISSUED	DESCRIPTION	BY
PRELIM	Nov 2020	ISSUED FOR PRELIMINARY MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

PROJECT  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
 FAIRLIGHT NSW

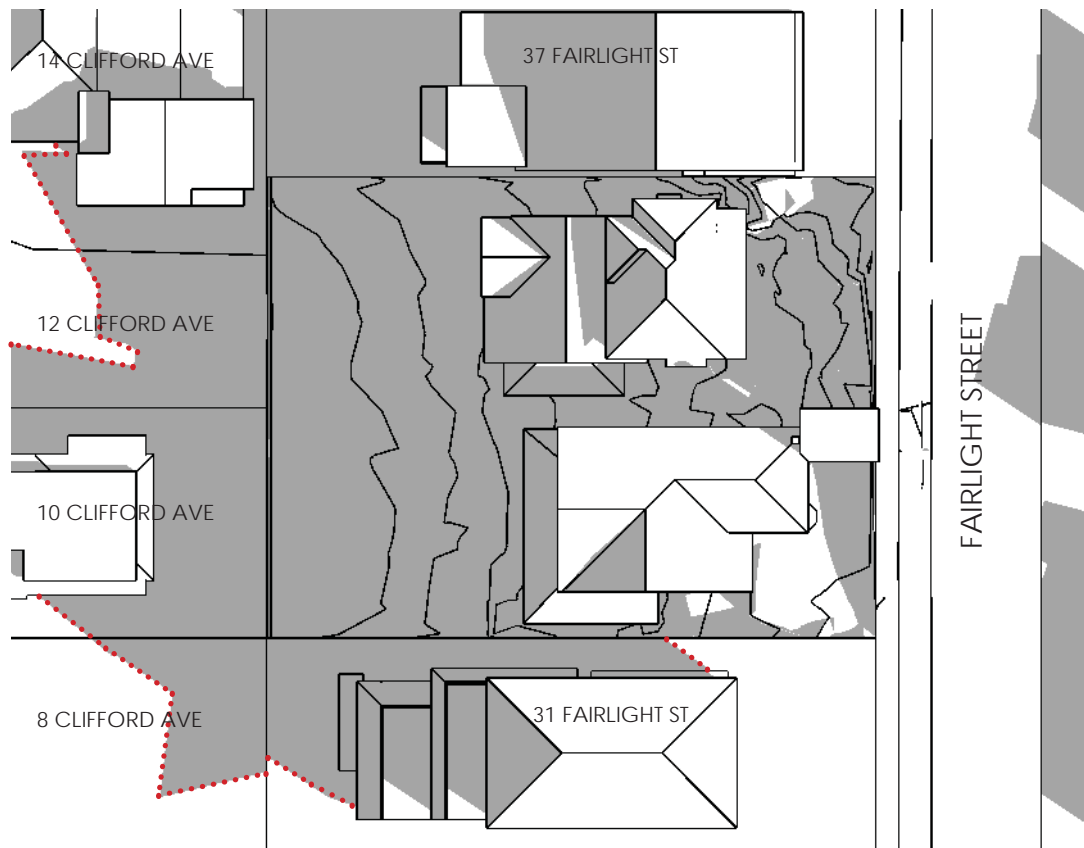
CLIENT  
**ALLEN GROUP DEVELOPMENTS**



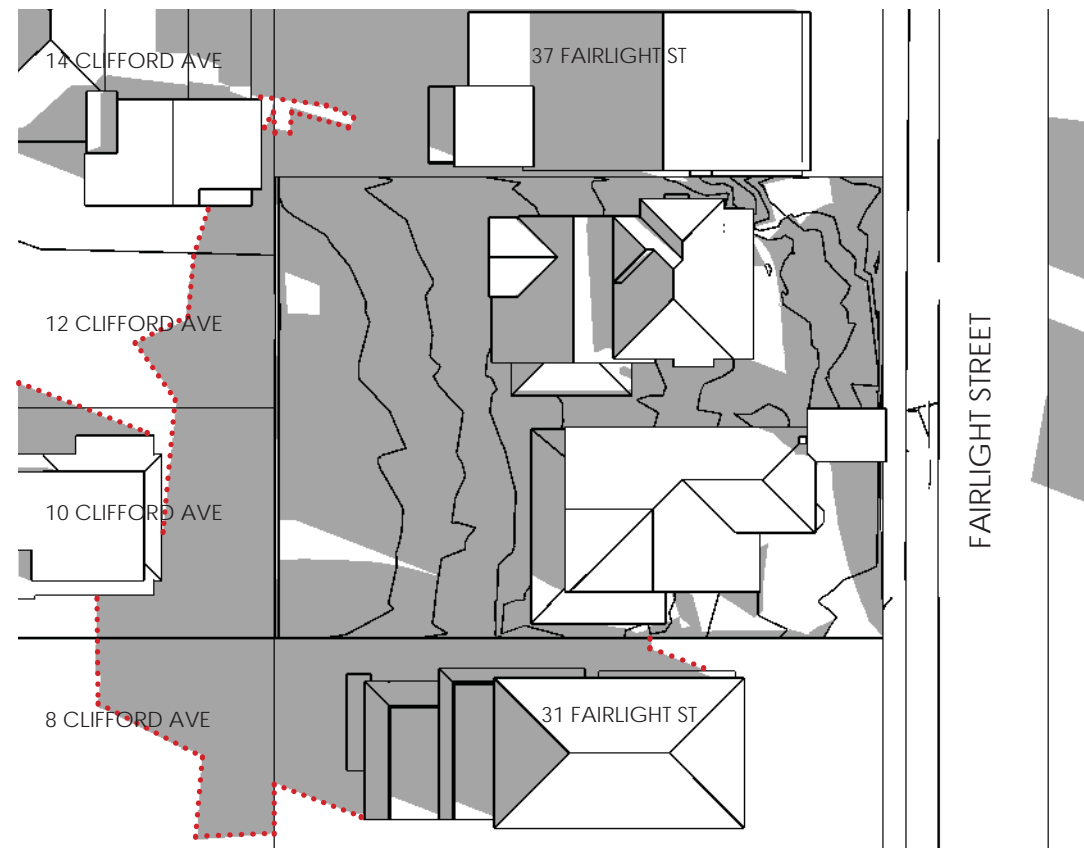
DRAWING TITLE  
**OPEN SPACE & LANDSCAPE CALCULATION**

PROJECT  
**FSF**

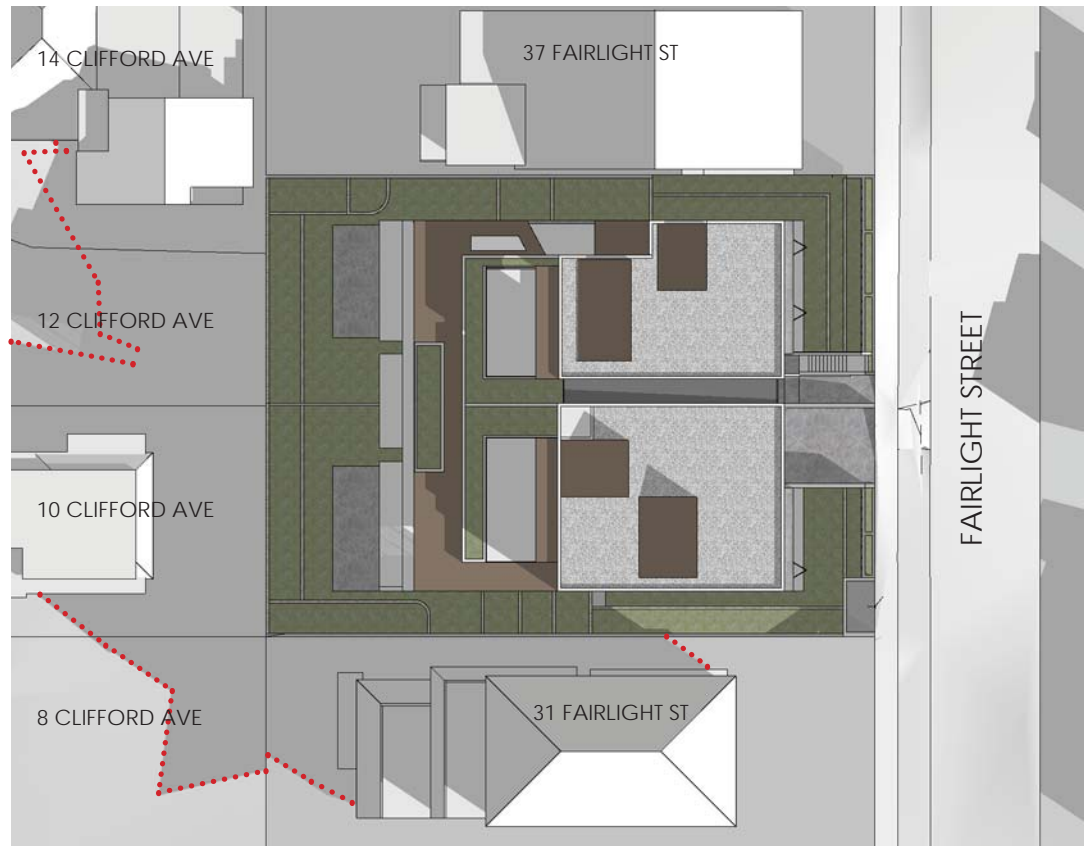
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1:500	DA	3.02	A



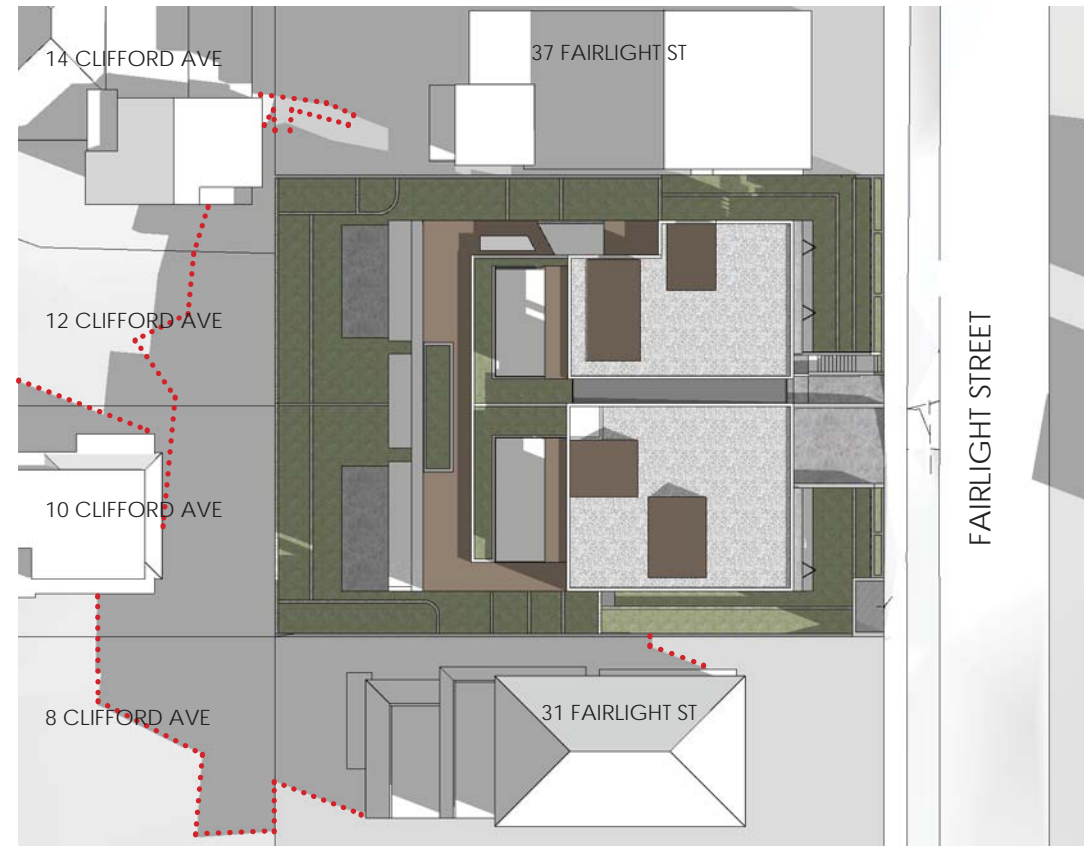
9am - existing building



10am - existing building



9am - proposed building



10am - proposed building

**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BC	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FK	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFL	ABOVE FINISHED FL. L.
MB	METAL BALUSTRADE	SD	SLIDING WINDOW	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect Blake Gough, Reg No. 8230

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A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
NEW APARTMENTS

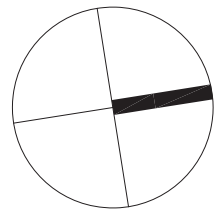
33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

**CLIENT**  
ALLEN GROUP  
DEVELOPMENTS

**DRAWING TITLE**  
SHADOW DIAGRAMS SHEET 1

**PROJECT**  
FSF

SCALE @A3	STATUS	NUMBER	REVISION
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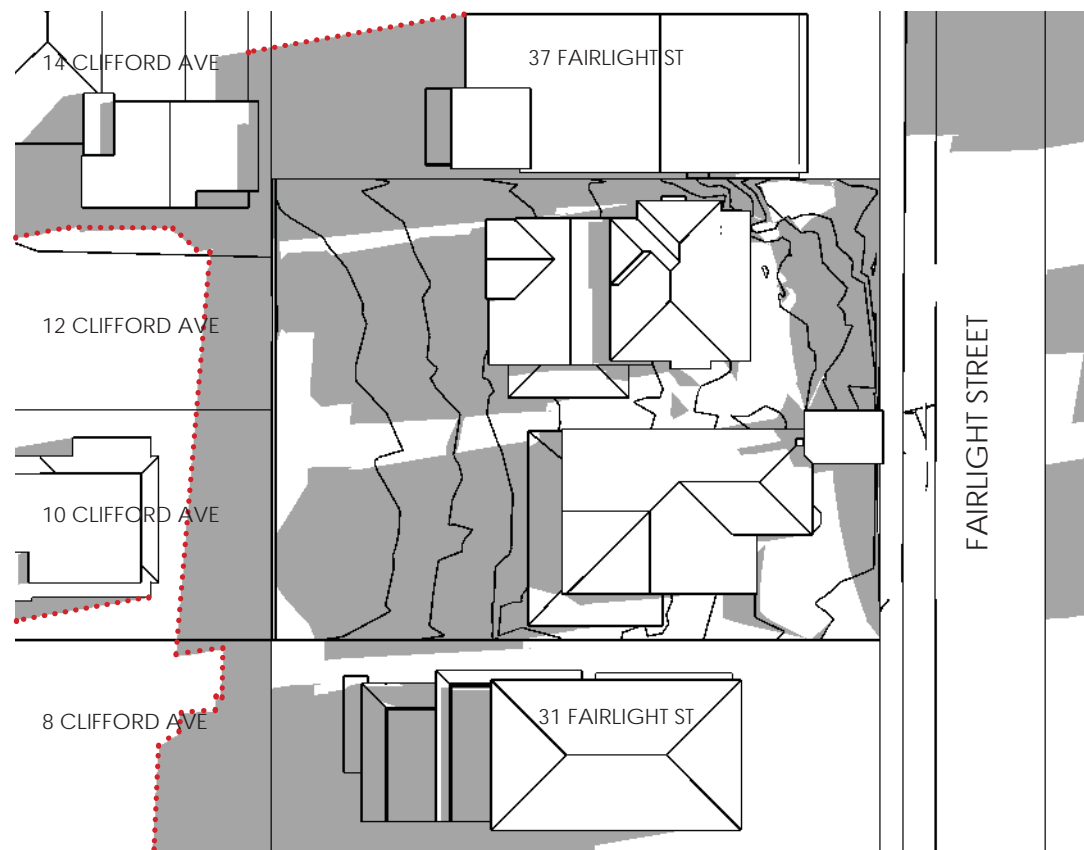


NOTE:  
SHADOWS SHOWN AS CAST ON THE 21st JUNE 2021. EXISTING HOUSE MODELLED AS PER AVAILABLE SURVEY DATA AND THE PROPOSED BUILDING ACCURATELY REFLECTS ARCHITECTURAL PLANS ISSUE 1 AS LODGED FOR DEVELOPMENT APPLICATION.

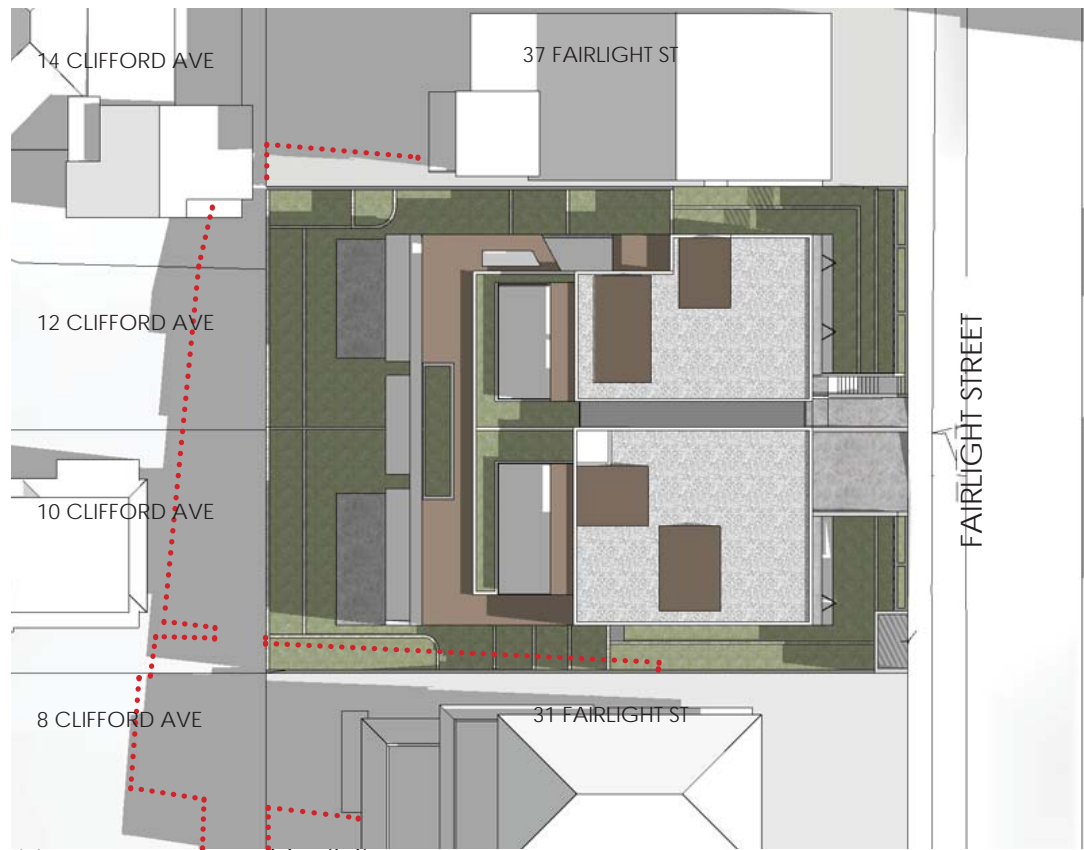




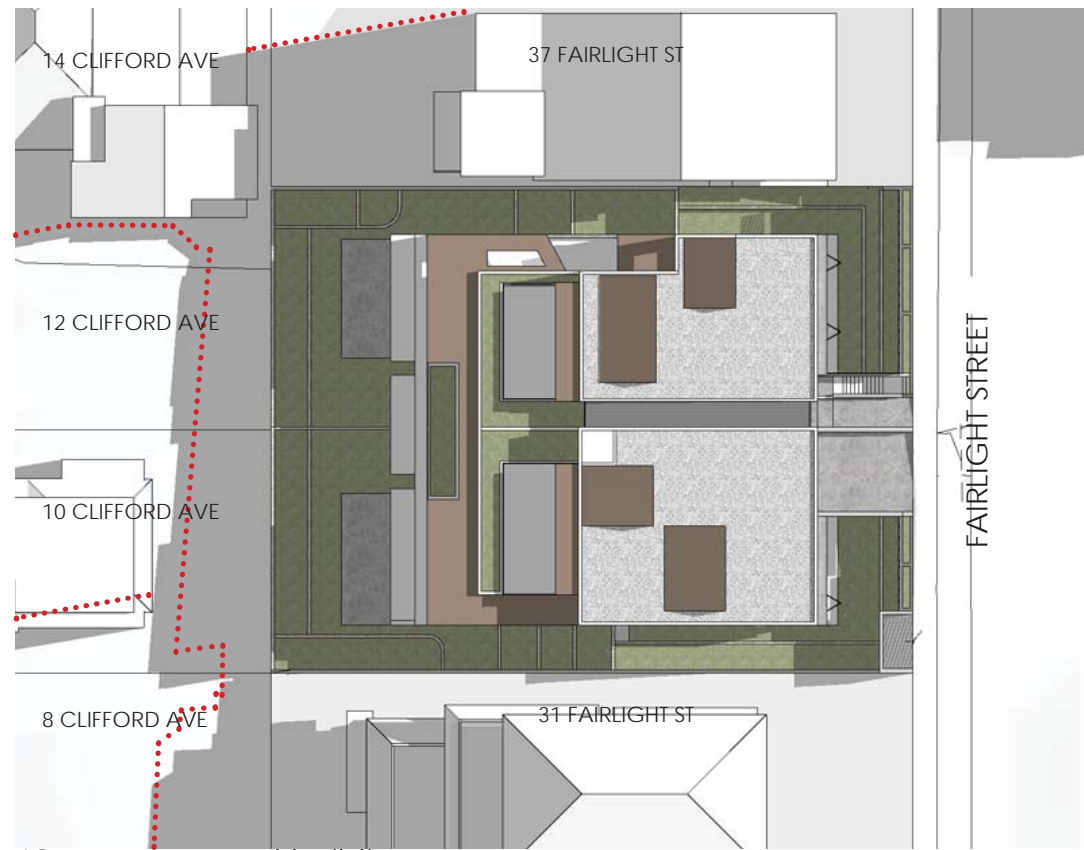
11am - existing building



12pm - existing building



11am - proposed building



12pm - proposed building

**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FK	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVER WINDOW	AFFL	ABOVE FINISHED FL.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect Blake Gough, Reg No. 8200

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A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
**NEW APARTMENTS**

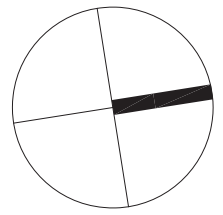
33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

**CLIENT**  
**ALLEN GROUP DEVELOPMENTS**

**DRAWING TITLE**  
**SHADOW DIAGRAMS SHEET 2**

**PROJECT**  
**FSF**

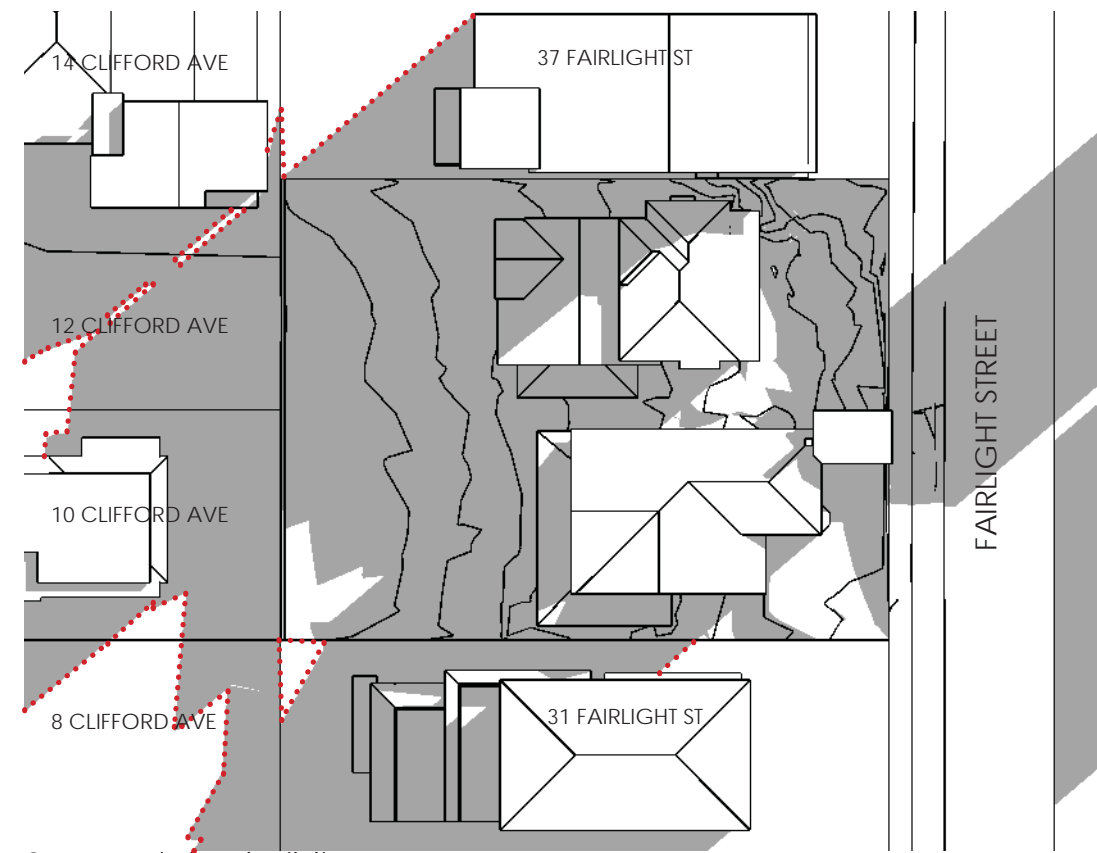
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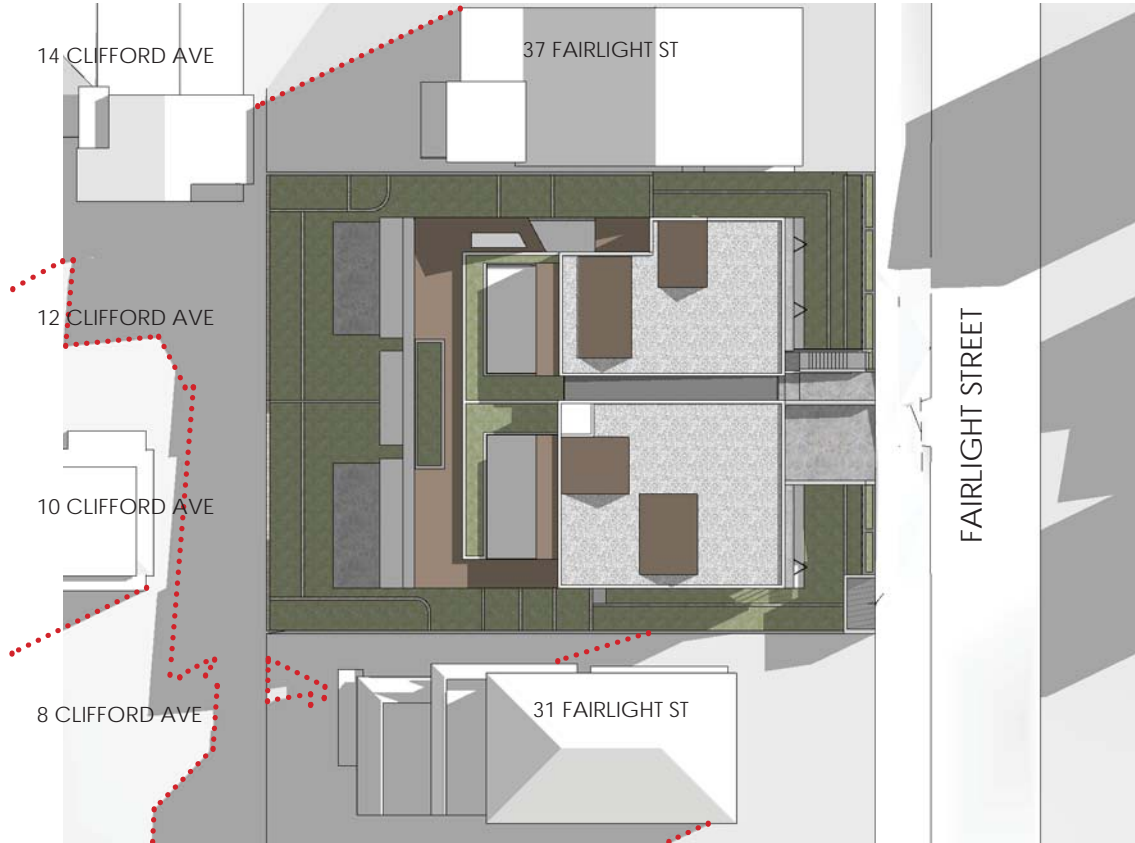
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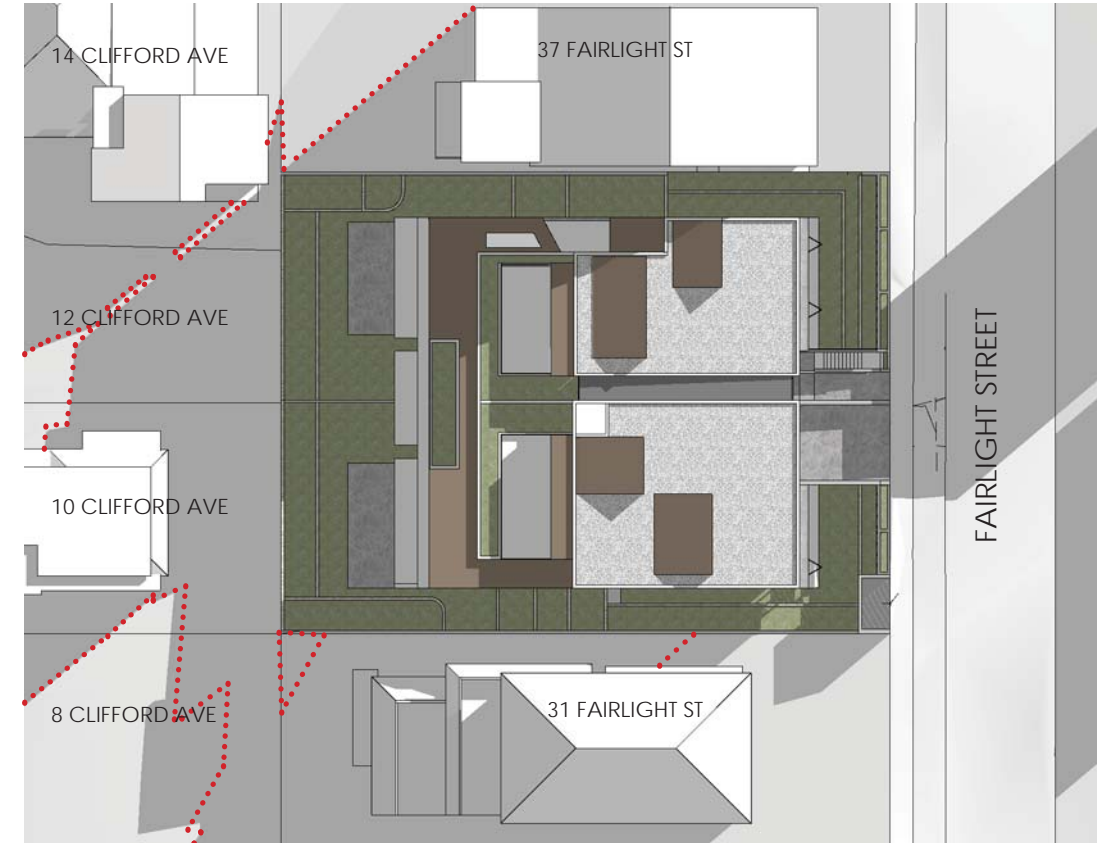
1pm - existing building



2pm - existing building



1pm - proposed building



2pm - proposed building

**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FK	FIXED PANEL	FFL	FINISHED FLOOR L.
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MB	METAL BALUSTRADE	SD	SLIDING WINDOW	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect Blake Gough, Reg No. 8238

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A	Oct 2021	DA SUBMISSION	BG/RB

PROJECT  
**NEW APARTMENTS**

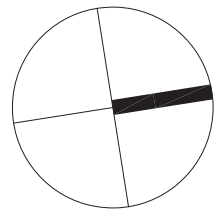
33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

CLIENT  
**ALLEN GROUP  
DEVELOPMENTS**

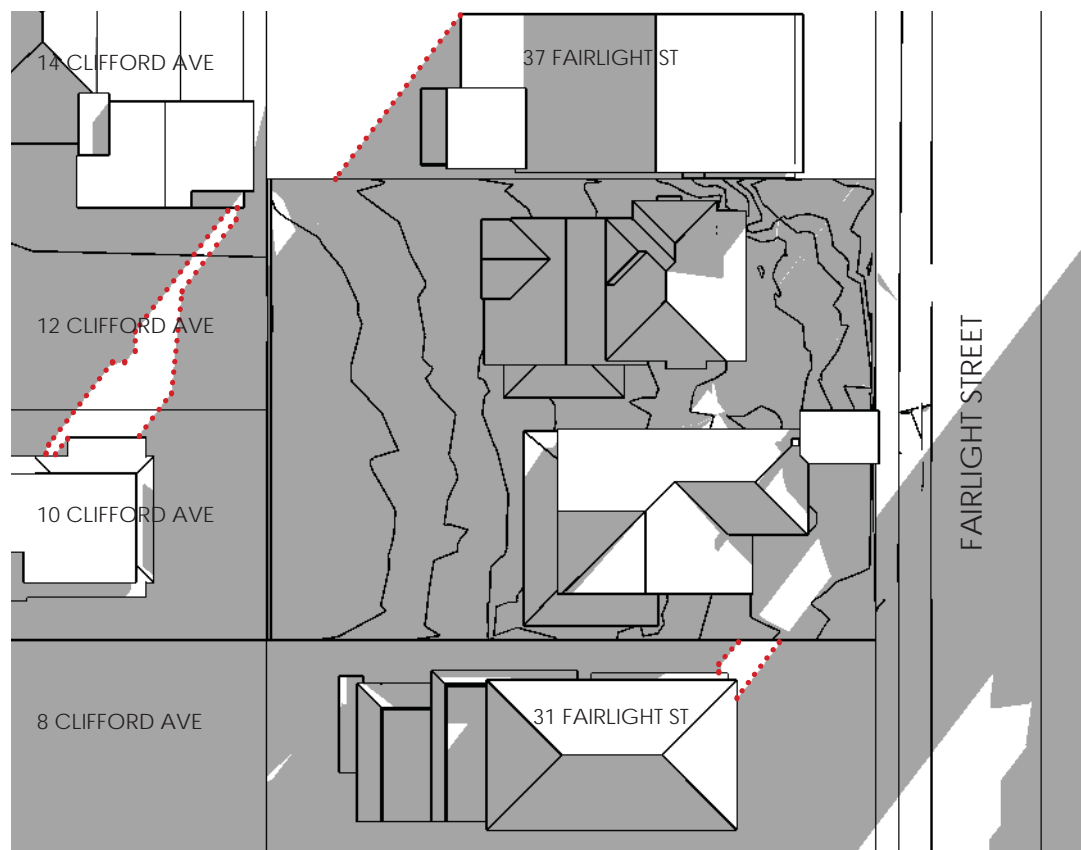
DRAWING TITLE  
**SHADOW DIAGRAMS SHEET 3**

PROJECT  
**FSF**

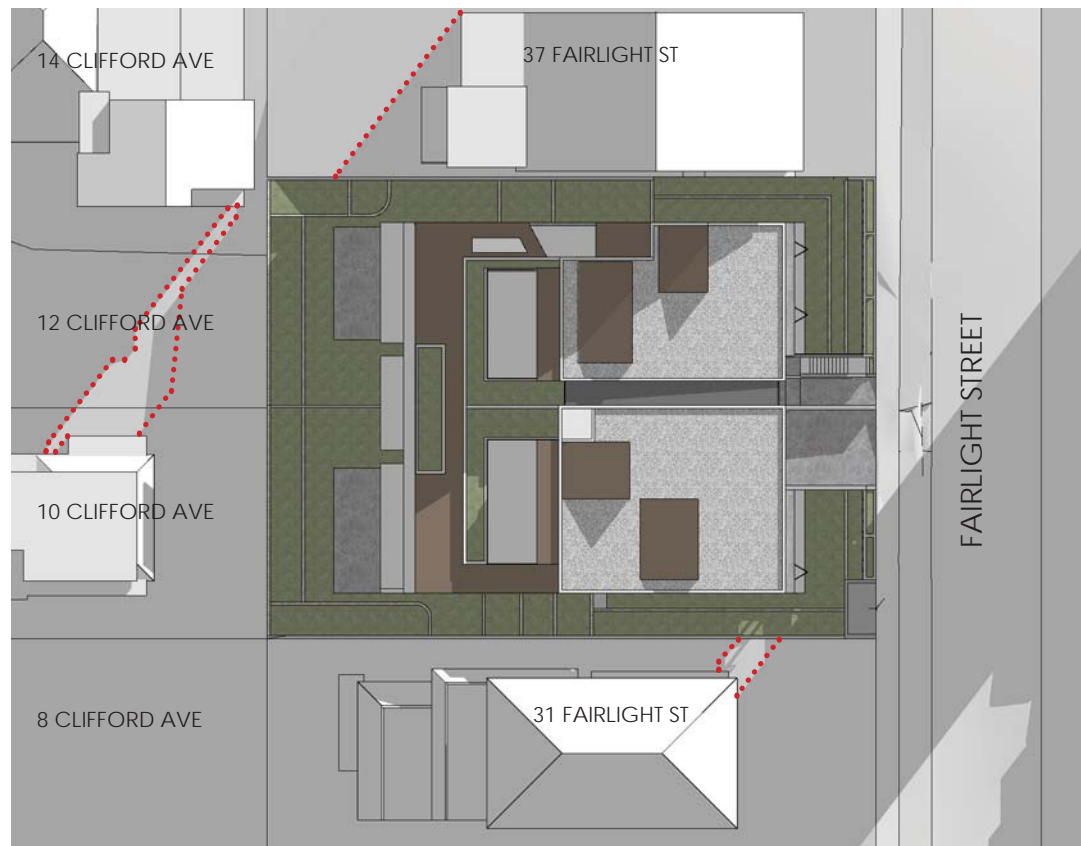
SCALE @A3	STATUS	NUMBER	REVISION
1:500	DA	4.03	A



NOTE:  
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3pm - existing building



3pm - proposed building

NOTE:  
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### LEGEND

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FX	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVER WINDOW	AFFL	ABOVE FINISHED FL. L.
MB	METAL BALUSTRADE	SD	SLIDING WINDOW	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TOA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

## platform ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect Brade Gough, Reg No. 8280

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A	Oct 2021	DA SUBMISSION	BG/RB

### PROJECT

#### NEW APARTMENTS

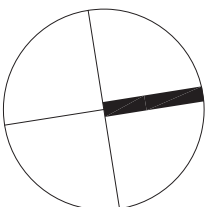
33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

CLIENT  
**ALLEN GROUP DEVELOPMENTS**

DRAWING TITLE  
**SHADOW DIAGRAMS SHEET 4**

PROJECT  
**FSF**

SCALE @A3	STATUS	NUMBER	REVISION
1:500	DA	4.04	A

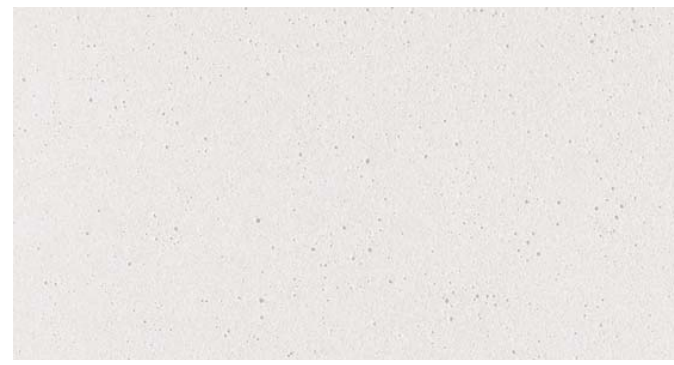






## (CL1)

BLUESTONE CLADDING IN VARIOUS SIZES



## (RE1)

PIGMENTED CEMENT RENDER W/ COARSE GRAIN; OFF WHITE COLOUR



## (PC)

POWDERCOATED METAL ELEMENTS DARK BRONZE INCLUDING BALUSTRADE RAILS, FENCE, AWNINGS AND FLASHING. DULUX DURATEC ETERNITY BRONZE PEARL OR SIMILAR



## (WN)

ANODISED WINDOW FRAMES IN NATURAL COLOUR



## (PB)

RIVER PEBBLES FOR ROOF COVER



## (ST1)

DRY STACK LOCAL SANDSTONE CLADDING



## (TIM1)

TIMBER LOOK BATTENS FOR SCREENS & GARAGE DOOR



## (TIM2)

TIMBER LOOK CLADDING

platform  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect Bridie Gough, Reg No. 8280

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  - Larger scale drawings and written dimensions take precedence.
  - The Esplanade Planning Level is msl 3.1m AHD. All levels to AHD.

REVISION	ISSUED	DESCRIPTION	BY
PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

PROJECT  
NEW APARTMENTS

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

CLIENT  
ALLEN GROUP  
DEVELOPMENTS

DRAWING TITLE PROJECT  
EXTERNAL FINISHES SCHEDULE FSF

SCALE @A3	STATUS	NUMBER	REVISION
NTS	DA	5.01	A



R.L. 48.45  
THIRD (STREET)

R.L. 45.33  
SECOND FLOOR

R.L. 42.19  
FIRST FLOOR

R.L. 39.05  
GROUND FLOOR

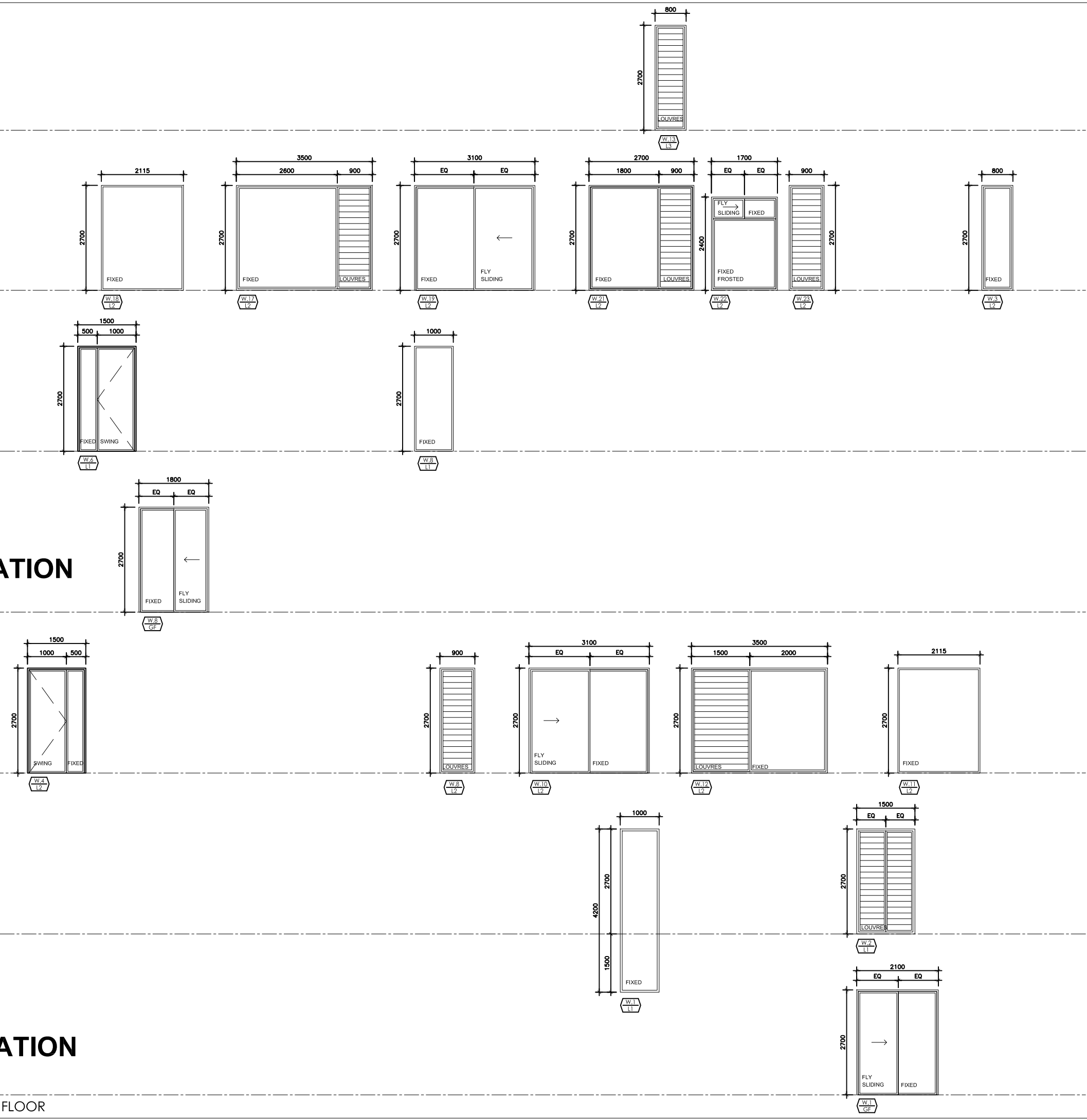
R.L. 45.33  
SECOND FLOOR

R.L. 42.19  
FIRST FLOOR

R.L. 39.05  
BASEMENT/GROUND FLOOR

# EAST ELEVATION

# WEST ELEVATION



## LEGEND

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
LDY	LAUNDRY	FK	FIXED PANEL	FFL	FINISHED FLOOR L.
GB	GLASS BALUSTRADE	LV	LOUVRE WINDOW	AFLL	ABOVE FINISHED FL. L.
MB	METAL BALUSTRADE	SD	SLIDING PANEL	TOW	TOP OF WALL
PB	PRIVACY BLADE	CSD	CAVITY SLIDING PANEL	TDA	TOP OF AWNING
PS	PRIVACY SCREEN	AW	AWNING WINDOW	TOG	TOP OF GUTTER
PL	PLANTER	DH	DOUBLE HUNG W.	R.RL	RIDGE RL
RWO	RAINWATER OUTLET	SW	SWING PANEL		

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect Bridie Gough, Reg No. 6280

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A	Oct 2021	DA SUBMISSION	BG/RB

PROJECT  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

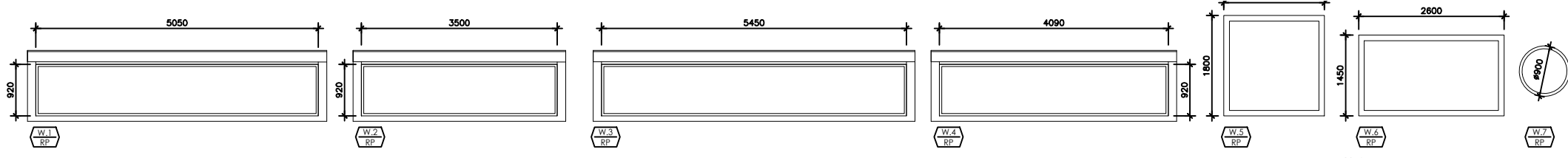
CLIENT  
**ALLEN GROUP DEVELOPMENTS**

DRAWING TITLE  
**WINDOW SCHEDULE EAST & WEST ELEVATION**

PROJECT  
**FSF**

SCALE @A3	STATUS	NUMBER	REVISION
1:100	DA	6.01	A

SKYLIGHT & CLERESTORY



LEGEND

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
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R	ROBE	HR	HYDRAULIC RISER	RL	RELATIVE LEVEL
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RWO	RAINFALL OUTLET	SW	SWING PANEL		

R.L. 48.45  
THIRD (STREET)

NORTH ELEVATION

R.L. 45.33  
SECOND FLOOR

R.L. 48.45  
THIRD (STREET)

R.L. 45.33  
SECOND FLOOR

R.L. 42.19  
FIRST FLOOR

SOUTH ELEVATION

R.L. 39.05  
GROUND FLOOR

**platform**  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

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PROJECT  
**NEW APARTMENTS**

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

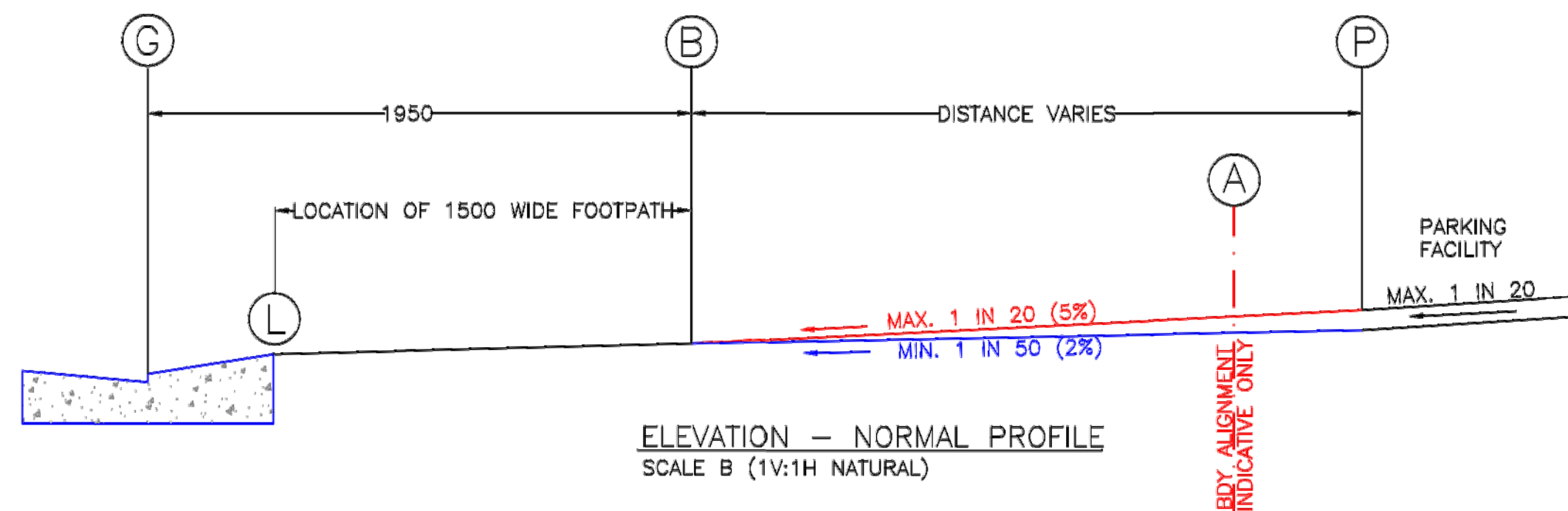
CLIENT  
**ALLEN GROUP DEVELOPMENTS**

DRAWING TITLE  
**WINDOW SCHEDULE NORTH & SOUTH ELEVATION**

PROJECT  
**FSF**

SCALE @A3	STATUS	NUMBER	REVISION
1:100	DA	6.02	A





**DRIVEWAY SET-OUT SCHEDULE**

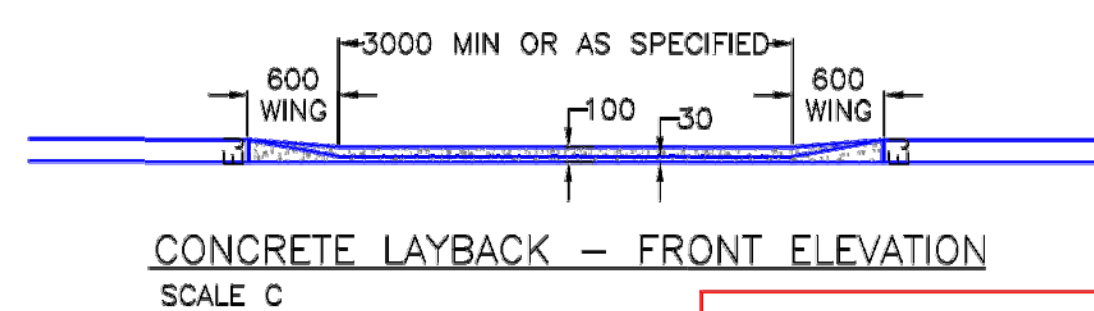
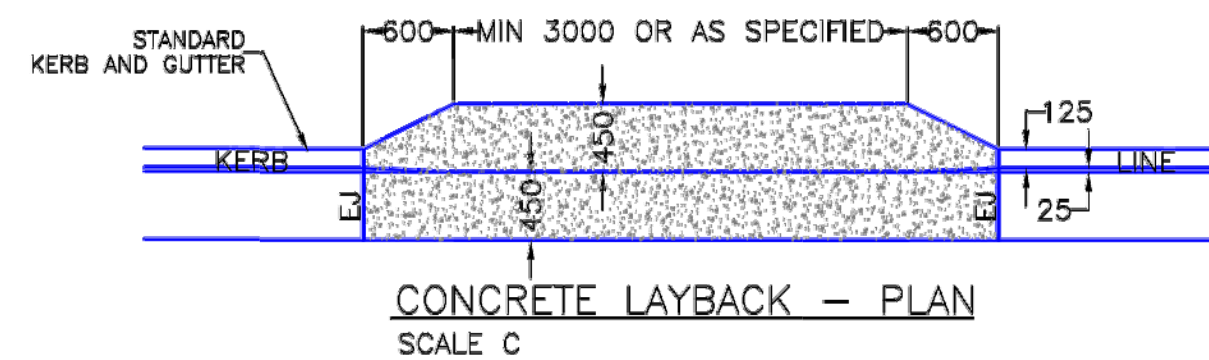
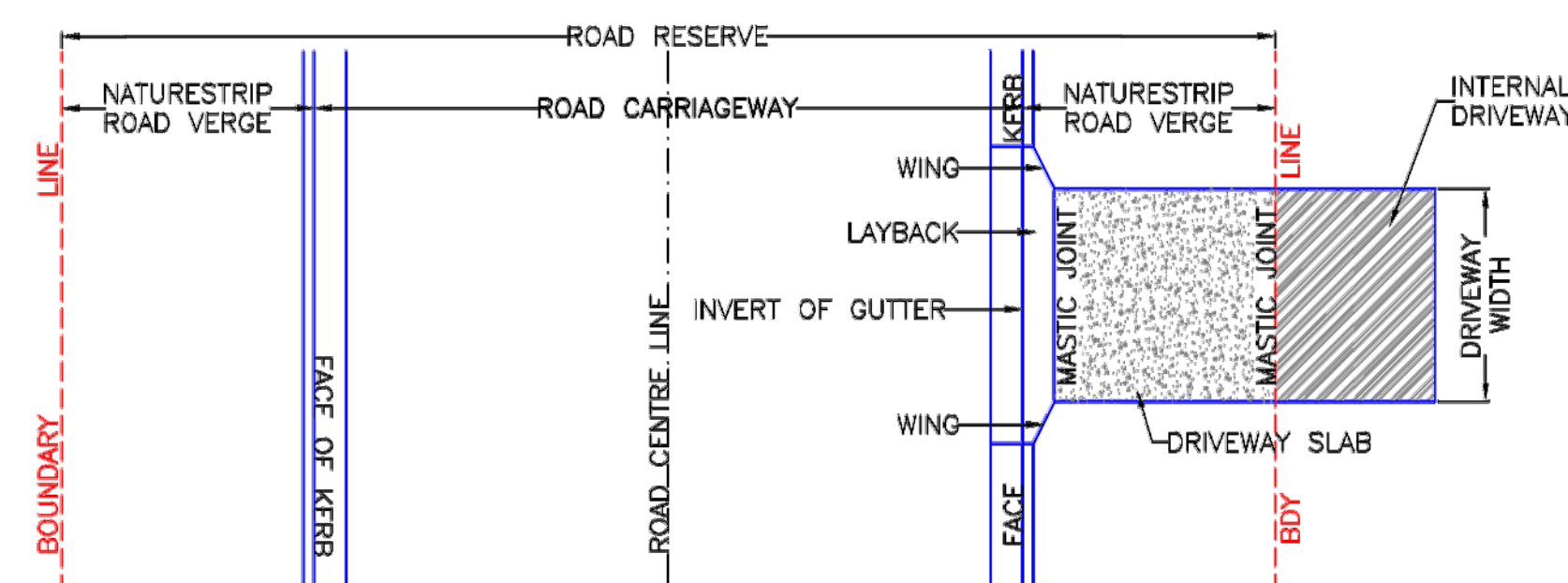
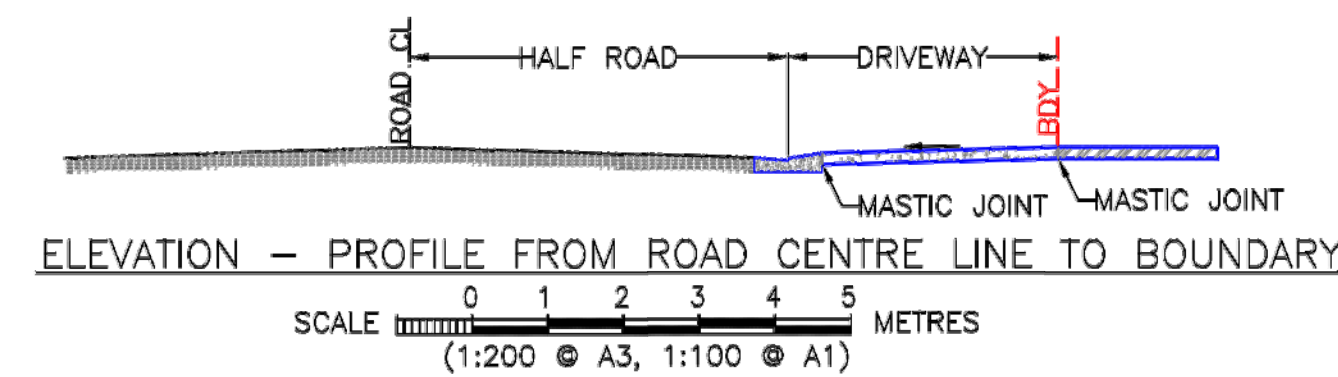
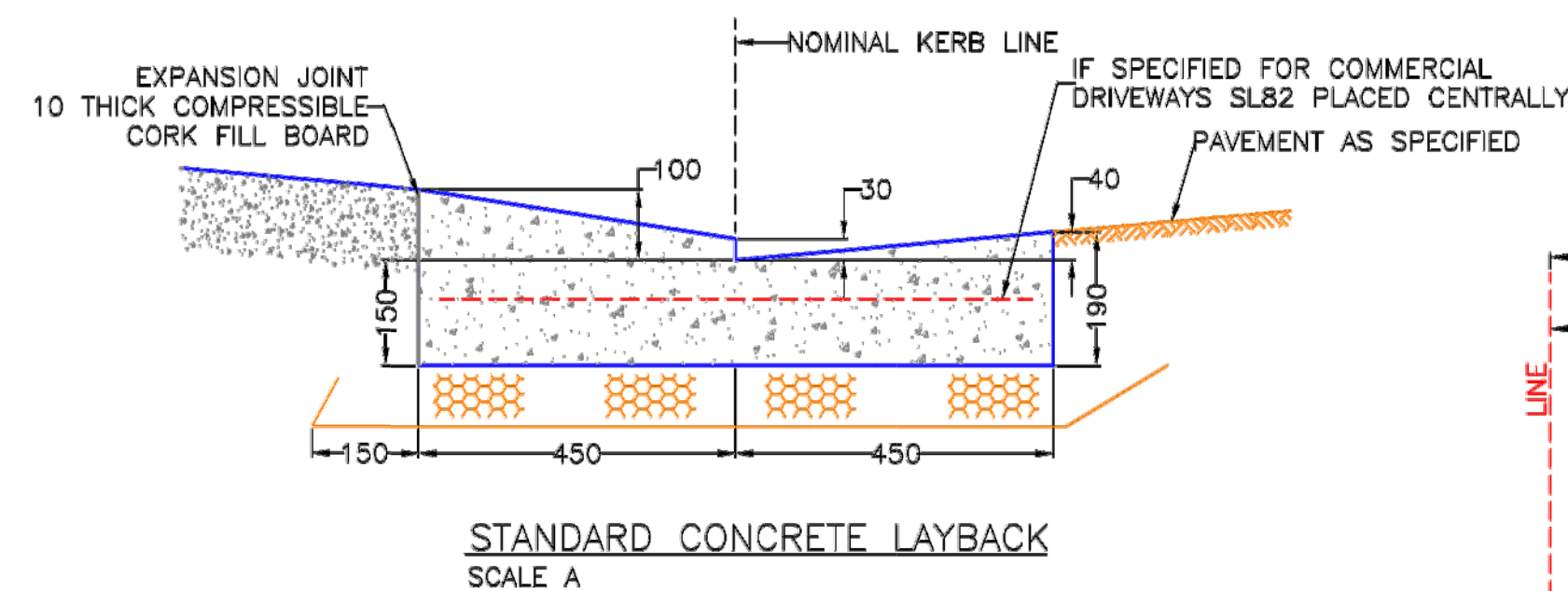
POINT	REMARK	LEVELS
G	GUTTER INVERT	DRIVEWAY CROSSING SET-OUT POINT
L	REAR OF LAYBACK	100mm ABOVE GUTTER INVERT (MAY BE ALTERED AT COUNCIL'S DISCRETION)
B	1950mm FROM GUTTER INVERT	138mm ABOVE GUTTER INVERT
A	BOUNDARY ALIGNMENT	PLACE 10mm EXPANSION JOINT
P	PARKING FACILITY	MAXIMUM GRADE PARALLEL TO ANGLE OF PARKING 1V:20H. FOR ANY OTHER DIRECTION 1V:16H

**VEHICLE CROSSING CONSTRUCTION NOTES**

- AT LEAST 48 HOURS' NOTICE OF INTENTION SHALL BE GIVEN TO COUNCIL ENGINEER TO POUR CONCRETE WITHIN THE ROAD RESERVE AND NO CONCRETE SHALL BE PLACED UNTIL THE FORMWORK HAS BEEN APPROVED AND AN INSPECTION NOTICE ISSUED.
- ALL DISTURBED AREAS OF THE FOOTWAY ADJACENT TO THE VEHICLE CROSSING SHALL BE TURFED AND FINISHED LEVEL WITH THE CONCRETE SURFACE. RAISED EDGES ARE UNACCEPTABLE.
- THE ROAD ADJOINING THE VEHICLE CROSSING SHALL BE BATTERED AND TURFED AT A MAXIMUM GRADIENT OF 1V:6H OR AS DIRECTED BY COUNCIL.
- CONCRETE FOOTPATH ADJUSTMENTS SHALL BE IN ACCORDANCE WITH COUNCIL'S FOOTPATH SPECIFICATION AND TO COUNCIL'S SATISFACTION.
- THE SUBGRADE MUST BE THOROUGHLY COMPACTED BY THE USE OF VIBRATORY COMPACTION EQUIPMENT UNTIL IT SHOWS NO SIGNS OF MOVEMENT, OR AS DIRECTED BY COUNCIL.
- VEHICLE CROSSING SLABS MUST BE POURED IN PLAIN CONCRETE. SLAB SURFACE MUST BE COVE FINISHED (OR EQUIVALENT) AND EDGES TO BE FINISHED WITH A 50mm MARGIN.
- ALL CHANGES IN GRADE SHALL BE SCREEDED TO ENSURE NO RIGID/SHARP TRANSITIONS.
- THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 25MPa AT 28 DAYS.
- THE MINIMUM DEPTH OF CONCRETE SHALL BE AS FOLLOWS:
  - SINGLE RESIDENTIAL DWELLING: 130mm THICK REINFORCED WITH SL72 MESH PLACED 30mm BELOW TOP OF CONCRETE SLAB
  - MULTI-UNIT RESIDENTIAL: 150mm THICK REINFORCED WITH SL82 MESH PLACED 30mm BELOW TOP OF CONCRETE SLAB
  - COMMERCIAL OR INDUSTRIAL: 180mm THICK REINFORCED WITH SL82 MESH PLACED 30mm BELOW TOP OF CONCRETE SLAB
- THE VEHICLE CROSSING UP TO 2400mm FROM THE GUTTER INVERT SHALL BE GRADED PARALLEL WITH THE ROAD CENTRELINE.
- THE VEHICLE CROSSING SHALL BE CONSTRUCTED PERPENDICULAR TO THE ROAD PAVEMENT UNLESS OTHERWISE INSTRUCTED BY COUNCIL.
- THE CONSTRUCTION OF ALL VEHICLE CROSSINGS AND ASSOCIATED WORKS ON THE ROAD RESERVE MUST BE COMPLETED BY A COUNCIL APPROVED CONCRETE CONTRACTOR.
- NO TREE ROOTS GREATER THAN 50mm IN DIAMETER ARE TO BE REMOVED UNLESS AUTHORISED BY A QUALIFIED ARBORIST.
- ANY ROOTS APPROVED FOR REMOVAL SHALL BE CLEAN CUT WITH SHARP TOOLS SUCH AS SECATEURS, PRUNERS, HANDSAWS, CHAINSAWS OR SPECIALISED ROOT PRUNING EQUIPMENT.

**IMPORTANT DRIVEWAY DESIGN NOTES:**

- STANDARD DRIVEWAY PROFILES MAY NOT SUIT ALL TERRAIN CONDITIONS.
- STANDARD DRIVEWAY PROFILES MAY NEED TO BE MODIFIED TO SUIT SITE CONSTRAINTS.
- THE STANDARD DRIVEWAY PROFILES SHOWN DO NOT ALL TAKE INTO CONSIDERATION THE FOOTPATH CROSS FALL WHERE IT MEETS THE DRIVEWAY. FOR DISABLED ACCESSIBILITY, IT MUST NOT EXCEED 2.5% MAXIMUM CROSS-FALL GRADED TOWARDS THE KERB OR ROAD SIDE. IT ALSO DOES NOT TAKE INTO CONSIDERATION ANY SPECIAL REQUIREMENTS E.G. IN A FLOOD PLANNING AREA WHERE A MINIMUM FREE BOARD IS REQUIRED AT THE PARKING FACILITY AND DRIVEWAY INTERFACE.
- WHERE MODIFICATION OF THE DRIVEWAY IS REQUIRED TO MEET EXISTING OR PROPOSED CROSS FALLS OR LEVELS, THE FINAL DESIGN PROFILE MUST BE CHECKED AGAINST THE AUSTRALIAN STANDARD AS/NZS2890.1:2004 "OFF STREET CAR PARKING" CODE FOR SCRAPING AND BOTTOMING FOR THE 85TH PERCENTILE PASSENGER VEHICLE.
- THE DESIGNER WILL NEED TO LIAISE WITH COUNCIL TO COME UP WITH A SUITABLE DESIGN SOLUTION.



**IMPORTANT NOTE**  
THESE STANDARDS WERE PRODUCED FOR THE SOLE USE OF THE NORTHERN BEACHES COUNCIL.  
UNLESS THE STANDARD DETAILS ARE INDICATED ON CONSTRUCTION DRAWINGS WHICH HAVE BEEN APPROVED BY NORTHERN BEACHES COUNCIL, THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF NORTHERN BEACHES COUNCIL'S ASSET MANAGER

**CONCRETE DRIVEWAY NOTES**

- LAYBACK AND GUTTER SHALL BE CONSTRUCTED IN PLAIN CONCRETE AND FINISHED WITH A STEEL TROWEL.
- THE MINIMUM COMPRESSIVE STRENGTH FOR DRIVEWAYS SHALL BE 25MPa AT 28 DAYS. FOR COMMERCIAL OR INDUSTRIAL DRIVEWAYS THE SLAB DEPTH SHALL BE INCREASED TO MINIMUM OF 180mm WITH SL82 STEEL MESH AND TOP COVER OF 30mm.
- THE SUBGRADE SHALL BE EVENLY COMPACTED USING A VIBRATORY COMPACTION EQUIPMENT UNTIL IT SHOWS NO SIGNS OF MOVEMENT, OR AS DIRECTED BY COUNCIL.
- ALL VEHICLE CROSSINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LEVELS AND SPECIFICATION ISSUED BY COUNCIL AND MUST COMPLY WITH AS/NZS2890.1:2004 "OFF STREET CAR PARKING" CODE.
- ALL KERBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DRAWINGS AND SPECIFICATION ISSUED BY COUNCIL.
- WHERE COUNCIL OR ITS REPRESENTATIVE DIRECTS THAT THE GUTTER IS TO BE RETAINED, THE CONTRACTOR IS TO PLACE A 75mm DEEP SAW CUT IN THE GUTTER INVERT AND REMOVE THE KERB AND/OR LAYBACK.
- WHERE COUNCIL OR ITS REPRESENTATIVE DIRECTS THAT THE GUTTER IS TO BE REMOVED, A ROAD OPENING PERMIT OR APPLICATION IS TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORKS.
- THE CONSTRUCTION OF ALL VEHICLE CROSSINGS AND ASSOCIATED WORKS MUST BE PERFORMED BY A COUNCIL APPROVED CONTRACTOR.
- SAWCUT 500mm ASPHALT STRIP AND MATCH IN LAYBACK WITH ROAD SURFACE TO SMOOTH TRANSITION.

1	ISSUED FOR AUTHORITY APPROVAL	23-11-21
No.	REVISION	DATE

**M+G Consulting**  
M & G CONSULTING ENGINEERS PTY LTD ABN 65 094 064 990  
Tel: +61 2 8666 7888  
L3, 50 Berry Street  
North Sydney NSW 2060  
(PO Box 1656, NSW 2059)

CONSULT AUSTRALIA  
Member Firm

AUSTRALIAN STEEL INSTITUTE  
Member of

ACSEE  
REGISTERED

ARCHITECT  
**PLATFORM ARCHITECTS**

CLIENT  
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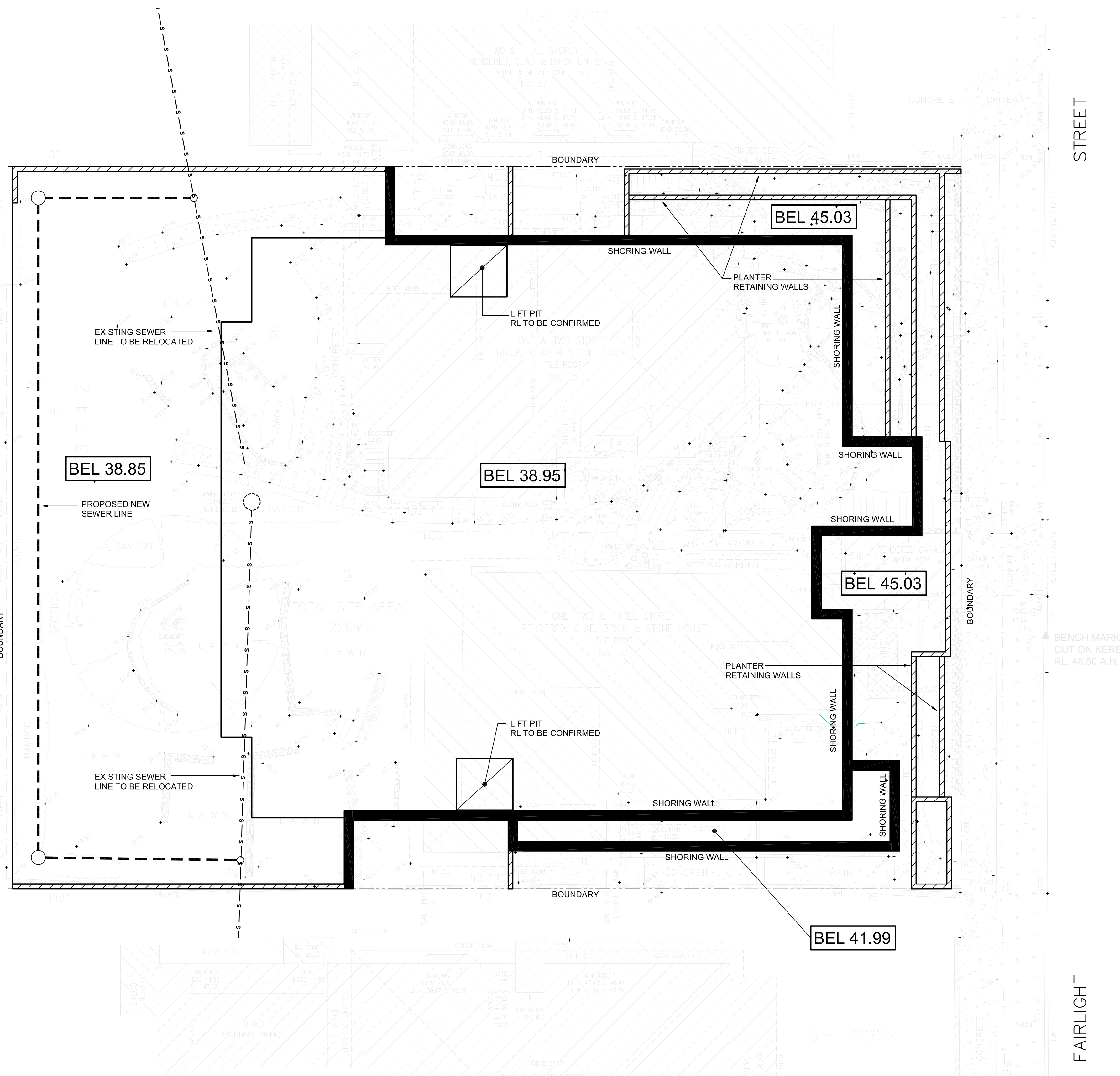
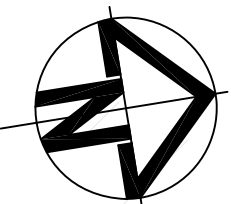
PROJECT  
**NEW APARTMENTS  
33-35 FAIRLIGHT STREET  
FAIRLIGHT NSW**

TITLE  
**CONCRETE DRIVEWAY AND  
LAYBACK NOTES AND DETAILS**

DRAWN KKH	DESIGNED NN	REVIEWED SCM	DATE NOV 2021	SCALE NOTED AT A1
JOB No.	5631	DRAWING No.	C07	1 ISSUE

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**BULK EXCAVATION AND SHORING PLAN**  
SCALE 1:100

**GENERAL**

- G1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL'S REQUIREMENTS AND SPECIFICATIONS.
- G2. ALL WORK SHALL BE DONE IN A SOUND, EFFICIENT AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH SOUND ENGINEERING PRACTICE AND PRINCIPLES. ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALSO WITH THE ENGINEERING PURPOSE AND INTENT OF THE DRAWINGS SPECIFICATIONS AND INSTRUCTIONS BY PROJECT MANAGER.
- G3. LOCATION OF EXISTING SERVICES (IF SHOWN) IS APPROXIMATE ONLY. CONTRACTOR SHALL CHECK LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORK AND ACCEPT FULL RESPONSIBILITY FOR THE COST OF REPAIRS AND CONSEQUENCES OF ANY DAMAGE WHICH MAY OCCUR TO THESE SERVICES AS A RESULT OF CONSTRUCTION WORKS.
- G4. ALL DISTURBED AREAS NOT SUBJECT TO NEW WORKS SHALL BE REINSTATED TO EXISTING CONDITION BY THE CONTRACTOR AT THE COMPLETION OF WORKS UNLESS OTHERWISE INSTRUCTED BY THE SUPERINTENDENT.
- G5. DURING THE ROAD WORKS ALL TRAFFIC MANAGEMENT IS TO BE IN ACCORDANCE WITH RMS PUBLICATION "TRAFFIC CONTROL AT WORKSITES" (JUNE 2010)
- G6. PROVIDE SURFACE AND SUBSOIL DRAINAGE TO PREVENT MOISTURE EGRESS INTO THE PAVEMENT AND SUBGRADE. REFER TO HYDRAULIC ENGINEER DRAWINGS FOR DETAILS.
- G7. REFERENCE SHALL BE MADE TO GEOTECHNICAL INVESTIGATION REPORT BY -
- G8. REFERENCE SHALL BE MADE TO SITE SURVEY BY BEE AND LETHBRIDGE PTY LTD REF PROJECT 25189
- G9. THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION AND PROTECT AND MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE AND/OR ADJUST IF NECESSARY. INFORMATION GIVEN ON THE DRAWINGS IN RESPECT TO SERVICE IS FOR GUIDANCE.
- G10. CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER AND SUPERINTENDANT.

**SHOTCRETE NOTES**

SC1. FOR SHOTCRETE NOTES REFER DWG. S01.

**TEMPORARY BATTER NOTES:**

- B1. GEOTECHNICAL ENGINEER IS TO INSPECT TEMPORARY BATTERS.
- B2. ALL TEMPORARY BATTERS ARE TO BE PROTECTED WITH IMPERMEABLE PLASTIC SHEETING OR SIMILAR TO REDUCE RISK OF EROSION.
- B3. ALL GROUND SURFACES AT THE TOP OF BATTERS SHALL BE GRADED TO DEFLECT SURFACE WATER AWAY FROM THE EXCAVATION.
- B4. FOR GROUND WATER CONTROL, REFER PROJECT GEOTECHNICAL REPORT.

**SITE PREPARATION, CLEARING AND GRUBBING**

- S1. ALL WORK TO BE IN ACCORDANCE WITH AS3798 UNO
- S2. DIVERTING WATER AND DEWATERING: THE CONTRACTOR SHALL TAKE ALL NECESSARY ACTION TO PREVENT ANY SEEPAGE OR SUBSOIL WATER FROM INTERFERING WITH THE PROGRESS OF THE WORKS. THE WORK SHALL BE KEPT FREE FROM SUCH WATER.
- S3. SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY COUNCIL AND AS DETAILED IN HYDR. ENG. DRAWINGS SHALL BE CARRIED OUT FOR THE FULL DURATION OF THE WORKS BY THE CONTRACTOR.
- S4. THE SITE AREA SUBJECT TO NEW WORKS IS TO BE CLEARED OF ALL VEGETATION, FALLEN TIMBER, RUBBISH, DEBRIS AND CONCRETE FOUNDATIONS.
- S5. STRIP EXISTING TOPSOIL AND DISPOSE OF OR REUSE FOR LANDSCAPING AS PER SPECIFICATION. DEPTH OF TOPSOIL MAY EXCEED 200 mm IN SOME AREAS. ONLY REMOVE TOPSOIL AS DIRECTED BY THE SUPERINTENDENT.

**EARTHWORKS**

- E1. ALL WORK TO BE IN ACCORDANCE WITH AS3798 UNO.
- E2. CUT TO LEVEL OF TOP OF SUBGRADE PLUS THICKNESS OF GRANULAR LAYER. SUBGRADE PREPARATION TO SUIT REQUIREMENTS OF PILING CONTRACTORS EQUIPMENT. BULK EXCAVATION LEVELS SHOWN INCLUDE ANY TOP LAYERS REPLACED TO CREATE WORKING PLATFORM FOR PILING RIG. TOP LAYER SHALL BE COMPACTED GRANULAR MATERIAL.
- E3. FOLLOWING COMPLETION OF PILING WORKS AND PRIOR TO CONSTRUCTION OF BASEMENT SLAB, GEOTECHNICAL INSPECTION AND COMPACTION WILL BE REQUIRED.
- E4. REFER GEOTECHNICAL REPORT BY -
- E5. DETAILED, ON-GOING INSPECTION BY AN EXPERIENCED GEOTECH ENGINEER OF THE EXCAVATED ROCK FACES WILL BE REQUIRED TO CHECK FOR THE POSSIBLE PRESENCE OF LATERALLY CONTINUOUS ADVERSELY ORIENTED JOINTS, FAULTS OR DYKES. BULK EXCAVATION SHALL PROCEED IN VERTICAL LIFTS NO GREATER THAN 1.5m DEPTH, FOLLOWED BY INSPECTION BY AN EXPERIENCED GEOTECHNICAL ENGINEER. ALLOWANCE SHOULD BE MADE FOR THE ROCKBOLTING OF ANY ADVERSELY DIPPING JOINTS AND/OR FAULTS DETECTED DURING EXCAVATION INSPECTIONS. CONTRACTOR SHALL INCORPORATE INSPECTION REQUIREMENTS INTO SITE SPECIFIC INSPECTIONS & TEST PLANS FOR EXCAVATION WORKS.

**NOTICE TO DEVELOPER / BUILDER:**

THE FOLLOWING IS AN EXTRACT FROM THE PRACTICE NOTE No. 10 BY THE ASSOCIATION OF CONSULTING STRUCTURAL ENGINEERS (ACSE) OF NSW. THE BUILDING OWNER SHOULD BE ADVISED THAT IN CARRYING OUT SHORING WORKS, IT IS VIRTUALLY IMPOSSIBLE TO ENTIRELY PREVENT ANY MOVEMENT OF THE EXCAVATION, AND THAT EXCAVATION MOVEMENT MAY LEAD TO DAMAGE TO ADJOINING PROPERTIES. IT IS RECOMMENDED THAT CONSULTING ENGINEERS, WITH THE APPROPRIATE ADVICE FROM THE GEOTECHNICAL CONSULTANT, ADVISE OWNERS OF THE POSSIBLE RISK ASSOCIATED WITH THE WORKS AND THE POTENTIAL FOR DAMAGE TO ADJOINING PROPERTIES, WHICH MAY SUBSEQUENTLY NEED REPAIRS (EG THE DAMAGE MAY BE IN THE FORM OF CRACKS WHICH WOULD NEED TO BE REPAIRED AT THE DEVELOPER'S EXPENSE). THIS COURSE OF ACTION IS NOT INTENDED TO BE OR APPEAR TO BE ALARMIST, BUT SIMPLY A DISCHARGE OF THE ENGINEER'S RESPONSIBILITIES. THE BUILDING OWNER SHOULD BE ADVISED TO ALLOW A SUM OF MONEY AS A CONTINGENCY FOR ANY REPAIRS TO ADJOINING BUILDINGS.\*

No.	REVISION	DATE
2	ISSUED FOR AUTHORITY APPROVAL	23-11-21
1	ISSUED FOR COORDINATION	19-11-21

**M+G Consulting**  
M & G CONSULTING ENGINEERS PTY LTD ABN 65 094 064 990  
Tel: +61 2 8666 7888  
L3, 50 Berry Street  
North Sydney NSW 2060  
(PO Box 1656, NSW 2059)

ARCHITECT  
**PLATFORM ARCHITECTS**

CLIENT  
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PROJECT  
**NEW APARTMENTS  
33-35 FAIRLIGHT STREET  
FAIRLIGHT NSW**

TITLE  
**BULK EARTHWORKS AND  
SHORING PLAN**

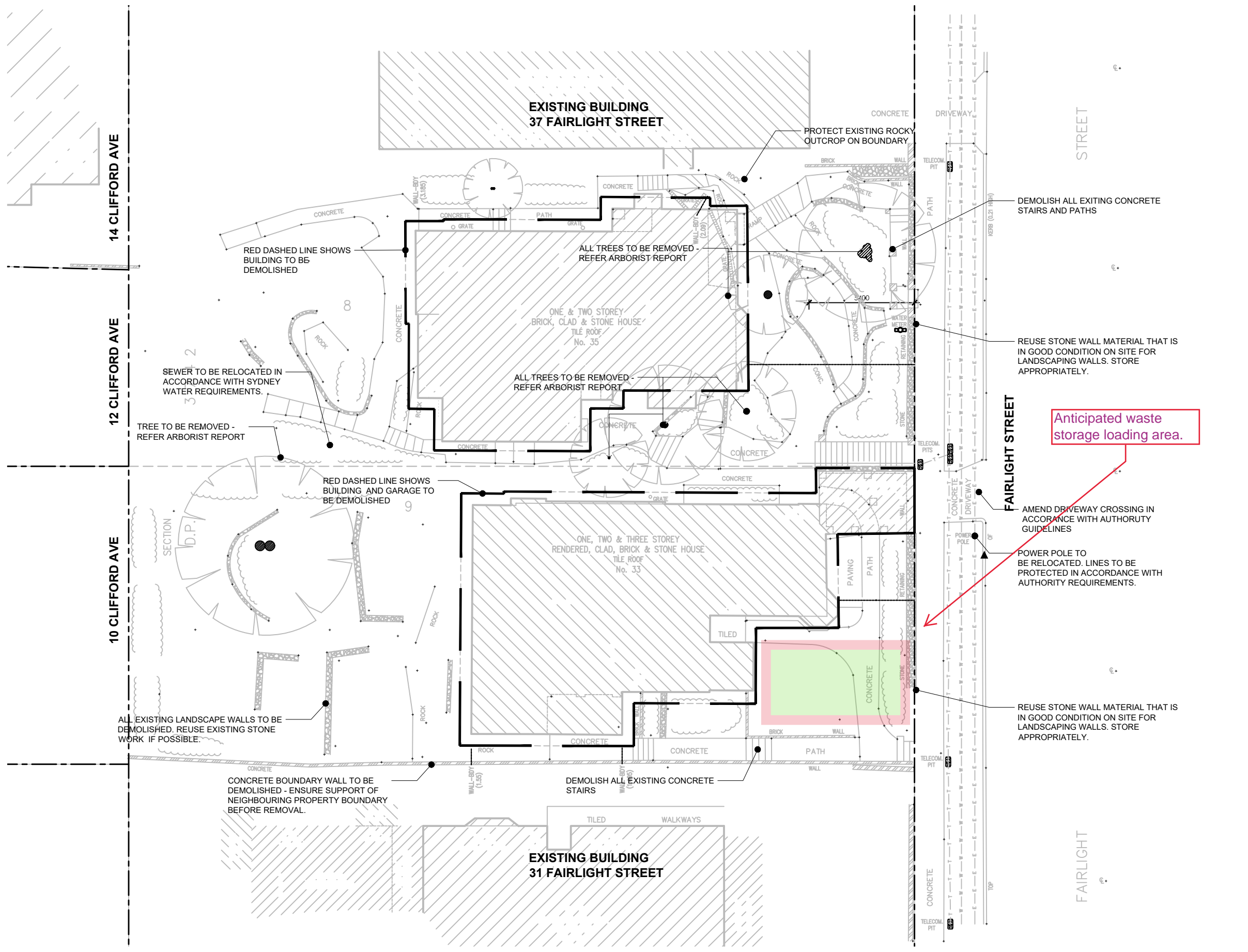
DRAWN GG	DESIGNED NN	REVIEWED SCM	DATE NOV 2021	SCALE 1:100 AT A1
JOB No. <b>5631</b>		DRAWING No. <b>C10</b>		<b>2</b> ISSUE

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**LEGEND**

ST	STORAGE	DP	DOWNPIPE	SK	SKYLIGHT
F	REFRIGERATOR	BG	BOX GUTTER	OP	OPAQUE GLAZING
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**platform**  
ARCHITECTS

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p. 02 8385 9759 abn. 74602856157  
nom. architect brida Gough, Reg No. 8280

**IMPORTANT NOTES:**

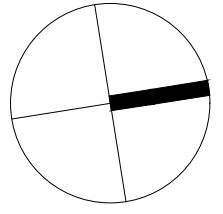
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PRELIM	Nov 2020	ISSUED FOR PRELODGEEMENT MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

**PROJECT**  
NEW APARTMENTS

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

**CLIENT**  
ALLEN GROUP  
DEVELOPMENTS



**DRAWING TITLE**  
DEMOLITION PLAN

**PROJECT**  
FSF

SCALE @A3	STATUS	NUMBER	REVISION
1:200	DA	XXXX	A





SUN VIEW 8:30AM



SUN VIEW 9:00AM



SUN VIEW 9:30AM



SUN VIEW 10:00AM

	Time starts	Time ends	TOTAL HOURS	MIN. REQ	COMPLIES
U1	10:00	14:30	4:30	2:00	YES
U2	9:00	14:30	5:30	2:00	YES
U3	11:00	13:00	2:00	2:00	YES
U4	8:35	10:35	2:00	2:00	YES
U5	0:00	0:00	0:00	2:00	NO
U6	0:00	0:00	0:00	2:00	NO

NOTE: SHADOWS SHOWN AS CAST ON THE 21st JUNE 2021. SURROUNDING BUILDINGS MODELLED AS PER AVAILABLE SURVEY DATA AND THE PROPOSED BUILDING ACCURATELY REFLECTS ARCHITECTURAL PLANS ISSUE 'A' AS LODGED FOR DEVELOPMENT APPLICATION.



SUN VIEW 10:30AM



SUN VIEW 11:00AM



SUN VIEW 11:30AM



SUN VIEW 12:00PM



SUN VIEW 12:30PM



SUN VIEW 1:00PM



SUN VIEW 1:30PM



SUN VIEW 2:00PM



SUN VIEW 2:30PM



SUN VIEW 3:00PM

platform  
ARCHITECTS

2/40 EAST ESPLANADE, MANLY  
p. 02 8385 9759 abn. 74602856157  
nom. architect Bridie Gough, Reg No. 8230

- IMPORTANT NOTES:
- Ensure that the drawings used carry the latest revision number.
  - Read in conjunction with consultant's engineer's drawings - refer to contract drawing set.
  - All dimensions to be checked on site before commencement of work.
  - All discrepancies to be brought to the attention of the architect.
  - Larger scale drawings and written dimensions take precedence.
  - The Esplanade Planning Level is min 3.1m AHD. All levels to AHD.

REVISION	ISSUED	DESCRIPTION	BY
PRELIM	Nov 2020	ISSUED FOR PRELODGE MEETING WITH COUNCIL	BG/OH
A	Oct 2021	DA SUBMISSION	BG/RB

PROJECT  
NEW APARTMENTS

33-35 FAIRLIGHT STREET,  
FAIRLIGHT NSW

CLIENT  
ALLEN GROUP  
DEVELOPMENTS

DRAWING TITLE  
SOLAR ACCESS DIAGRAM

PROJECT  
FSF

SCALE @A3	STATUS	NUMBER	REVISION
NTS	DA	7.01	A