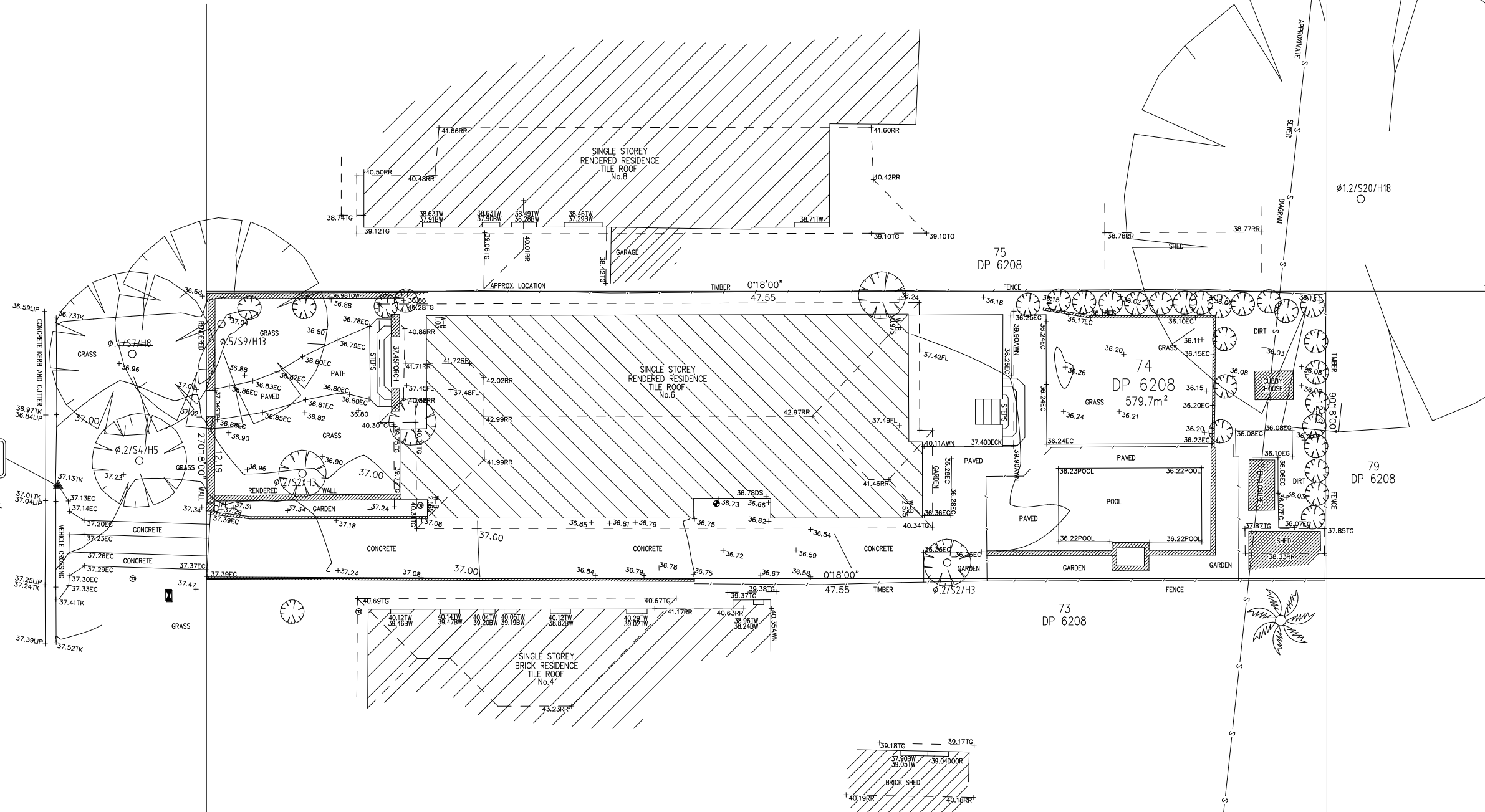


BRIGHTON STREET



**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

1 SURVEY PLAN
1:200

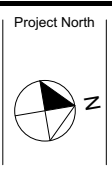


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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date: 7/05/2021
Project No: RP0720LYN
Project Status: DA
Client: Saxon and Amber Lyne
Site: 6 Brighton Street, Balgowlah
Sheet Size: A3

DRAWING TITLE :
**SITE AND LOCATION
SITE SURVEY**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
17/12/20
DRAWING NO.
DA1002

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 15/06/20

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

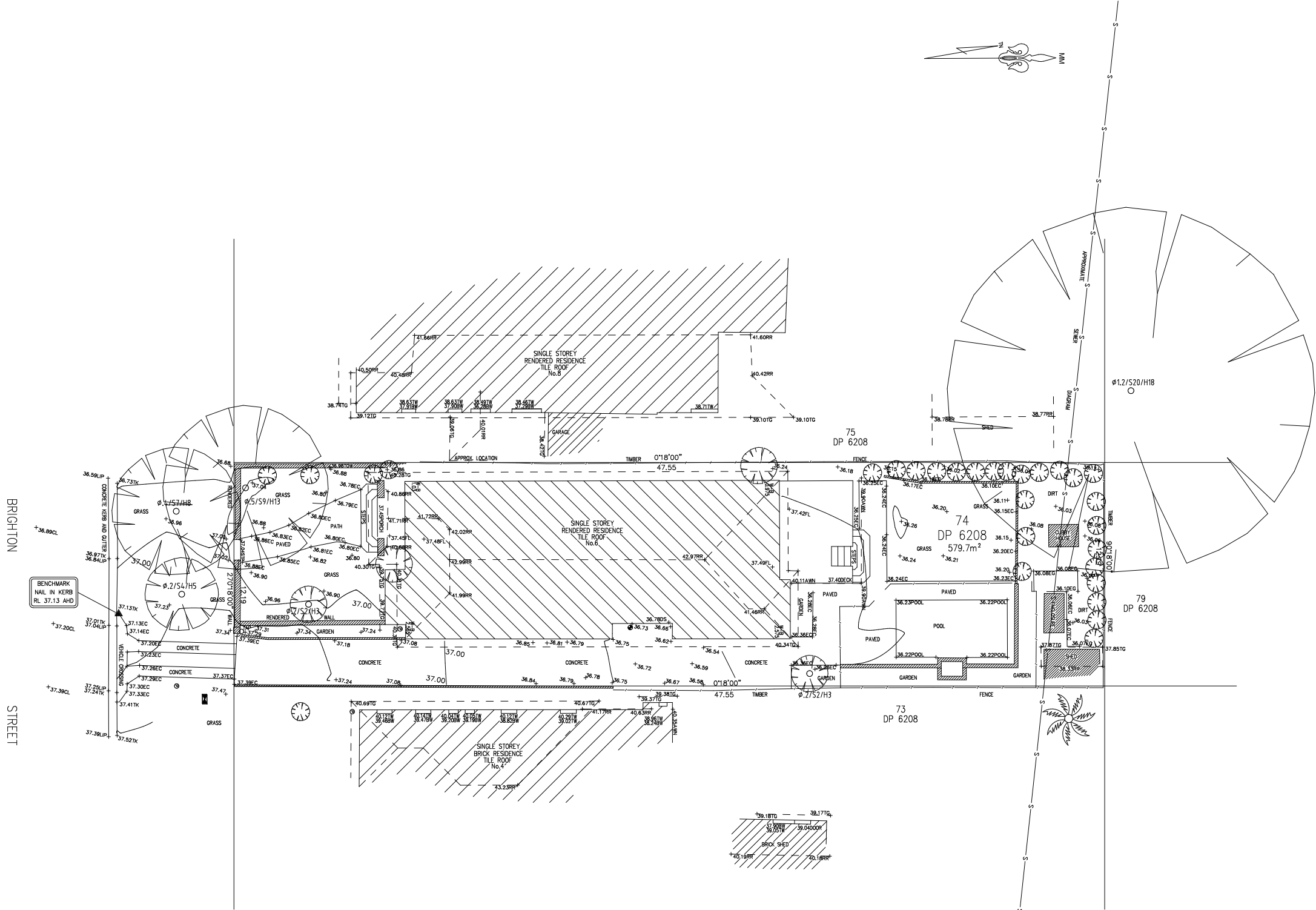
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 1172 WITH RL 28.05 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S) AS2928 COVENANT



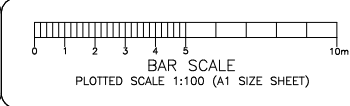
LEGEND	
BENCHMARK	▲
TELSTRA PIT	⊠ TEL
ELECTRIC LIGHT POLE	⬢ LP
POWER POLE	⊕ PP
SIGN POST	⊙ SP
SEWER INSPECTION PIT	⊙ SIP
SEWER VENT	⊕ SEWER
MANHOLE	⊙ MH
SEWER MANHOLE	⊙ SMH
STOP VALVE	⊕ SV
WATER HYDRANT	⊕ HYD
WATER METER	⊕ WM
GAS METER	⊕ G
STATE SURVEY MARK	⊕ SSM

TSS TOTAL SURVEYING SOLUTIONS
LANE COVE | CAMDEN | MANLY VALE | CENTRAL COAST

NOTE:
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REVISION No.	REVISION DATE:	COMMENT:

LEGEND:
EB - EDGE OF BITUMEN
EC - EDGE OF CONCRETE
TB - TOP OF BANK
BB - BOTTOM OF BANK
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL
INV - INVERT LEVEL
ELEC - ELECTRICAL PIT
Ø.4/S10/H16 - DIAMETER/SPREAD/HEIGHT



PLAN SHOWING DETAIL & LEVELS OVER LOT 74 IN DP 6208		
CLIENT: SAXON LYNE	JOB No.: 200958	LGA: NORTHERN BEACHES
PROJECT: BALGOWLAH	PLAN No.: 200958-1	DATUM: AHD
ADDRESS: 6 BRIGHTON STREET, BALGOWLAH	DATE: 30/06/2020	SCALE: 1:100@A1
	DRAWN: FS	CONT. INTERVAL: 0.25m
	CHK: SF	SHEET 1 OF 1

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Project North
Checked
Plot Date: 7/05/2021
Project No: RP0720LYN
Project Status: DA
Client: Saxon and Amber Lyne
Site: 6 Brighton Street, Balgowlah
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
SITE SURVEY 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
17/12/20
DRAWING NO.
DA1003