

Denotes New Works

Wall Legend

- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor:	nil	
external wall: cavity brick	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1171

Sun Orbit

BRIGHTON STREET

BENCHMARK
MAIL IN KERB
RL 37.13 AHD

Road Noise

Winter
Warming
Winds

Summer
Cooling
Winds

SITE PLAN
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



bdca
ACCREDITED
BUILDING DESIGNER

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NOTES
8 Brighton Street, Balgowlah is zoned R1-General Residential. 8 Brighton Street, Balgowlah is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction
Concrete Slab Floor, Masonry Walls
Roof Framed to have R1.24 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029:2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A402307_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min. 671mm)	19724mm	Yes
Rear Setback (Min. 8m)	17605mm	Yes
Side bdy setback 1/3 Wall Height	11mm	Variable
% of landscape open space (35% min)	54%	Yes
Impervious area (m ²)	44%	Yes
Maximum cut into gnd (m)	390mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/09/2021
Project NO.: RP07202.YN
Project Status DA

Client Saxon and Amber Lyne

Site: 6 Brighton Street, Balgowlah


DRAWING TITLE:
SITE AND LOCATION
SITE PLAN

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 17/12/20

DRAWING NO.
DA1004

Plot Date: 16/09/2021
Sheet Size: A3



northern
beaches
council

Wall Legend

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1171

75

DP 6208

The plan shows a rectangular building footprint with internal walls and doors. Surrounding the building are various landscape features: grass, garden, and a pool area. Annotations include 'Existing Wall', 'Demolish Existing Concrete', 'Existing Masonry Wall', 'Existing Pot Plant Tree', 'Remove Shrub', and 'FENCE'. Elevation points are marked throughout the site. A north arrow is located in the top left corner. The plan is titled 'DEMOLITION GROUND FLOOR' with a scale of '1:100'.

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations


DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
6 Brighton Street, Balgowlah is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
6 Brighton Street, Balgowlah is not considered a heritage item
Certifying
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Construction
Concrete Slab Floor, Masonry Walls
Roof Framed to have R1.24 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A402307_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.7m ²	Yes	% of landscape open space (35% min)	54%	Yes
Housing Density (dwelling/m ²)	1	Yes	Impervious area (m ²)	44%	Yes
Max Bldg Ht Above Nat. GL 8.5m	6463mm	Yes	Maximum cut into grd (m)	390mm	Yes
Front Setback (Min. 6771mm)	19724mm	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min. 8m)	17605mm	Yes	No. of car spaces provided	2	Yes
Side bdy setback 1/3 Wall Height	11mm	Variable			



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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
16/09/2021
RP0720LYN
DA

Client
Site:

Saxon and Amber Lyne
6 Brighton Street, Balgowlah

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor
Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
17/12/20
DRAWING NO.
DA1007



northern
beaches
council

Wall Legend

Denotes New Masonry Wall

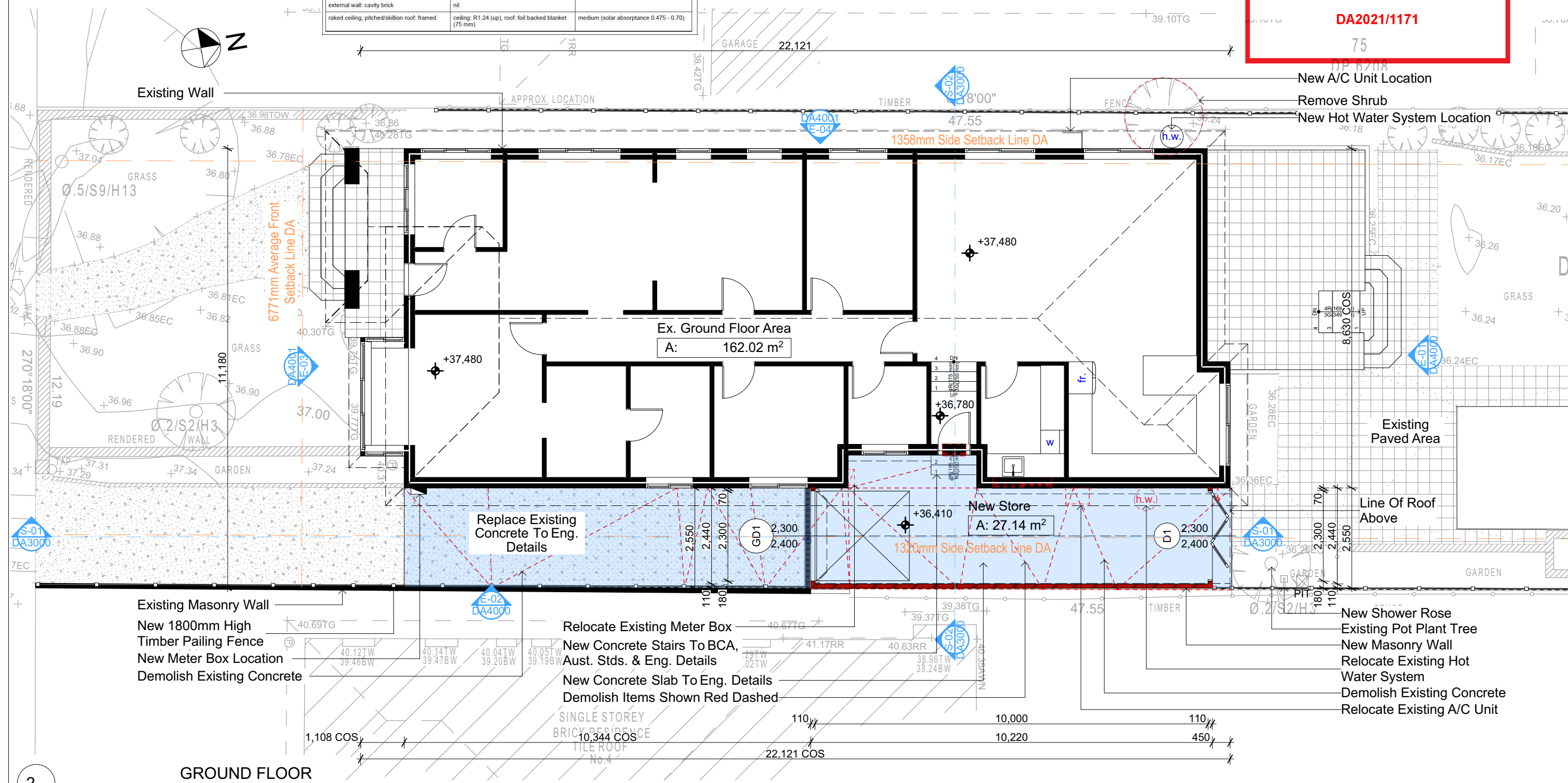
Denotes Existing Wall

Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/1171

Construction		
Insulation requirements		
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Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: cavity brick	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)



2

GROUND FLOOR

1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

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New Works to be constructed shown in Shaded/Blue

6 Brighton Street, Balgowlah is not considered a heritage item

Certifying

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Construction

Concrete Slab Floor, Masonry Walls

Roof Framed to have R1.24 Insulation

Refer to Engineers drawings for structural details

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Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A402307_02

All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.7m ²	Yes	% of landscape open space (35% min)	54%	Yes
Housing Density (dwelling/m ²)	1	Yes	Impervious area (m ²)	44%	Yes
Max Bldg Ht Above Nat. GL 8.5m	6463mm	Yes	Maximum cut into grd (m)	390mm	Yes
Front Setback (Min. 6771mm)	19724mm	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min. 8m)	17605mm	Yes	No. of car spaces provided	2	Yes
Side bdy setback 1/3 Wall Height	11mm	Variable			



Rapid Plans

Building Design and Architectural Drafting

www.rapidplans.com.au

PO Box 6193 Frenchs Forest

NSW 2086


Fax: (02) 9305-8865

Mobile: 0414-945-024

Email: greg@rapidplans.com.au

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North

Checked Plot Date: Project NO. Project Status

GBJ 16/09/2021 RP0720LYN DA

Client Site: Saxon and Amber Lyne 6 Brighton Street, Balgowlah

Sheet Size: A3

DRAWING TITLE :

PLANS

GROUND FLOOR

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE: 17/12/20

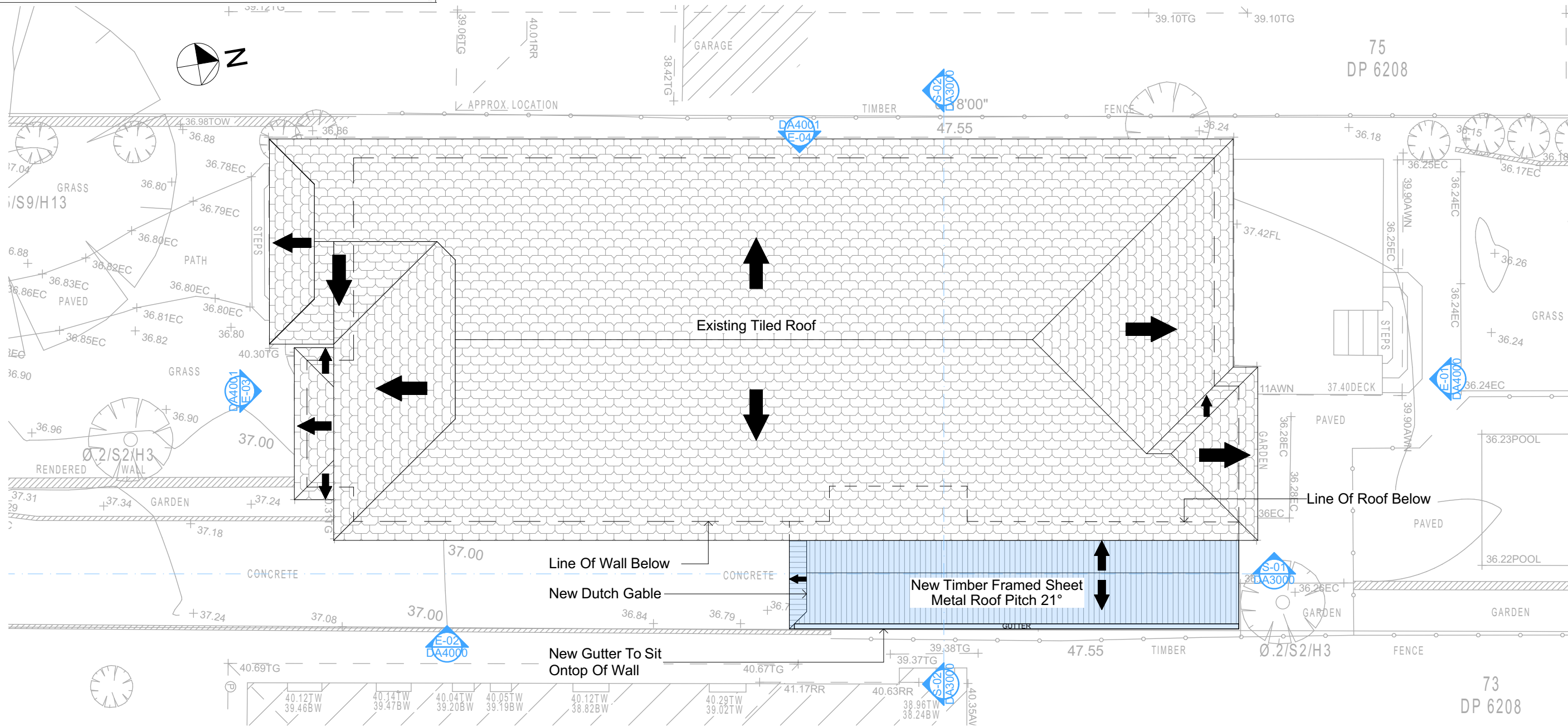
DRAWING NO. DA2001

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/1171

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: cavity brick	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	



3 ROOF
1:100

**DA APPLICATION
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NOT FOR CONSTRUCTION**

NOTES
6 Brighton Street, Balgowlah is zoned R1-General Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
6 Brighton Street, Balgowlah is not considered a heritage item

Certifying
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Construction
Concrete Slab Floor, Masonry Walls
Roof Framed to have R1.24 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A402307_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.7m ²	Yes	% of landscape open space (35% min)	54%	Yes
Housing Density (dwelling/m ²)	1	Yes	Impervious area (m ²)	44%	Yes
Max Bldg Ht Above Nat. GL 8.5m	6463mm	Yes	Maximum cut into gnd (m)	390mm	Yes
Front Setback (Min. 6771mm)	19724mm	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min. 8m)	17605mm	Yes	No. of car spaces provided	2	Yes
Side bdy setback 1/3 Wall Height	11mm	Variable			



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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



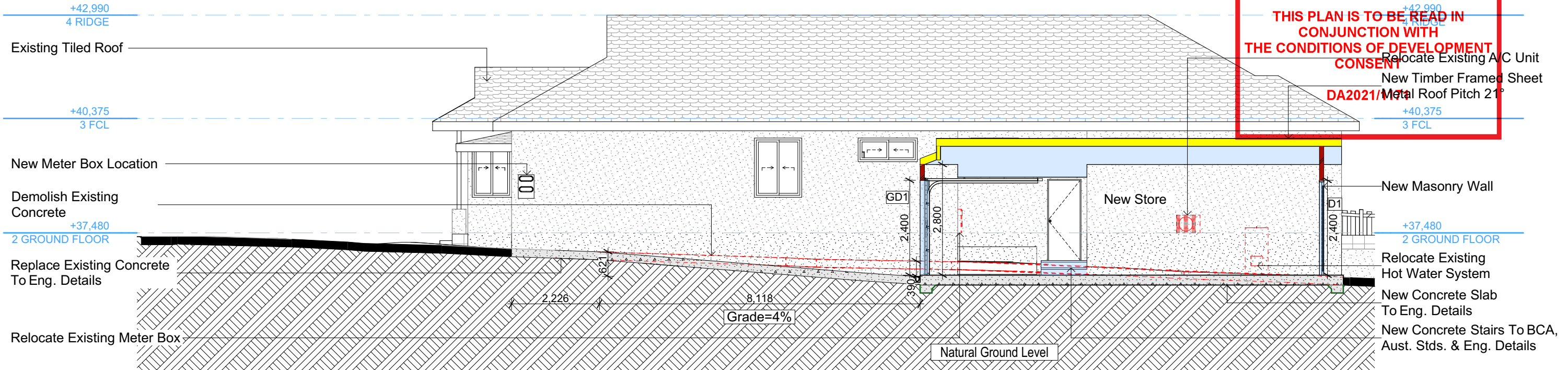
Project North
Checked
Plot Date: 16/09/2021
Project NO: RP0720LYN
Project Status: DA
Client
Site: Saxon and Amber Lyne
6 Brighton Street, Balgowlah
Sheet Size: A3

DRAWING TITLE :
**PLANS
ROOF**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
17/12/20
DRAWING NO.
DA2002

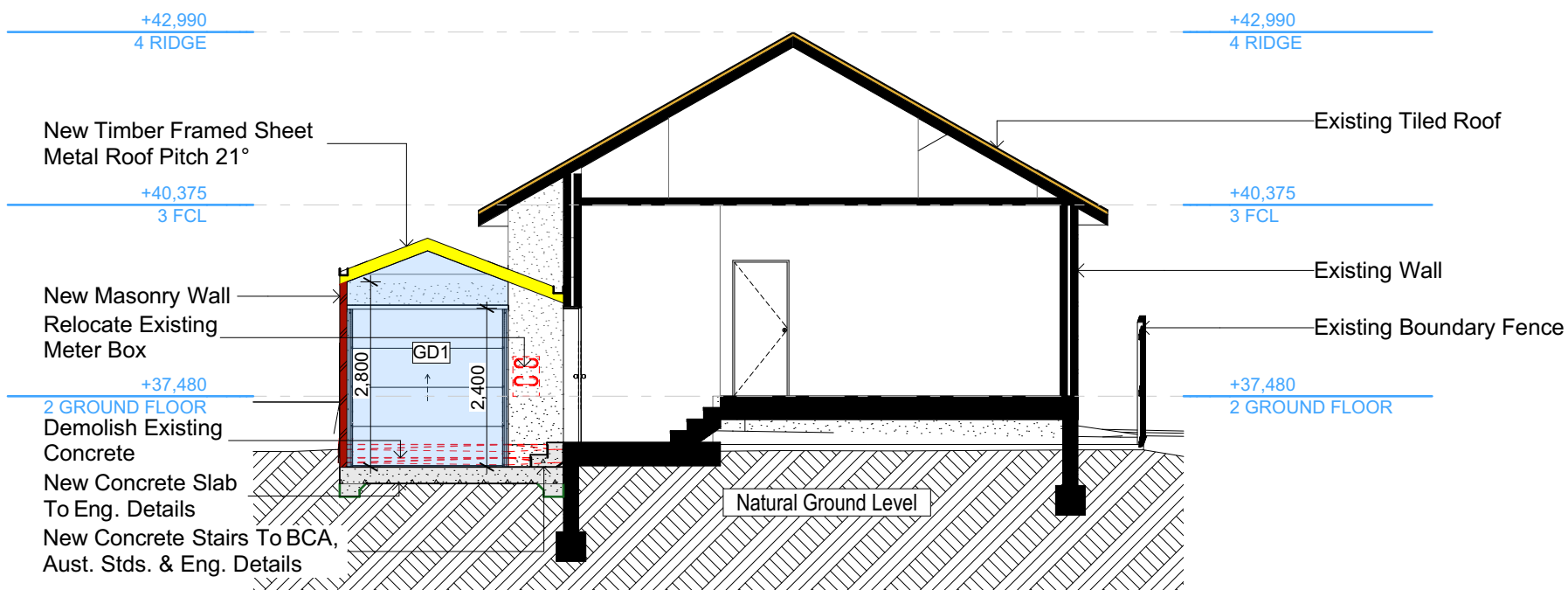
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

Relocate Existing A/C Unit
New Timber Framed Sheet
Metal Roof Pitch 21°
DA2021/100



S-01
SECTION 1
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: cavity brick	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



S-02
SECTION 2
1:100

- Denotes New Works**
- Wall Legend**
- Denotes New Timber Framed Roof
 - Denotes New Masonry Wall
 - Denotes New Concrete
 - Denotes Existing Wall/Floor
 - Denotes Demolished Item


Site Information			Site Information		
Prop.	Comp.		Prop.	Comp.	
Site Area	579.7m2	Yes	% of landscape open space (35% min)	54%	Yes
Housing Density (dwelling/m2)	1	Yes	Impervious area (m2)	44%	Yes
Max Bldg Ht Above Nat. GL 8.5m	6463mm	Yes	Maximum cut into gnd (m)	390mm	Yes
Front Setback (Min. 6771mm)	19724mm	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min. 8m)	17605mm	Yes	No. of car spaces provided	2	Yes
Side bdy setback 1/3 Wall Height	11mm	Variable			

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
6 Brighton Street, Balgowlah is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
6 Brighton Street, Balgowlah is not considered a heritage item
Certifying
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Construction
Concrete Slab Floor, Masonry Walls
Roof Framed to have R1.24 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A402307_02
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



northern
beaches
council

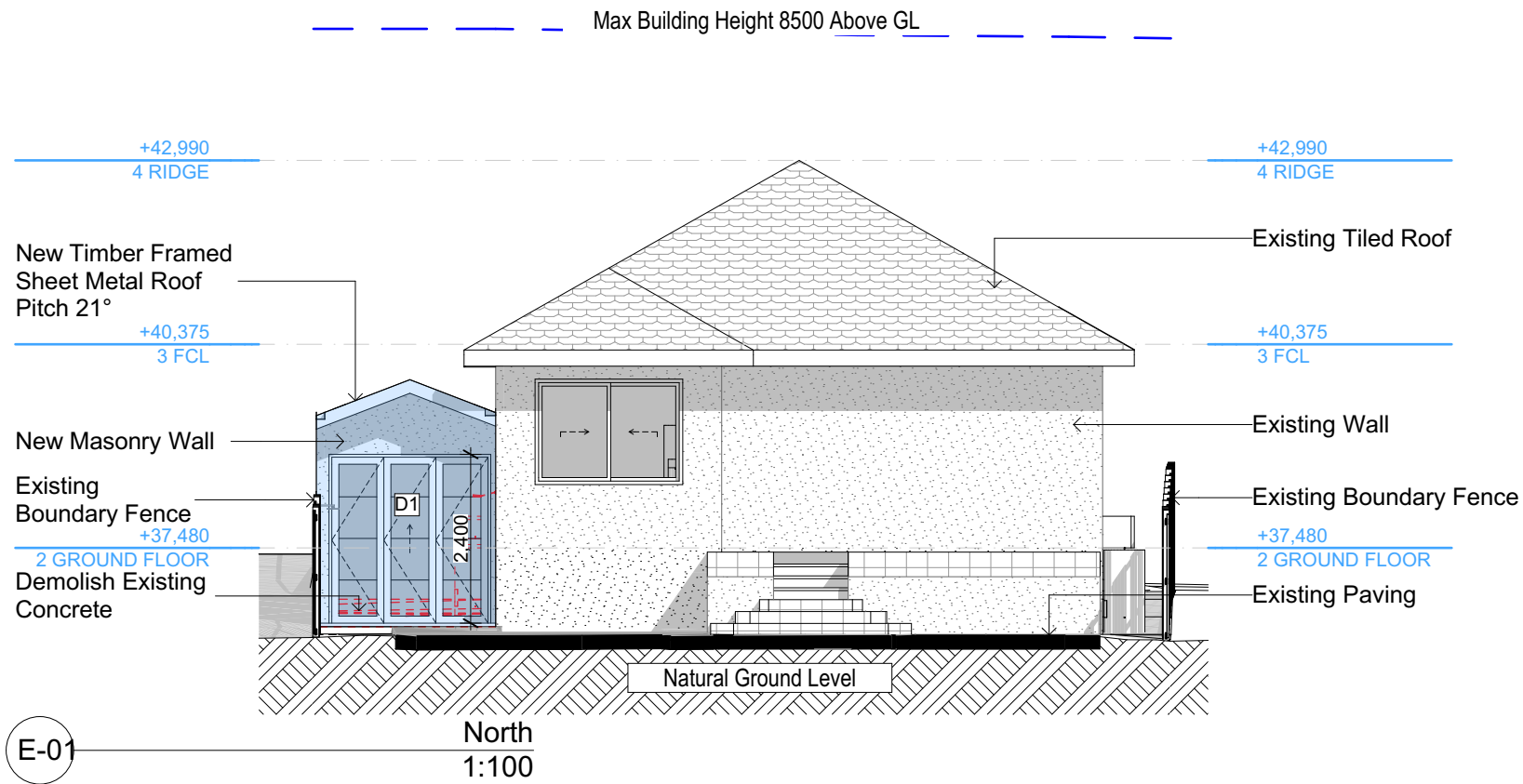
Denotes New Works

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

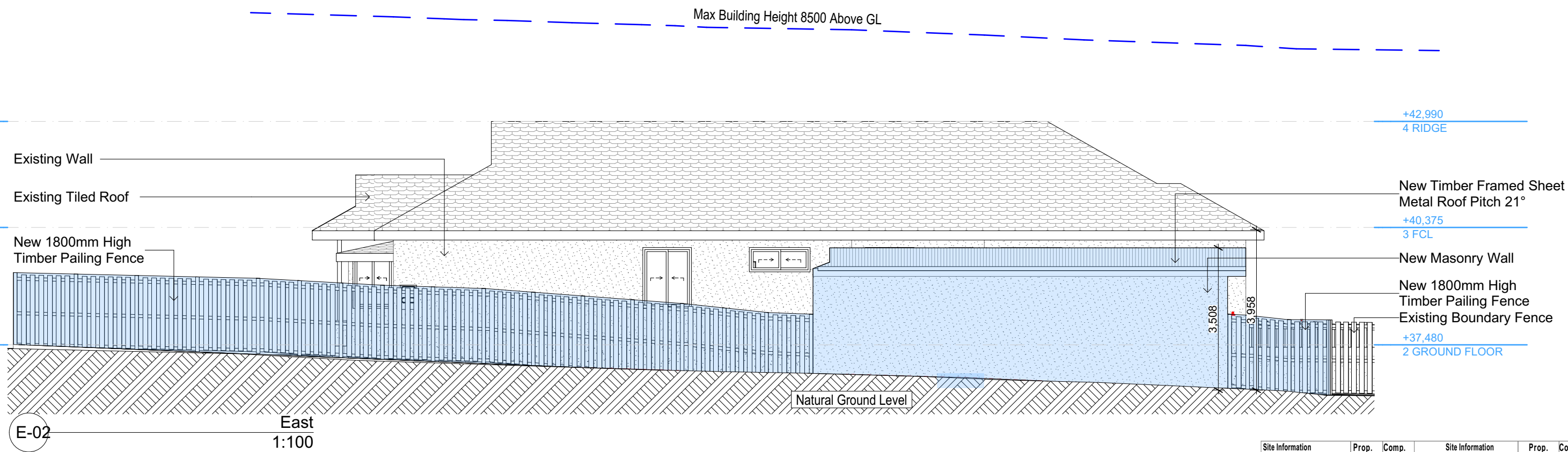
DA2021/1171

Denotes Existing Paving

Denotes Demolished Item



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
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Front Setback (Min. 6771mm)	19724mm	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min. 8m)	17605mm	Yes	No. of car spaces provided	2	Yes
Side bdy setback 1/3 Wall Height	11mm	Variable			

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

6 Brighton Street, Balgowlah is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

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Certifying

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Construction

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Waterproofing to BCA and AS 3740

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Building Design and Architectural Drafting

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PO Box 6193 Frenchs Forest

NSW 2086

Fax: (02) 9305-8865

Mobile: 0414-945-024

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ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Checked
Plot Date: 16/09/2021
Project NO. RP0720LYN
Project Status DA

Client
Site: Saxon and Amber Lyne
6 Brighton Street, Balgowlah

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 1


PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE: 17/12/20

DRAWING NO. DA4000



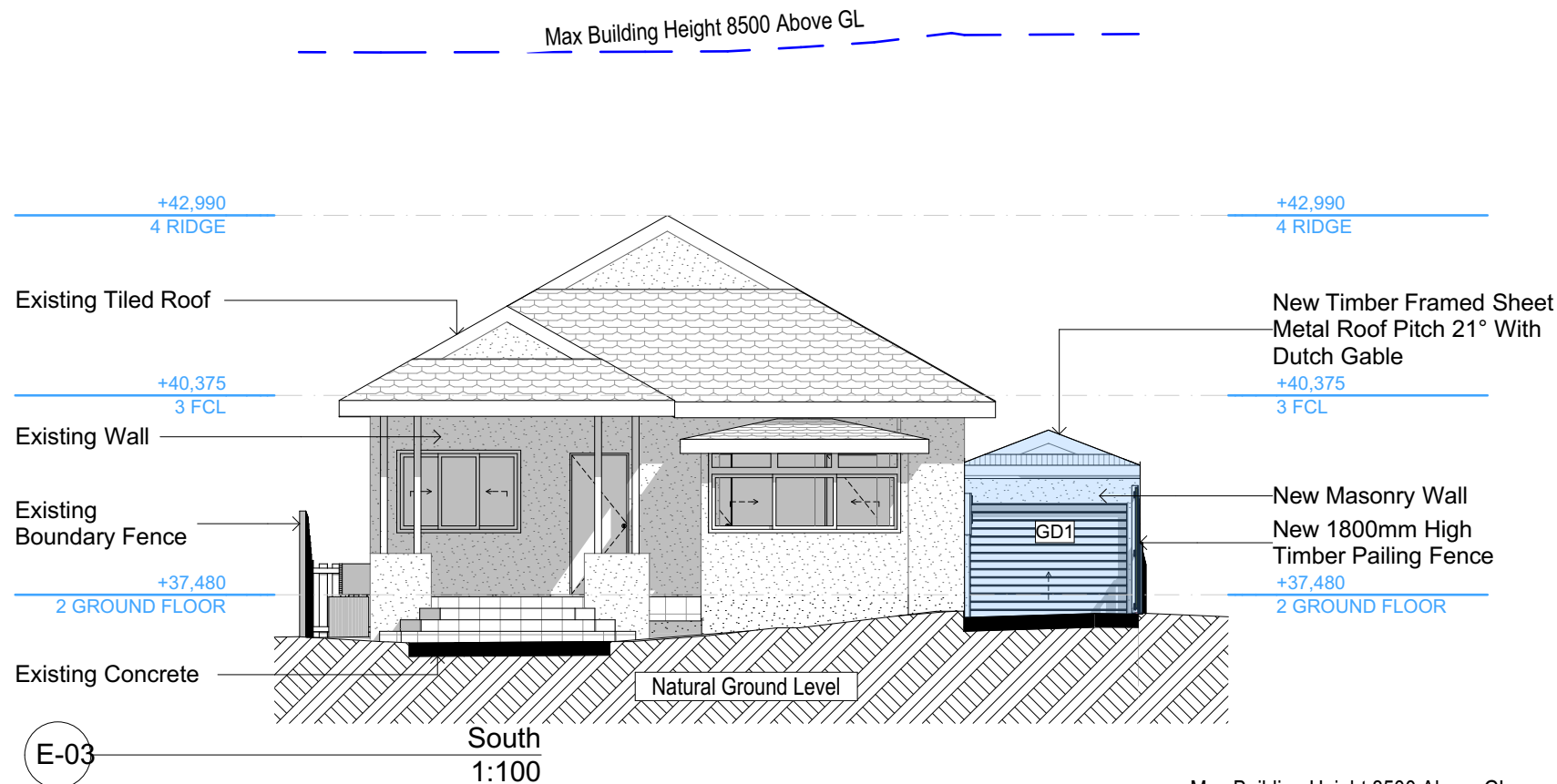
northern
beaches
council

Denotes New Works

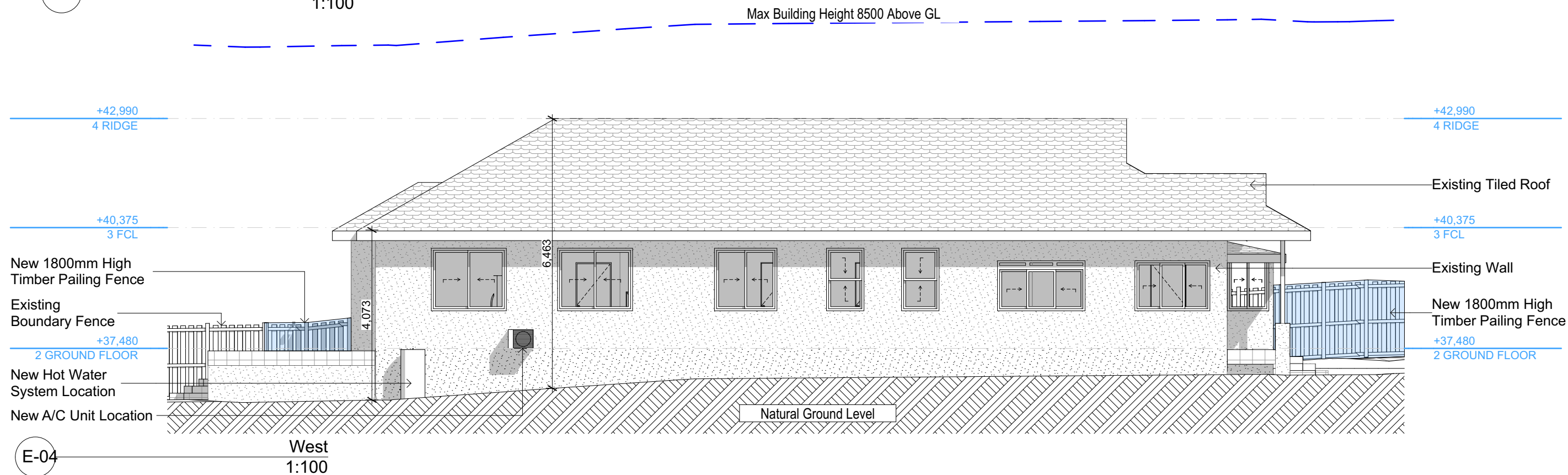
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
DA2021/1171

Denotes New Concrete

Denotes Existing Concrete



Construction		
Insulation requirements		
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DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

6 Brighton Street, Balgowlah is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

6 Brighton Street, Balgowlah is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Concrete Slab Floor, Masonry Walls

Roof Framed to have R1.24 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A402307_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:


a) additional insulation is not required where the area of new construction is less than 2m2,

b) insulation specified is not required for parts of altered construction where insulation already exists.


The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.


Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
16/09/2021
RP0720LYN
DA

Client
Site:

Saxon and Amber Lyne
6 Brighton Street, Balgowlah

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

-

DATE:
17/12/20

DRAWING NO.
DA4001



Denotes Sheet Metal Roof (Typical).
Builder To Confirm Type & Colour



Denotes Concrete Driveway(Typical).
Builder To Confirm Type & Colour



Denotes Rendered Wal (Typical).
Builder To Confirm Type & Colour



Denotes Boundary Fence (Typical).
Builder To Confirm Type & Colour



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1171



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Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

8 Brighton Street, Balgowlah is zoned R1-General Residential
8 Brighton Street, Balgowlah is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction

Concrete Slab Floor, Masonry Walls
Roof Framed to have R1.24 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A402307_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min. 6771mm)	19724mm	Yes
Rear Setback (Min. 8m)	17605mm	Yes
Side bdy setback 1/3 Wall Height	11mm	Variable
% of landscape open space (35% min)	54%	Yes
Impervious area (m ²)	44%	Yes
Maximum cut into gnd (m)	390mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 16/09/2021
Project NO.: RP0720L.YN
Project Status DA

Client Saxon and Amber Lyne

Site: 6 Brighton Street, Balgowlah

DRAWING TITLE SHADOW PLANS

MATERIAL & COLOUR
SAMPLE BOARD

PROJECT NAME:

Alterations & Additions

REVISION NO. DATE

- 17/12/20

DRAWING NO.

DA5001

Plot Date: 16/09/2021
Sheet Size: A3

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