

DRAWING SCHEDULE

DRAWING NO.	DRAWING DESCRIPTION	SCALE/SIZE
A00	COVER PAGE & SITE CALCULATIONS DRAWING / DOCUMENT SCHEDULE	NO SCALE / A3
A01	EXISTING GROUND FLOOR PLAN	1:100 / A3
A02	EXISTING NORTH & EAST ELEVATIONS	1:100 / A3
A03	EXISTING SOUTH & WEST ELEVATIONS	1:100 / A3
A04	SITE ANALYSIS PLAN	1:200 / A3
A05	PROPOSED SITE PLAN / ROOF PLAN	1:150 / A3
A06	PROPOSED GROUND FLOOR PLAN	1:100 / A3
A07	PROPOSED NORTH ELEVATION	1:100 / A3
A08	PROPOSED EAST ELEVATION	1:100 / A3
A09	PROPOSED SOUTH ELEVATION	1:100 / A3
A10	PROPOSED WEST ELEVATION	1:100 / A3
A11	PROPOSED SECTION AA	1:100 / A3
A12	PROPOSED SECTION BB	1:100 / A3
A13	CONCEPT STORMWATER PLAN	1:200 / A3
A14	SEDIMENT CONTROL PLAN	1:200 / A3
A15	3D RENDERINGS SHEET	NO SCALE / A3
A16	EXTERNAL COLOUR & FINISHES SCHEDULE	NO SCALE / A3
A17	A4 NOTIFICATION PLAN SITE PLAN	1:200 / A4
A18	A4 NOTIFICATION PLAN PROPOSED ELEVATIONS	1:200 / A4

SITE CALCULATIONS

LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.07%)
PROPOSED SOFT LANDCAPING AREA	412.64sqm (49.93%)

DOCUMENT SCHEDULE

NO.	DOCUMENT DESCRIPTION	SIZE
1	APPLICATION FORM	A4
2	DEVELOPMENT APPLICATION CHECKLIST	A4
3	BASIX REPORT	A4
5	STATEMENT OF ENVIRONMENTAL EFFECTS	A4
6	DESIGNERS COSTING	A4
7	BUILDERS COSTING	A4
8	OWNERS CONSENT	A4
9	WASTE MANAGEMENT PLAN	A4



SITE LOCATION PLAN (NTS)



BUILDING SPECIFICATION AND LEGEND

SPECIFICATION

THE BUILDER IS TO COMPLY WITH THE BCA AND ORDINANCES AS APPLICABLE AND AUSTRALIAN STANDARDS. THE BUILDER TO PROVIDE ALL LABOUR AND MATERIALS TO COMPLETE THE WORKS. INCLUDE ANY ITEMS OBVIOUSLY INTENDED AND NECESSARY, ALTHOUGH NOT ACTUALLY SHOWN OR DESCRIBED.

THIS DRAWING TO BE READ IN CONJUNCTION WITH THE SPECIFICATION, STRUCTURAL ENGINEERS DRAWINGS, AND ANY OTHER DOCUMENT THAT MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DIMENSIONS

ALL GROUND LEVELS SHOULD BE VERIFIED BY A QUALIFIED SURVEYOR. WORKMANSHIP IN EACH TRADE TO BE IN CONFORMITY WITH CURRENT BUILDING PRACTICE AND MATERIALS AND FINISH TO MATCH EXISTING WHERE APPLICABLE.

TIMBER FRAMING AND ROOFING. INCLUDING BRACING AND TIE-DOWNS AS REQUIRED TO COMPLY WITH AS1684 - TIMBER FRAMING CODE. FLOOR AND ROOF TRUSSES, WHERE REQUIRED, TO MANUFACTURERS DETAIL.

FOUNDATIONS, CONCRETE FLOORS AND STRUCTURAL SUPPORTS

AS SHOWN ON PLANS AND ENGINEERING DETAIL AS2870 AS APPLICABLE.

CONCRETE TO AS3600. UNDER FLOOR AREAS TO BE TREATED TO PREVENT TERMITE INFESTATION.

TIMBER FLOORING TO BE CONCRETE IN GARAGE & TILED IN WET AREA APPROVED FLOORING WHERE NECESSARY.

WINDOWS TO SIZES SHOWN ON PLAN OR TO MATCH EXISTING AS REQUIRED.

DOORS FIX STANDARD 2040mm X 820mm OR WIDTHS AS SHOWN ON PLANS OPENING OR SLIDING.

ROOFING AS SHOWN ON PLANS. MINIMUM PITCH TO SUITE TYPE OF MATERIAL. FIXED TO MAKERS RECOMMENDATION. SARKING AND INSULATION AS REQUIRED.

EAVES. PROVIDE FLAT FIBRE SHEETING INTO FASCIA BEADED EDGE OR BARGE BOARD ON GABLES WHERE REQUIRED.

PLUMBING. ALL PLUMBING TO COMPLY WITH THE LOCAL AUTHORITY AND IS TO BE CARRIED OUT BY A LICENCED PLUMBER. ALL PIPING TO BE IN PVC TUBING AND WELL FASTENED.

ELECTRICAL. PROVIDE SUPPLY TO POWER AND LIGHT OUTLETS IN ACCORDANCE WITH SUPPLY AUTHORITY. POSITIONED AS INDICATED FOR LIGHT AND POWER POINTS, ETC AS INDICATED BY OWNER. HARD-WIRED SMOKE DETECTORS TO BE INSTALLED TO ENSURE THE BUILDING CAN BE EVACUATED IN AN EMERGENCY.

INTERNAL LININGS TO BE GYPROCK PLASTERBOARD MINIMUM 10mm THICKNESS. FIX AND JOINT IN THE NORMAL MANNER. ALL JOINTS TO BE TAPED AND SET. INSTALL COVE CORNICE AND 2 VENTS TO KITCHEN, BATHROOM AND LAUNDRY.

WALL AND FLOOR TILING. SUITABLY PREPARE ALL FLOOR SURFACES ENSURING THAT ALL JOINTS ARE SEALED. GRADE FLOORS EVENLY TO APPROPRIATE FLOOR WASTE IF NOT TO AN EXTERNAL DOOR. SELECTED TILES AS REQUIRED AS ARRANGED WITH OWNER.

PAINTING. FOLLOW PAINT MANUFACTURERS INFORMATION FOR ALL ASPECTS OR EXTERIOR AND INTERIOR COATINGS, CARRIED OUT TO OWNERS REQUIREMENTS.

BRICKWORK TO BE BUILT UP TO THE REQUIRED HEIGHT, LEVEL, STRAIGHT AND PLUMB WITH JOINTS AND PERPENDS NOMINAL 10mm AND DAMP COURSED IN THE NORMAL MANNER. BRICK VENEER TO HAVE 38mm CAVITY BONDED TO STUDS WITH GALV. TIES 1 METRE APART EVERY FOURTH COURSE. INSTALL BIRD WIRE TO PREVENT ACCESS BY VERMIN INTO CAVITIES. ENGAGED PIERS TO BE 110mm BRICKWORK AT 1800mm C. AND TO AUSTRALIAN STANDARD 3700. DOUBLE BRICK WALLS TO HAVE 50mm CAVITY AND FOUR BRICK TIES PER SQUARE METRE BUILT INTO WALLS. UNDER FLOOR BRICK PIERS TO BE 230mm X 230mm UP TO 1.5m HIGH USUALLY AT 1.8m C. ON 400mm X 400mm X 200mm HIGH CONCRETE PADS. BRICKWORK OVER OPENINGS TO BE SUPPORTED ON GALV. MILD STEEL LINTELS. AS2159-1995 FOR GALV. COATINGS.TIMBER POST SUPPORTS TO BE BOLTED TO GALV. STEEL BASES 25mm CLEAR OF PATIO. BALUSTRADING TO COMPLY WITH PART 3.9.2 BCA 96 VOL2. ANY OPENINGS IN THE BALUSTRADING SHOULD NOT PERMIT A 125mm SPHERE TO PASS THROUGH IT.

STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 BCA96 VOL2 INCLUDING GEOMETRY AND CONSTRUCTION REQUIREMENTS.

EAVES GUTTERING. QUAD OR FASCIA GUTTERING AS REQUIRED DIRECTED TO STREET IN APPROVED DRAINAGE LINES OR DISPOSED OF TO COUNCIL REQUIREMENTS.

NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE.

LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS. WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3500.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION. ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660. SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS3786



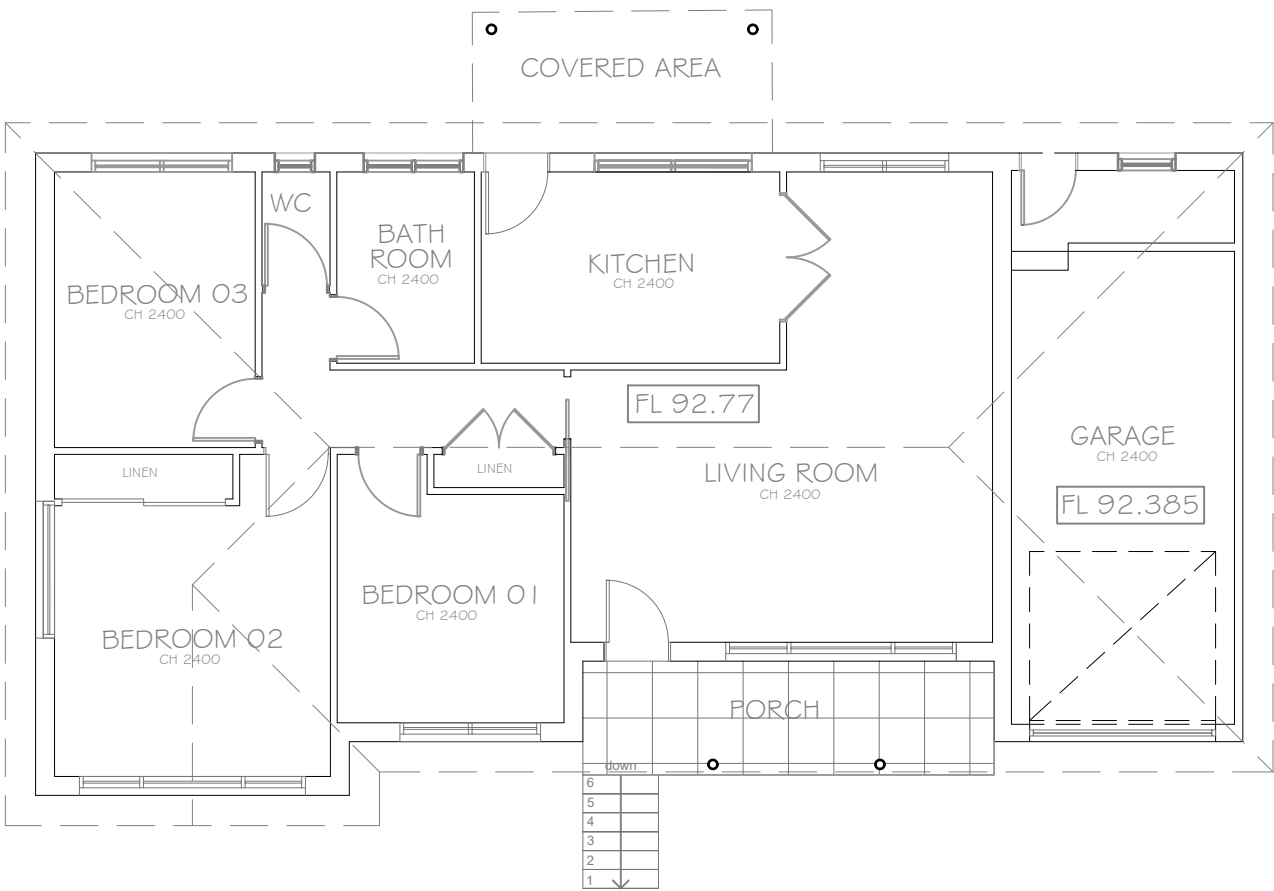
LEGEND		GFL 100.00	FLOOR LEVELS
EXISTING SITE LEVEL			
PROPOSED SITE LEVEL			PROPOSED LANDSCAPING
RELATIVE SPOT LEVEL			NEW ROOF PITCH
EXISTING WALLS			NEW LAWN AREA
NEW STUD WALLS			NEW PAVED AREA
NEW MASONRY WALLS			NEW POOL AREA
EXISTING WALLS/ ELEMENTS TO BEDEMOLISHED			
SITE SECTION CUT LINES			FFL FINISHED FLOOR LEVEL
SITE SETBACK LINES			AREA TO BE FILLED WITH EARTH
TREE PROTECTION ZONE			
EXISTING TREES TO BE RETAINED & PROTECTED			EXISTING GROUND LINE TO BE ALTERED

SITE CALCULATIONS

LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
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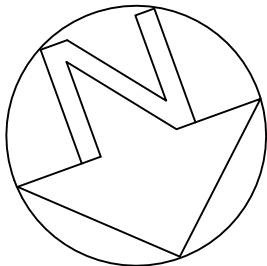
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		42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253
		Drawing Title:
		COVER PAGE DRAWING / DOCUMENT SCHEDULE
		Drawn By:
		B. DALE
		Drawing Status:
		DEVELOPMENT APPLICATION
		Drawing Scale:
		NO SCALE@ A3
		Drawing No:
		A00
		Revision:
		1

12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973



ACCREDITED
BUILDING DESIGNER

LEGEND		▽GFL 100.00	FLOOR LEVELS
	EXISTING SITE LEVEL		PROPOSED LANDSCAPING
	PROPOSED SITE LEVEL		NEW ROOF PITCH
	RELATIVE SPOT LEVEL		NEW LAWN AREA
	EXISTING WALLS		NEW PAVED AREA
	NEW STUD WALLS		NEW POOL AREA
	NEW MASONRY WALLS		FINISHED FLOOR LEVEL
	EXISTING WALLS/ELEMENTS TO BE DEMOLISHED		AREA TO BE FILLED WITH EARTH
	SITE SECTION CUT LINES		EXISTING GROUND LINE TO BE ALTERED
	SITE SETBACK LINES		
	TREE PROTECTION ZONE		
	EXISTING TREES TO BE RETAINED & PROTECTED		



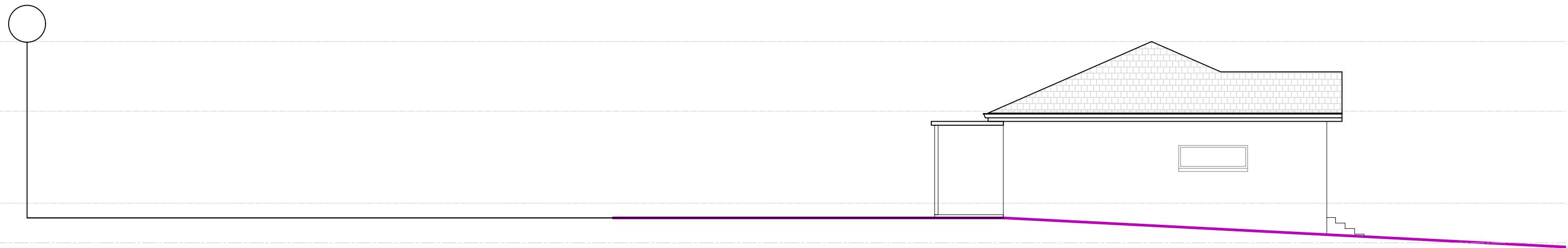
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Drawing Title:		EXISTING GROUND FLOOR PLAN	
Client:		MS BARBI HOFMOCKEL	
Drawing Status:		DEVELOPMENT APPLICATION	
Drawing Scale:		1:100 @ A3	
Drawing No:		A01	
Revision:		1	

DALE DESIGN
GROUP


12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973

















NORTH ELEVATION




EAST ELEVATION

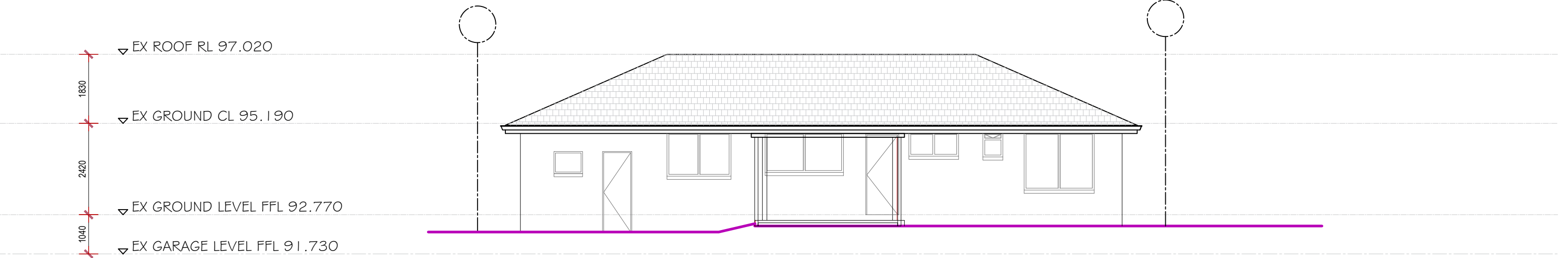


LEGEND		FLOOR LEVELS	
	EXISTING SITE LEVEL		PROPOSED LANDSCAPING
	PROPOSED SITE LEVEL		NEW ROOF PITCH
	RELATIVE SPOT LEVEL		NEW LAWN AREA
	EXISTING WALLS		NEW PAVED AREA
	NEW STUD WALLS		NEW POOL AREA
	NEW MASONRY WALLS		FINISHED FLOOR LEVEL
	EXISTING WALLS/ELEMENTS TO BE DEMOLISHED		AREA TO BE FILLED WITH EARTH
	SITE SECTION CUT LINES		EXISTING GROUND LINE TO BE ALTERED
	SITE SETBACK LINES		
	TREE PROTECTION ZONE		
	EXISTING TREES TO BE RETAINED & PROTECTED		

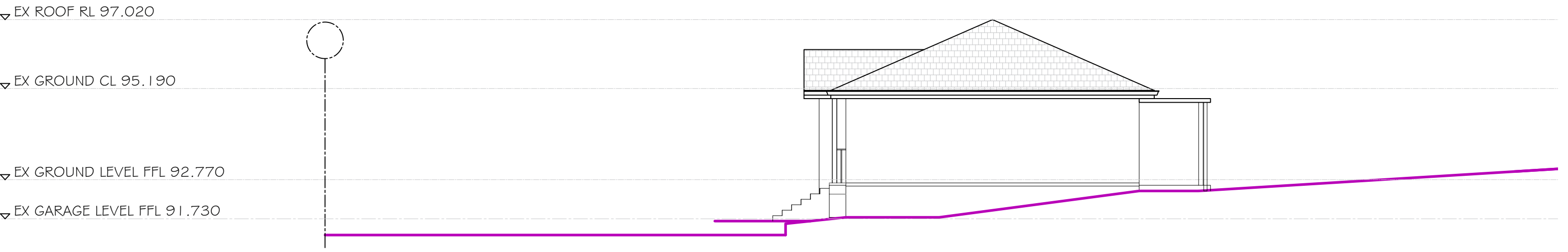
Project Address:	
42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253	
Drawing Title:	
EXISTING NORTH ELEVATION EXISTING EAST ELEVATION	
Drawn By:	
B. DALE	
Drawing Status:	
DEVELOPMENT APPLICATION	
Client:	MS BARBI HOFMOCKEL
Issue:	1
Development Application:	15.11.24
Revision Description:	
Date:	
Drawing Scale:	1:100 @ A3
Drawing No:	A02
Revision:	1



DALE DESIGN GROUP
12 BURRELL ROAD, KENTHURST, NSW, 2156
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













SOUTH ELEVATION

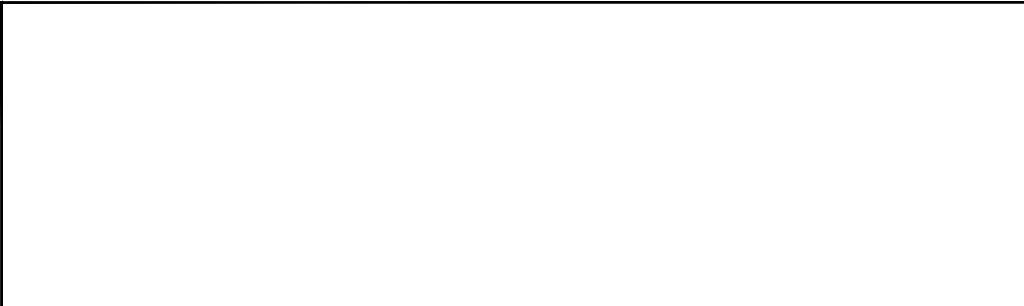


WEST ELEVATION



ACCREDITED
BUILDING DESIGNER

LEGEND		▽GFL 100.00	FLOOR LEVELS
	EXISTING SITE LEVEL		PROPOSED LANDSCAPING
	PROPOSED SITE LEVEL		NEW ROOF PITCH
	RELATIVE SPOT LEVEL		NEW LAWN AREA
	EXISTING WALLS		NEW PAVED AREA
	NEW STUD WALLS		NEW POOL AREA
	NEW MASONRY WALLS		FINISHED FLOOR LEVEL
	EXISTING WALLS/ELEMENTS TO BE DEMOLISHED		AREA TO BE FILLED WITH EARTH
	SITE SECTION CUT LINES		
	SITE SETBACK LINES		
	TREE PROTECTION ZONE		
	EXISTING TREES TO BE RETAINED & PROTECTED		EXISTING GROUND LINE TO BE ALTERED



		Project Address:	
		42 FOXALL STREET	
		ELANORA HEIGHTS	
		2101 NSW	
		LOT 101 DP 32253	
		Drawing Title:	
		EXISTING SOUTH ELEVATION	
		EXISTING WEST ELEVATION	
		Drawn By:	
		B. DALE	
		Drawing Status:	
		DEVELOPMENT APPLICATION	
		Drawing Scale:	
		1:100 @ A3	
		Drawing No:	
		A02	
		Revision:	
		1	



DALE DESIGN
GROUP

12 BURRELL ROAD, KENTHURST, NSW, 2156
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DRAWING LEGEND

SUN PATH DIAGRAM

NUMBER OF STOREYS

OVERLOOKING

EXISTING TREES TO RETAIN

SITE BOUNDARY

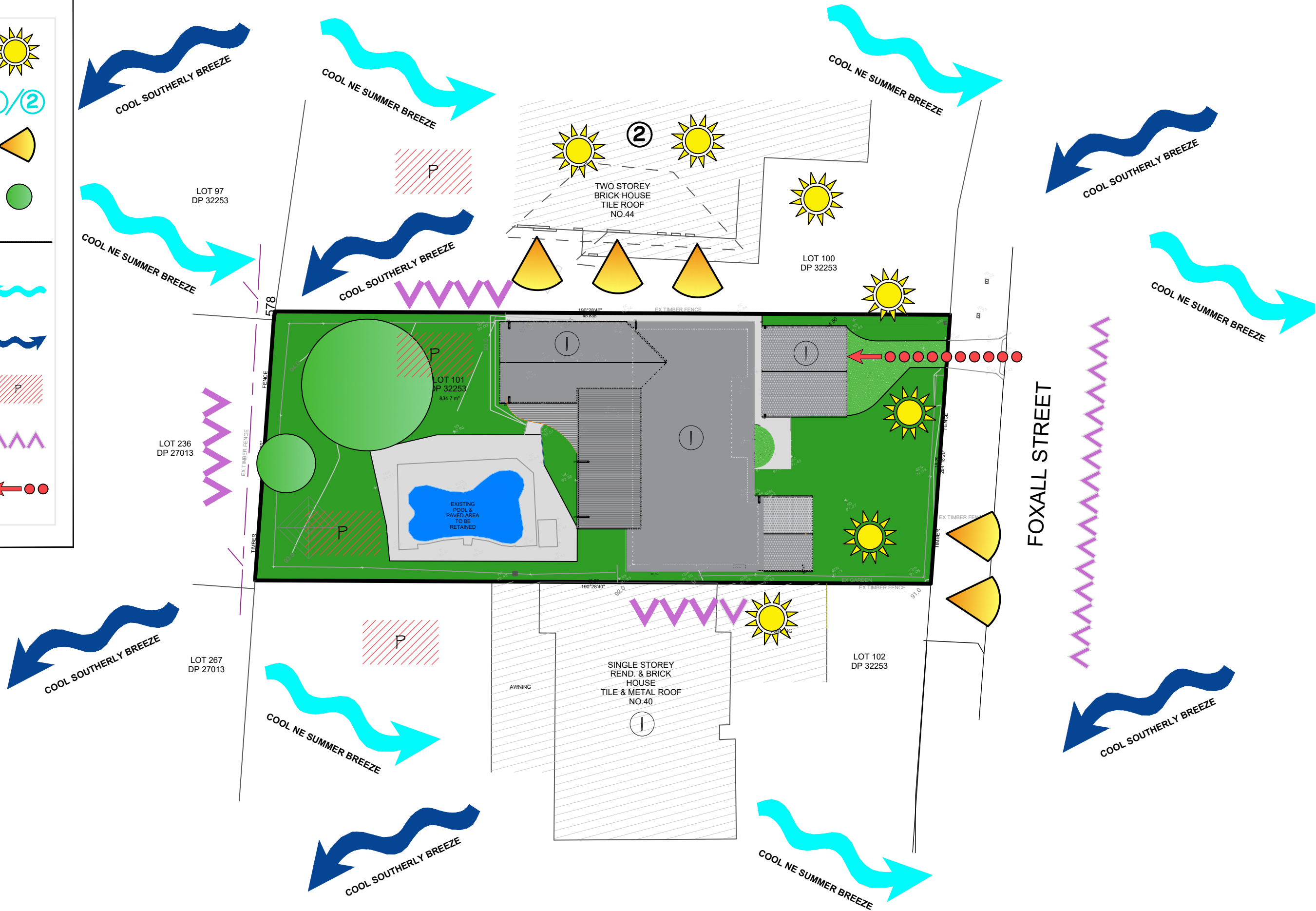
COOL NE SUMMER BREEZES

COOL SOUTHERLY BREEZES

PRIVATE OPEN SPACE

NOISE

VEHICLE AND PEDESTRIAN ENTRANCE & CIRCULATION



ACCREDITED
BUILDING DESIGNER

LEGEND		FLOOR LEVELS	
	EXISTING SITE LEVEL		PROPOSED LANDSCAPING
	PROPOSED SITE LEVEL		NEW ROOF PITCH
	RELATIVE SPOT LEVEL		NEW LAWN AREA
	EXISTING WALLS		NEW PAVED AREA
	NEW STUD WALLS		NEW POOL AREA
	NEW MASONRY WALLS		FINISHED FLOOR LEVEL
	EXISTING WALLS/ELEMENTS TO BE DEMOLISHED		AREA TO BE FILLED WITH EARTH
	SITE SECTION CUT LINES		EXISTING GROUND LINE TO BE ALTERED
	SITE SETBACK LINES		
	TREE PROTECTION ZONE		
	EXISTING TREES TO BE RETAINED & PROTECTED		

SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.7%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)

ISSUE		REVISION DESCRIPTION		DATE	
1	DEVELOPMENT APPLICATION	15.11.24			

Client:

MS BARBI HOFMOCKEL

Drawing Scale:

1:250 @ A3

Drawing No:

A04

Revision:

1

Project Address:

42 FOXALL STREET
ELANORA HEIGHTS
2101 NSW
LOT 101 DP 32253

Drawing Title:

SITE ANALYSIS PLAN

Drawn By:

B. DALE

Drawing Status:


DEVELOPMENT APPLICATION

12 BURRELL ROAD, KENTHURST, NSW, 2156

ABN: 64 93 809 8664

PHONE: 0423 428 973

DALE DESIGN
GROUP



**DALE DESIGN
GROUP**

12 BURRELL ROAD, KENTHURST, NSW, 2156
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PROPOSED CLEAR
POLYCARBONATE ROOF
OVER DECK WITH
TIMBER POSTS TO
PROPOSED ROOF,
PAINTED AS PER
ATTACHED FINISHES &
COLOURS SCHEDULE

PROPOSED TIMBER
DECK

EX DUCTED A/C
SYSTEM TO BE
CONNECTED TO
PROPOSED ROOMS
DURING
CONSTRUCTION

EXISTING ELECTRIC HOT
WATER TANK

ALUMINIUM FRAMED, LOW
-E DOUBLE GLAZED
WINDOWS AS PER BASIX
REQUIREMENTS.
COLOURS AS PER
ATTACHED EXTERNAL
FINISHES AND MATERIALS
SCHEDULE.

EXTERNAL SHADING
DEVICE TO W02 AS PER
BASIX REQUIREMENTS

ENSURE MAX F.G.L
AGAINST ADDITION IS RL
92.250 OR LESS. PROVIDE
1% GRADE AROUND
STRUCTURE (PROVIDE
RETAINING WALL AS
REQUIRED TO FUTURE
DETAIL AT CC STAGE)

PROPOSED EXTENSION
TO DWELLING
CONSTRUCTED WITH
FACE BRICKS, RENDERED
AS PER ATTACHED
FINISHES & MATERIALS
SCHEDULE

INFILL EXISTING GARAGE
DOOR WITH BRICKS TO
MATCH EXISTING BRICKS,
RENDERED AS PER
ATTACHED FINISHES &
MATERIALS SCHEDULE

PROPOSED TILED ROOF
OVER CARPORT WITH
ROOF TILES TO MATCH
EXISTING, AS PER
ATTACHED FINISHES &
MATERIALS SCHEDULE

PROPOSED CONCRETE
SLAB ON GROUND &
FOOTINGS TO PROPOSED
CARPORT AS PER
ENGINEERS DETAILS AT
CC STAGE

PROPOSED THICK TIMBER
POSTS TO CARPORT, PAINTED
AS PER ATTACHED FINISHES &
MATERIALS SCHEDULE



FRONT SETBACK 6.5m

BSA File Reference: 21630		Ph: (02) 4962 3439 www.buildingsustainability.net.au	
Building Sustainability Assessments enquiries@buildingsustainability.net.au			
SUMMARY OF BASIX COMMITMENTS - ALTERATIONS AND ADDITIONS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details.			
FIXTURES AND SYSTEMS			
Hot Water System (if applicable)			
Type	n/a		
Lighting			
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures			
All new or altered water fixtures (toilet cisterns, shower roses or taps) must have a minimum 3 Star water rating.			
CONSTRUCTION			
Insulation to be installed to all new or altered floors, walls, ceilings and roofs as described below. The recommended values are standard construction practice and will exceed or be equal to minimum BASIX requirements.			
Floors	Framed with enclosed subfloor	Added R Value	Other Specifications
		R1.0	
Walls	All	R1.5	
Ceilings	Adjacent to roof space	R3.0	
Roofs	Roofing Tiles	Foil	Medium colour
Glazing to all new or altered windows or doors can be as described for clear or tinted glazing.			
Other glazing systems must have U and SHGC values no greater than those listed.			
All values calculated to NFRC conditions.			
Glazing & frame	U Value	SHGC Value	Details
Double glazed LowE in uPVC	3.64	0.42	To W4 & D3
Double glazed clear in uPVC	3.67	0.59	To all other windows UNO
Shading details (eaves, sunshades, awnings, blinds etc.) are those as drawn on the plans and elevations.			
Skylights to be as described OR no greater than the U and SHGC values listed.			
Frames	Glazing	U Value	SHGC Value
n/a			
For construction in NSW the BCA Vol 1 or 2 must also be complied with.			



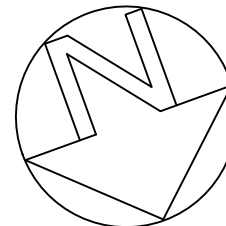
ACCREDITED
BUILDING DESIGNER

LEGEND		▽GFL 100.00	FLOOR LEVELS
EXISTING SITE LEVEL	EXISTING WALLS	PROPOSED LANDSCAPING	
PROPOSED SITE LEVEL	NEW STUD WALLS	NEW ROOF PITCH	
RELATIVE SPOT LEVEL	NEW MASONRY WALLS	NEW LAWN AREA	
EXISTING WALLS/ ELEMENTS TO BE DEMOLISHED	SITE SECTION CUT LINES	NEW PAVED AREA	
SITE SETBACK LINES	EXISTING TREES TO BE RETAINED & PROTECTED	NEW POOL AREA	
TREE PROTECTION ZONE		FINISHED FLOOR LEVEL	
		AREA TO BE FILLED WITH EARTH	
		EXISTING GROUND LINE TO BE ALTERED	

SITE CALCULATIONS

LOT 101 DP 32253

AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
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Project Address:		42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253	
Drawing Title:		PROPOSED GROUND FLOOR PLAN	
Drawing Status:		Down By: B. DALE	
Client:		MS BARBI HOFMOCKEL	
Drawing Scale:		1:100 @ A3	
Issue:		2	
Revision:		AOG	

DALE DESIGN
GROUP

12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973

EXTERNAL SHADING
DEVICE TO W02 AS PER
BASIX REQUIREMENTS

PROPOSED FIBRE CEMENT
CLADDING TO BAY WINDOW
EXTERNAL WALLS, PAINTED AS PER
ATTACHED FINISHES AND
MATERIALS SCHEDULE.

ALUMINIUM FRAMED, LOW -E
DOUBLE GLAZED WINDOWS AS
PER BASIX REQUIREMENTS.
COLOURS AS PER ATTACHED
EXTERNAL FINISHES AND
MATERIALS SCHEDULE.

MAXIMUM BUILDING HEIGHT 8.5M

INFILL OPENINGS WITH FACE
BRICKS, RENDERED AS PER
ATTACHED FNISHES & MATERIALS
SCHEDULE

PROPOSED TERRACOTTA
TILED ROOF OVER
CARPORT, TO MATCH
EXISTING DWELLING AS
PER COLOURS &
MATERIALS SCHEDULE

INFILL EXISTING GARAGE
DOOR WITH BRICKS TO
MATCH EXISTING BRICKS,
RENDERED AS PER
ATTACHED FNISHES &
MATERIALS SCHEDULE

METAL RAINWATER GOODS
SHALL BE MANUFACTURED
IN ACCORDANCE WITH AS
2179.

PROPOSED EXTENSION TO DWELLING
CONSTRUCTED WITH FACE BRICKS,
RENDERED AS PER ATTACHED
FNISHES & MATERIALS SCHEDULE

SELECTED STONE OVER
CONCERTE STEPS, COLOURS AS
PER EXTERNAL FINISHES AND
COLOURS SCHEDULE.

PROPOSED 200 X 200 APPROX
THICK TIMBER POSTS TO
CARPORT PAINTED AS PER
ATTACHED EXTERNAL
MATERIALS AND FINISHES
SCHEDULE.

PROPOSED CONCRETE
SLAB ON GROUND &
FOOTINGS TO PROPOSED
CARPORT AS PER
ENGINEERS DETAILS AT
CC STAGE

NORTH ELEVATION

BSA File Reference: 21630			
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
SUMMARY OF BASIX COMMITMENTS - ALTERATIONS AND ADDITIONS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details.			
FIXTURES AND SYSTEMS			
Hot Water System (if applicable)			
Type	n/a		
Lighting			
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures			
All new or altered water fixtures (toilet cisterns, shower roses or taps) must have a minimum 3 Star water rating.			
CONSTRUCTION			
Insulation to be installed to all new or altered floors, walls, ceilings and roofs as described below. The recommended values are standard construction practice and will exceed or be equal to minimum BASIX requirements.			
		Added R Value	Other Specifications
Floors	Framed with enclosed subfloor	R1.0	
Walls	All	R1.5	
Ceilings	Adjacent to roof space	R3.0	
Roofs	Roofing Tiles	Foil	Medium colour
Glazing to all new or altered windows or doors can be as described for clear or toned glazing.			
Other glazing systems must have U and SHGC values no greater than those listed.			
All values calculated to NFRC conditions.			
	Glazing & frame	U Value	SHGC Value
	Double glazed LowE in uPVC	3.64	0.42
	Double glazed clear in uPVC	3.67	0.59
	To all other windows UNO		
Shading details (eaves, sunshades, awnings, blinds etc.) are those as drawn on the plans and elevations.			
Skylights to be as described OR no greater than the U and SHGC values listed.			
	Frames	Glazing	U Value
	n/a		SHGC Value
For construction in NSW the BCA Vol 1 or 2 must also be complied with.			



ACCREDITED
BUILDING DESIGNER

LEGEND	▽GFL 100.00	FLOOR LEVELS
EXISTING SITE LEVEL		PROPOSED LANDSCAPING
PROPOSED SITE LEVEL		
RELATIVE SPOT LEVEL	21'↩	NEW ROOF PITCH
EXISTING WALLS		NEW LAWN AREA
NEW STUD WALLS		NEW PAVED AREA
NEW MASONRY WALLS		NEW POOL AREA
EXISTING WALLS/ELEMENTS TO BE DEMOLISHED		
SITE SECTION CUT LINES	FFL	FINISHED FLOOR LEVEL
SITE SETBACK LINES		AREA TO BE FILLED WITH EARTH
TREE PROTECTION ZONE		
EXISTING TREES TO BE RETAINED & PROTECTED		EXISTING GROUND LINE TO BE ALTERED

SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.07%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)

Project Address:		42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253	
Drawing Title:		PROPOSED NORTH ELEVATION	
Drawing Status:		B. DALE	
Drawing Scale:		DEVELOPMENT APPLICATION	
Drawing No:		1:100 @ A3	
Revision:		A07 1	
Client:		MS BARBI HOFMOCKEL	
Issue:		DEVELOPMENT APPLICATION	
Date:		15.11.24	

DALE DESIGN
GROUP

12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973

ALUMINIUM FRAMED, LOW -E
DOUBLE GLAZED DOORS AS PER
BASIX REQUIREMENTS. COLOURS
AS PER ATTACHED EXTERNAL
FINISHES AND MATERIALS
SCHEDULE.

ENSURE MAX F.G.L
AGAINST ADDITION IS RL
92.250 OR LESS. PROVIDE
1% GRADE AROUND
STRUCTURE (PROVIDE
RETAINING WALL AS
REQUIRED TO FUTURE
DETAIL AT CC STAGE)

PROPOSED CLEAR
POLYCARBONATE ROOF OVER
DECK WITH TIMBER POSTS TO
PROPOSED ROOF, PAINTED AS
PER ATTACHED FINISHES &
COLOURS SCHEDULE

METAL RAINWATER GOODS
SHALL BE MANUFACTURED
IN ACCORDANCE WITH AS
2179.

ALUMINIUM FRAMED, LOW -E
DOUBLE GLAZED WINDOWS AS
PER BASIX REQUIREMENTS.
COLOURS AS PER ATTACHED
EXTERNAL FINISHES AND
MATERIALS SCHEDULE.

PROPOSED FIBRE CEMENT
CLADDING TO BAY WINDOW
EXTERNAL WALLS, PAINTED AS PER
ATTACHED FINISHES AND
MATERIALS SCHEDULE.

PROPOSED TIMBER DECK

INFILL OPENINGS WITH FACE
BRICKS, RENDERED AS PER
ATTACHED FNISHES & MATERIALS
SCHEDULE

PROPOSED EXTENSION TO
DWELLING CONSTRUCTED WITH
FACE BRICKS, RENDERED AS PER
ATTACHED FNISHES & MATERIALS
SCHEDULE

PROPOSED 200 X 200 APPROX
THICK TIMBER POSTS TO TIMBER
DECK STAINED AS PER
ATTACHED EXTERNAL
MATERIALS AND FINISHES
SCHEDULE.

SOUTH ELEVATION

BSA File Reference: 21930

Building Sustainability Assessments

enquiries@buildingustainability.net.au

Ph: (02) 4962 3430

www.buildingustainability.net.au

SUMMARY OF BASIX COMMITMENTS - ALTERATIONS AND ADDITIONS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details.

FIXTURES AND SYSTEMS

Hot Water System (if applicable)

Type n/a

Lighting

A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

All new or altered water fixtures (billet cisterns, shower roses or taps) must have a minimum 3 Star water rating.

CONSTRUCTION

Insulation to be installed to all new or altered floors, walls, ceilings and roofs as described below. The recommended values are standard construction practice and will exceed or be equal to minimum BASIX requirements.

Floors Framed with enclosed subfloor Added R Value Other Specifications R1.0

Walls All R1.5

Ceilings Adjacent to roof space R3.0

Roofs Roofing Tiles Foil Medium colour

Glazing to all new or altered windows or doors can be as described for clear or tinted glazing. Other glazing systems must have U and SHGC values no greater than those listed. All values calculated to NFRC conditions.

Glazing & Frame U Value SHGC Value Details

Double glazed LowE in uPVC 3.64 0.42 To W4 & O3

Double glazed clear in uPVC 3.67 0.59 To all other windows UNO


Shading details (eaves, sunshades, awnings, blinds etc.) are those as drawn on the plans and elevations.

Skylights to be as described OR no greater than the U and SHGC values listed.

Framing Glazing U Value SHGC Value

n/a

For construction in NSW the BCA Vol 1 or 2 must also be complied with.



ACCREDITED
BUILDING DESIGNER

LEGEND	▽GFL 100.00	FLOOR LEVELS
EXISTING SITE LEVEL		PROPOSED LANDSCAPING
PROPOSED SITE LEVEL		
RELATIVE SPOT LEVEL	21'↩	NEW ROOF PITCH
EXISTING WALLS		NEW LAWN AREA
NEW STUD WALLS		NEW PAVED AREA
NEW MASONRY WALLS		NEW POOL AREA
EXISTING WALLS/ ELEMENTS TO BE DEMOLISHED		
SITE SECTION CUT LINES	FFL	FINISHED FLOOR LEVEL
SITE SETBACK LINES		AREA TO BE FILLED WITH EARTH
TREE PROTECTION ZONE		
EXISTING TREES TO BE RETAINED & PROTECTED		EXISTING GROUND LINE TO BE ALTERED

SITE CALCULATIONS

LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.07%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)

2	DEVELOPMENT APPLICATION	15.04.25
1	DEVELOPMENT APPLICATION	15.11.24
ISSUE	REVISION DESCRIPTION	DATE

Client: MS BARBI HOFMOCKEL

Drawing Status: DEVELOPMENT APPLICATION

Drawing Scale: 1:100 @ A3

Drawing No: A09


Revision: 2

Project Address:
42 FOXALL STREET
ELANORA HEIGHTS
2101 NSW
LOT 101 DP 32253

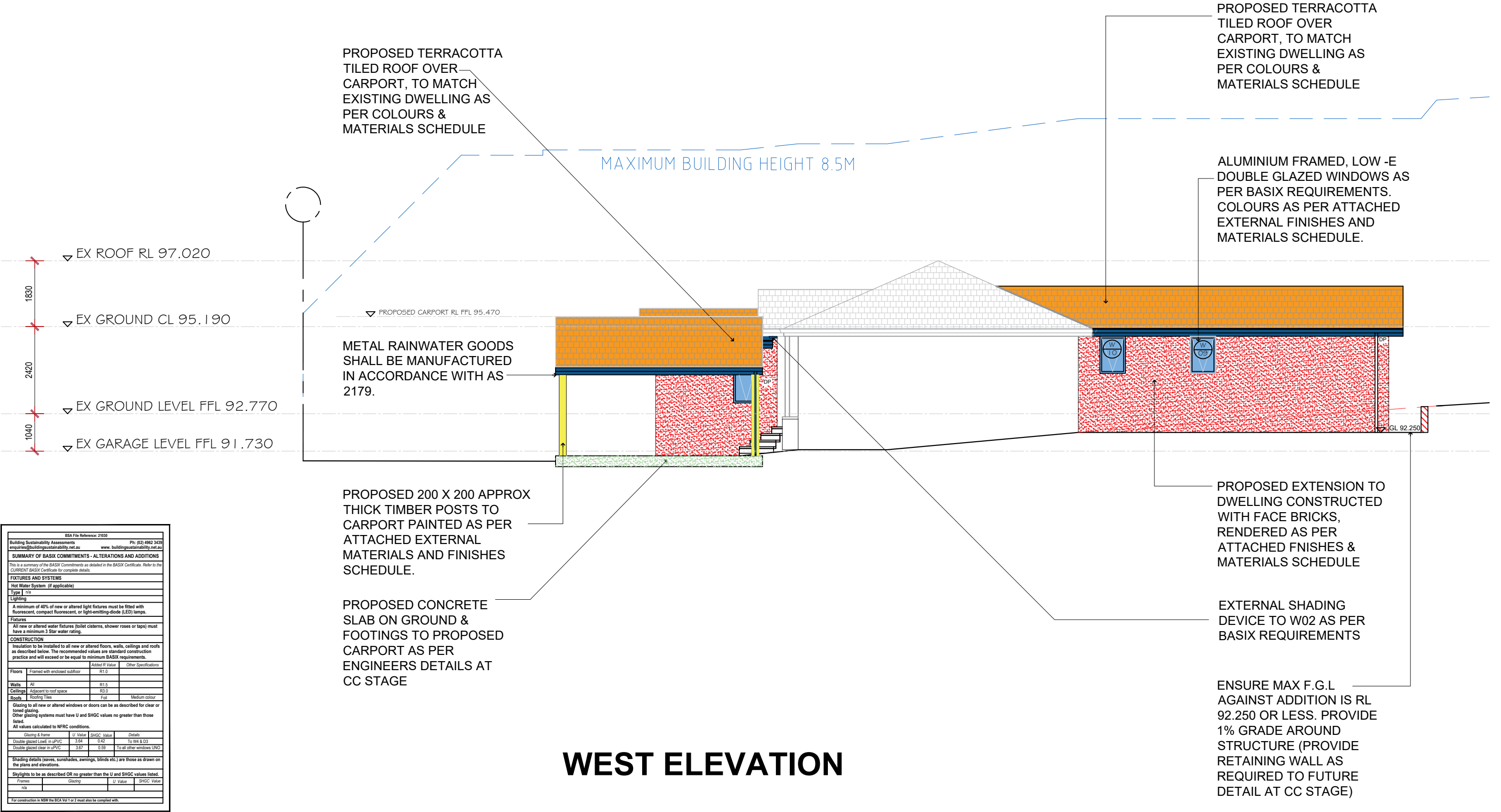
Drawing Title:
PROPOSED SOUTH
ELEVATION

Drawn By:
B. DALE

12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973



DALE DESIGN
GROUP



WEST ELEVATION



LEGEND	▽GFL 100.00	FLOOR LEVELS
EXISTING SITE LEVEL		PROPOSED LANDSCAPING
PROPOSED SITE LEVEL		
RELATIVE SPOT LEVEL	21'↔	NEW ROOF PITCH
EXISTING WALLS		NEW LAWN AREA
NEW STUD WALLS		NEW PAVED AREA
NEW MASONRY WALLS		NEW POOL AREA
EXISTING WALLS/ ELEMENTS TO BEDEMOLISHED		
SITE SECTION CUT LINES	FFL	FINISHED FLOOR LEVEL
SITE SETBACK LINES		AREA TO BE FILLED WITH EARTH
TREE PROTECTION ZONE		
EXISTING TREES TO BE RETAINED & PROTECTED		EXISTING GROUND LINE TO BE ALTERED

SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.07%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)

		Project Address:
		42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253
		Drawing Title:
		PROPOSED WEST ELEVATION
		Drawn By:
		B. DALE
		Drawing Status:
		DEVELOPMENT APPLICATION
		Drawing Scale:
		1:100 @ A3
		Drawing No:
		A10
		Revision:
		2

DALE DESIGN
GROUP

12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973

PROPOSED FIBRE CEMENT
CLADDING TO BAY WINDOW
EXTERNAL WALLS, PAINTED AS PER
ATTACHED FINISHES AND
MATERIALS SCHEDULE.

ALUMINIUM FRAMED, LOW -E
DOUBLE GLAZED WINDOWS AS
PER BASIX REQUIREMENTS.
COLOURS AS PER ATTACHED
EXTERNAL FINISHES AND
MATERIALS SCHEDULE.

ALUMINIUM FRAMED, LOW
-E DOUBLE GLAZED DOORS
AS PER BASIX
REQUIREMENTS. COLOURS
AS PER ATTACHED
EXTERNAL FINISHES AND
MATERIALS SCHEDULE.

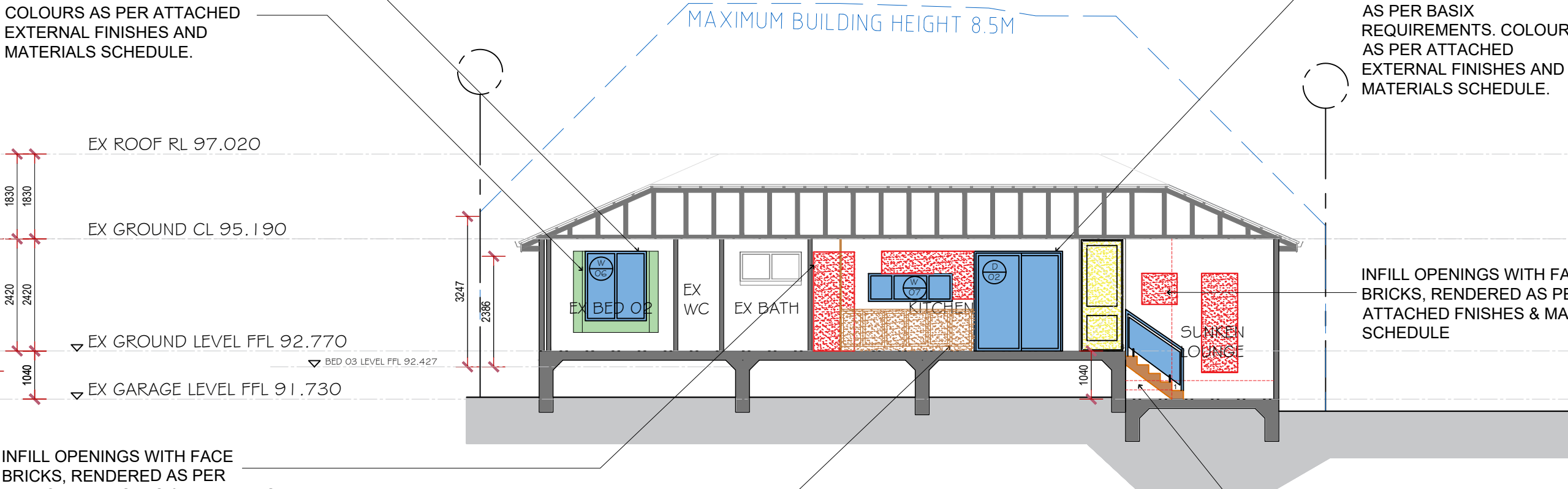
INFILL OPENINGS WITH FACE
BRICKS, RENDERED AS PER
ATTACHED FNISHES & MATERIALS
SCHEDULE

INFILL OPENINGS WITH FACE
BRICKS, RENDERED AS PER
ATTACHED FNISHES & MATERIALS
SCHEDULE

INTERNAL FITOUT TO KITCHEN

PROPOSED TIMBER STEPS
INTERNALLY TO LINK
SUNKEN LOUNGE TO MAIN
LEVEL

SECTION A-A



BSA File Reference: 21030			
Building Sustainability Assessments		Ptc (02) 4962 3439	
enquiries@buildingssustainability.net.au		www.buildingsustainability.net.au	
SUMMARY OF BASIX COMMITMENTS - ALTERATIONS AND ADDITIONS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details.			
FIXTURES AND SYSTEMS			
Hot Water System (if applicable)			
Type	n/a		
Lighting			
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures			
All new or altered water fixtures (toilet cisterns, shower roses or taps) must have a minimum 3 Star water rating.			
CONSTRUCTION			
Insulation to be installed to all new or altered floors, walls, ceilings and roofs as described below. The recommended values are standard construction practice and will exceed or be equal to minimum BASIX requirements.			
Floors	Framed with enclosed subfloor	Added R Value	Other Specifications
		R1.0	
Walls	All	R1.5	
Ceilings	Adjacent to roof space	R3.0	
Roofs	Roofing Tiles	Foil	Medium colour
Glazing to all new or altered windows or doors can be as described for clear or tinted glazing.			
Other glazing systems must have U and SHGC values no greater than those listed.			
All values calculated to NFRC conditions.			
Glazing & Frame	U Value	SHGC Value	Details
Double glazed Low-E in uPVC	3.64	0.42	To W4 & D3
Double glazed clear in uPVC	3.67	0.59	To all other windows (W6)
Shading details (eaves, sunshades, awnings, blinds etc.) are those as drawn on the plans and elevations.			
Skylights to be as described OR no greater than the U and SHGC values listed.			
Frames	Glazing	U Value	SHGC Value
n/a			
For construction in NSW the BCA Vol 1 or 2 must also be complied with.			



LEGEND	▽GFL 100.00	FLOOR LEVELS
EXISTING SITE LEVEL	●●●●	PROPOSED LANDSCAPING
PROPOSED SITE LEVEL	●●●●	
RELATIVE SPOT LEVEL	21'↶	NEW ROOF PITCH
EXISTING WALLS	■	NEW LAWN AREA
NEW STUD WALLS	■	NEW PAVED AREA
NEW MASONRY WALLS	■	NEW POOL AREA
EXISTING WALLS/ELEMENTS TO BE DEMOLISHED	■	
SITE SECTION CUT LINES	FFL	FINISHED FLOOR LEVEL
SITE SETBACK LINES	■	AREA TO BE FILLED WITH EARTH
TREE PROTECTION ZONE	■	
EXISTING TREES TO BE RETAINED & PROTECTED	●	EXISTING GROUND LINE TO BE ALTERED

SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.07%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)

Project Address:	
42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253	
Drawing Title:	
PROPOSED SECTION AA	
Drawn By:	
B. DALE	
Drawing Status:	
DEVELOPMENT APPLICATION	
Client:	MS BARBI HOFMOCKEL
Drawing Scale:	1:100 @ A3
Drawing No:	A11
Revision:	01

DALE DESIGN GROUP

12 BURRELL ROAD, KENTHURST, NSW, 2156

ABN: 64 93 809 8664

PHONE: 0423 428 973

ENSURE MAX F.G.L
AGAINST ADDITION IS RL
92.250 OR LESS. PROVIDE
1% GRADE AROUND
STRUCTURE (PROVIDE
RETAINING WALL AS
REQUIRED TO FUTURE
DETAIL AT CC STAGE)

SECTION B-B

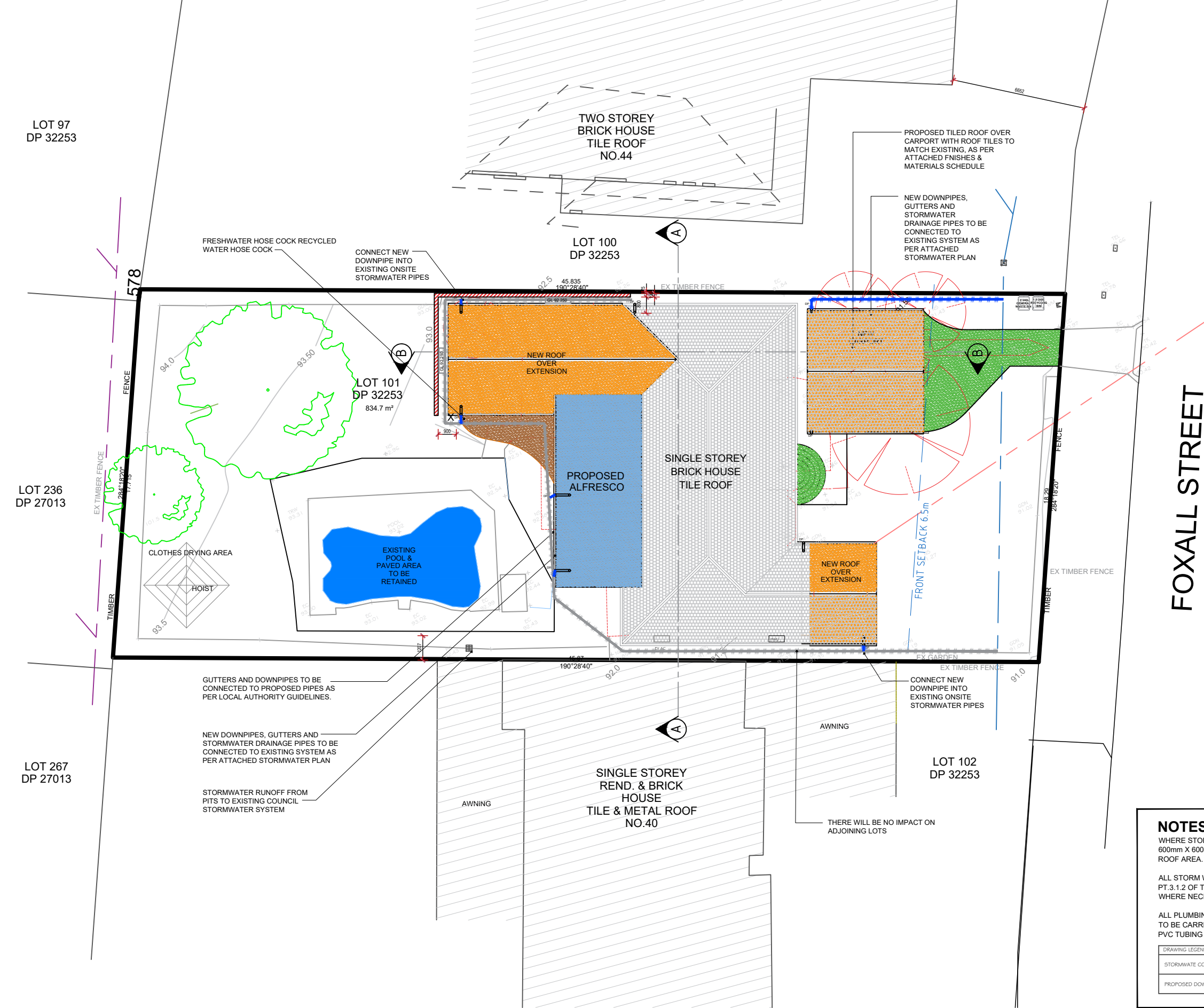
SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
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EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
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PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)



**DALE DESIGN
GROUP**

12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973

BSA File Reference: 21030			
Building Sustainability Assessments enquiries@building-sustainability.net.au		Ph: (02) 4962 3439 www.buildingsustainability.net.au	
SUMMARY OF BASIX COMMITMENTS - ALTERATIONS AND ADDITIONS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details.			
FIXTURES AND SYSTEMS			
Hot Water System (if applicable)			
Type	n/a		
Lighting			
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures			
All new or altered water fixtures (toilet cisterns, shower roses or taps) must have a minimum 3 Star water rating.			
CONSTRUCTION			
Insulation to be installed to all new or altered floors, walls, ceilings and roofs as described below. The recommended values are standard construction practice and will exceed or be equal to minimum BASIX requirements.			
Floors	Framed with enclosed subfloor	Added R Value	Other Specifications
		R1.0	
Walls	All	R1.5	
Ceilings	Adjacent to roof space	R3.0	
Roofs	Roofing Tiles	Foil	Medium colour
Glazing to all new or altered windows and doors can be as described for clear or tinted glazing. Other glazing systems must have U and SHGC values no greater than those listed. All values calculated to NFRC conditions.			
Glazing & frame	U Value	SHGC Value	Details
Double glazed LowE in uPVC	3.54	0.42	To W4 & D3
Double glazed clear in uPVC	3.67	0.59	To all other windows (UNC)
Shading details (eaves, sunshades, awnings, blinds etc.) are those as drawn on the plans and elevations.			
Skylights to be as described OR no greater than the U and SHGC values listed.			
Frames	Glazing	U Value	SHGC Value
n/a			
For construction in NSW the BCA Vol 1 or 2 must also be complied with.			



FOXALL STREET

NOTES

WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE.

ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA & AS3500.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

ALL PLUMBING TO COMPLY WITH THE LOCAL AUTHORITY AND IS TO BE CARRIED OUT BY A LICENCED PLUMBER. ALL PIPING TO BE IN PVC TUBING AND WELL FASTENED

DRAWING LEGEND

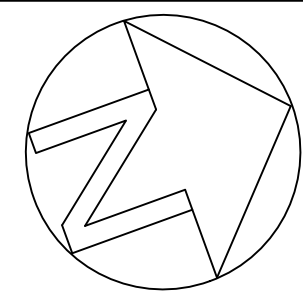
STORMWATE CONNECTION PIPES TO EXISTING SYSTEM

PROPOSED DOWNPIPE

DP

LEGEND		▽GFL 100.00	FLOOR LEVELS
EXISTING SITE LEVEL	PROPOSED SITE LEVEL	21°↶	PROPOSED LANDSCAPING
RELATIVE SPOT LEVEL	EXISTING WALLS		NEW ROOF PITCH
NEW STUD WALLS	NEW MASONRY WALLS		NEW LAWN AREA
EXISTING WALLS/ ELEMENTS TO BE DEMOLISHED	SITE SECTION CUT LINES		NEW PAVED AREA
SITE SETBACK LINES	TREE PROTECTION ZONE	FFL	NEW POOL AREA
EXISTING TREES TO BE RETAINED & PROTECTED			AREA TO BE FILLED WITH EARTH
			EXISTING GROUND LINE TO BE ALTERED

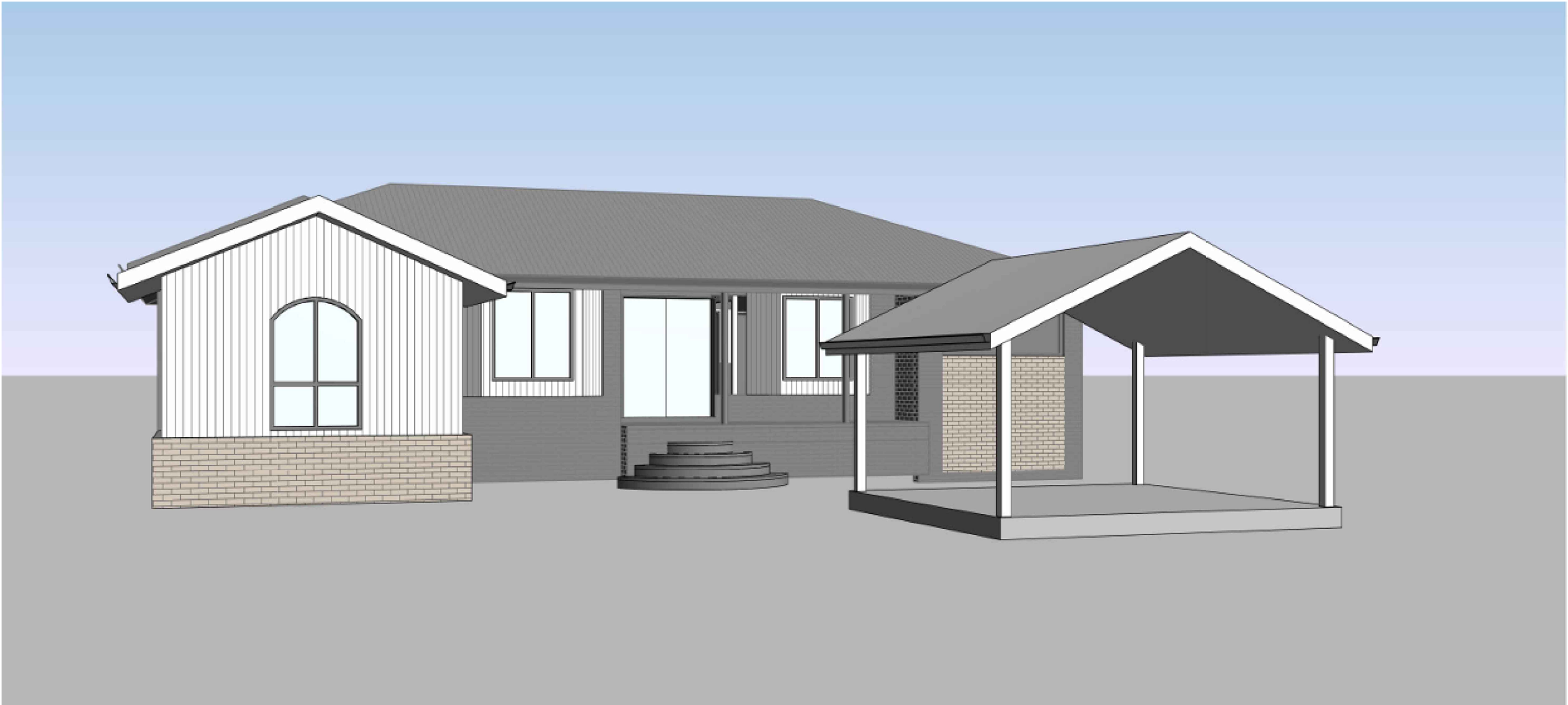
SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.07%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)



Project Address:		42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253	
Drawing Title:		PROPOSED CONCEPT STORMWATER PLAN	
Drawing Status:		B. DALE	
Drawing Scale:		DEVELOPMENT APPLICATION	
Drawing No:		1:200 @ A3	
Revision:		A13	
Client:		MS BARBI HOFMOCKEL	

DALE DESIGN GROUP

12 BURRELL ROAD, KENTHURST, NSW, 2156
ABN: 64 93 809 8664
PHONE: 0423 428 973



LEGEND		GFL 100.00	FLOOR LEVELS
	EXISTING SITE LEVEL		PROPOSED LANDSCAPING
	PROPOSED SITE LEVEL		NEW ROOF PITCH
	RELATIVE SPOT LEVEL		NEW LAWN AREA
	EXISTING WALLS		NEW PAVED AREA
	NEW STUD WALLS		NEW POOL AREA
	NEW MASONRY WALLS		FINISHED FLOOR LEVEL
	EXISTING WALLS/ELEMENTS TO BE DEMOLISHED		AREA TO BE FILLED WITH EARTH
	SITE SECTION CUT LINES		EXISTING GROUND LINE TO BE ALTERED
	SITE SETBACK LINES		
	TREE PROTECTION ZONE		
	EXISTING TREES TO BE RETAINED & PROTECTED		

			Project Address:
			42 FOXALL STREET
			ELANORA HEIGHTS
			2101 NSW
			LOT 101 DP 32253
			Drawing Title:
			PHOTORENDERINGS SHEET
			Drawn By:
			B. DALE
			Drawing Status:
			DEVELOPMENT APPLICATION
			Drawing Scale:
			NO SCALE@ A3
			Drawing No:
			A15
			Revision:
			01

12 BURRELL ROAD, KENTHURST, NSW, 2156

ABN: 64 93 809 8664

PHONE: 0423 428 973

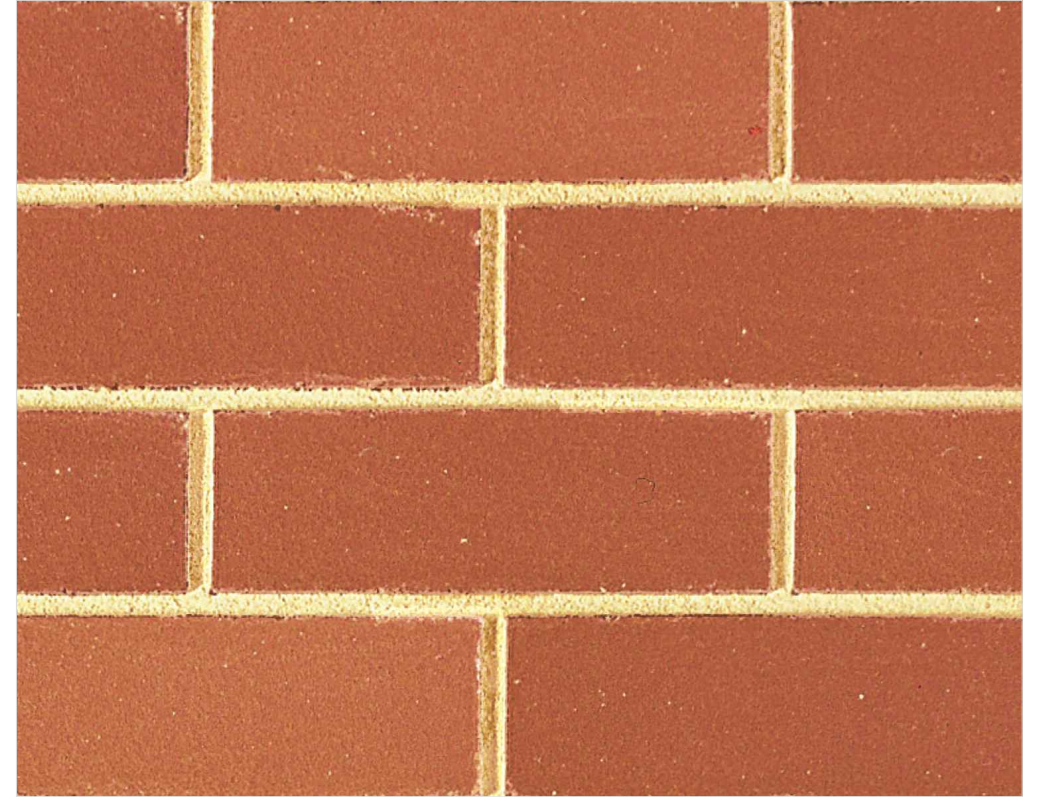
POLYCARBONATE SHEETING ON TIMBER FRAME



TERRACOTTA ROOF TILES IN MONIER
"EARTH" OR SIMILAR TO MATCH EXISTING
ROOF TILES



FACE BRICK TO MATCH EXISTING BRICKWORK, IN
MIDLAND "RED BRICK" SMOOTH OR SIMILAR




















POWDERCOATED / PAINTED IN DULUX "VIVID WHITE" OR SIMILAR TO MATCH EXISTING FRAMES, FASCIA BOARD AND DOWNPIPES



A close-up image of dark brown, horizontally oriented wooden planks. The planks are arranged in a staggered pattern, with each plank overlapping the one below it. The wood grain is clearly visible, showing natural variations in color and texture. The lighting is even, highlighting the smooth surface of the wood.



	LEGEND	GFL 100.00	FLOOR LEVELS
	EXISTING SITE LEVEL		PROPOSED LANDSCAPING
	PROPOSED SITE LEVEL		NEW ROOF PITCH
	RELATIVE SPOT LEVEL		
	EXISTING WALLS		NEW LAWN AREA
	NEW STUD WALLS		NEW PAVED AREA
	NEW MASONRY WALLS		NEW POOL AREA
	EXISTING WALLS/ ELEMENTS TO BE DEMOLISHED		
	SITE SECTION CUT LINES	FFL	FINISHED FLOOR LEVEL
	SITE SETBACK LINES		AREA TO BE FILLED WITH EARTH
	TREE PROTECTION ZONE		
	EXISTING TREES TO BE RETAINED & PROTECTED		EXISTING GROUND LINE TO BE ALTERED

			Project Address:	42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253
			Drawing Title:	EXTERNAL COLOURS & FINISHES ECHEDULE
I	DEVELOPMENT APPLICATION	15.11.24	Drawn By:	B. DALE
ISSUE	REVISION DESCRIPTION	DATE	Drawing Scale:	DEVELOPMENT APPLICATION
Client:	MS BARBI HOFMOCKEL			NO SCALE @ A3
			Drawing No:	A16
			Revision:	01



LOT 97
DP 32253

LOT 236
DP 27013

LOT 267
DP 27013

TWO STOREY
BRICK HOUSE
TILE ROOF
NO.44

LOT 100
DP 32253

LOT 101
DP 32253

TREE REMOVAL SHOWN
DOTTED RED ON PLAN

PROPOSED TILED ROOF OVER
CARPORT WITH ROOF TILES TO
MATCH EXISTING AS PER
ATTACHED FINISHES &
MATERIALS SCHEDULE

PROPOSED NEW CONCRETE
DRIVEWAY TO NEW CARPORT
AS PER ATTACHED FINISHES
AND MATERIALS SCHEDULE

WASTE STORAGE AREA (1 240L
GENERAL WASTE BIN & 1 240L
RECYCLING BIN) TO BE PROVIDED
TO THE PROPOSED DWELLING AS
PER THE DOMESTIC WASTE
STORAGE REQUIREMENTS.

EX TIMBER FENCE

EX TIMBER FENCE

FOXALL STREET

AWNING

SINGLE STOREY
REND. & BRICK
HOUSE
TILE & METAL ROOF
NO.40

LOT 102
DP 32253

DEMOLISHED REAR ROOF TO
EXISTING HOUSE SHOWN DOTTED
IN RED

ENSURE MAX F.G.L AGAINST
ADDITION IS RL 92.250 OR LESS.
PROVIDE 1% GRADE AROUND
STRUCTURE (PROVIDE RETAINING
WALL AS REQUIRED TO FUTURE
DETAIL AT CC STAGE)

EXCAVATION LOCALLY AROUND
PROPOSED EXTENSION TO
REAR

CLOTHES DRYING AREA
HOIST

EXISTING POOL & PAVED AREA
TO BE RETAINED

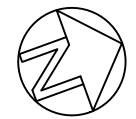
EXISTING POOL, POOL TILING AND POOL
FENCE TO BE RETAINED.

NOTE - OUTDOOR CLOTHES LINE
AS PER BASIX REQUIREMENTS

NEW DOWNPIPES, GUTTERS AND
STORMWATER DRAINAGE PIPES TO BE
CONNECTED TO EXISTING SYSTEM AS
PER ATTACHED STORMWATER PLAN

PROPOSED CLEAR POLYCARBONATE
ROOF OVER DECK WITH TIMBER
POSTS TO PROPOSED ROOF, PAINTED
AS PER ATTACHED FINISHES &
COLOURS SCHEDULE

NOTES:
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- LOCATE AND PROTECT ALL SERVICES PRIOR TO CONSTRUCTION.



LEGEND	
	EXISTING SITE LEVEL
	PROPOSED SITE LEVEL
	RELATIVE SPOT LEVEL
	EXISTING WALLS
	NEW STUD WALLS
	NEW MASONRY WALLS
	EXISTING WALLS/ELEMENTS TO BE REMOVED
	SITE SECTION CUT LINES
	SITE SETBACK LINES
	TREE PROTECTION ZONE
	EXISTING TREES TO BE RETAINED & PROTECTED
	FLOOR LEVELS
	PROPOSED LANDSCAPING
	NEW ROOF PITCH
	NEW LAWN AREA
	NEW PAVED AREA
	NEW POOL AREA
	FINISHED FLOOR LEVEL
	AREA TO BE FILLED WITH EARTH
	EXISTING GROUND LINE TO BE ALTERED

bdga
ACCREDITED
BUILDING DESIGNER

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PHONE: 0423 426 973

Rev	Description	Date
1	DEVELOPMENT APPLICATION	15.04.25
2	DEVELOPMENT APPLICATION	15.11.24
3	REVISION DESCRIPTION	DATE

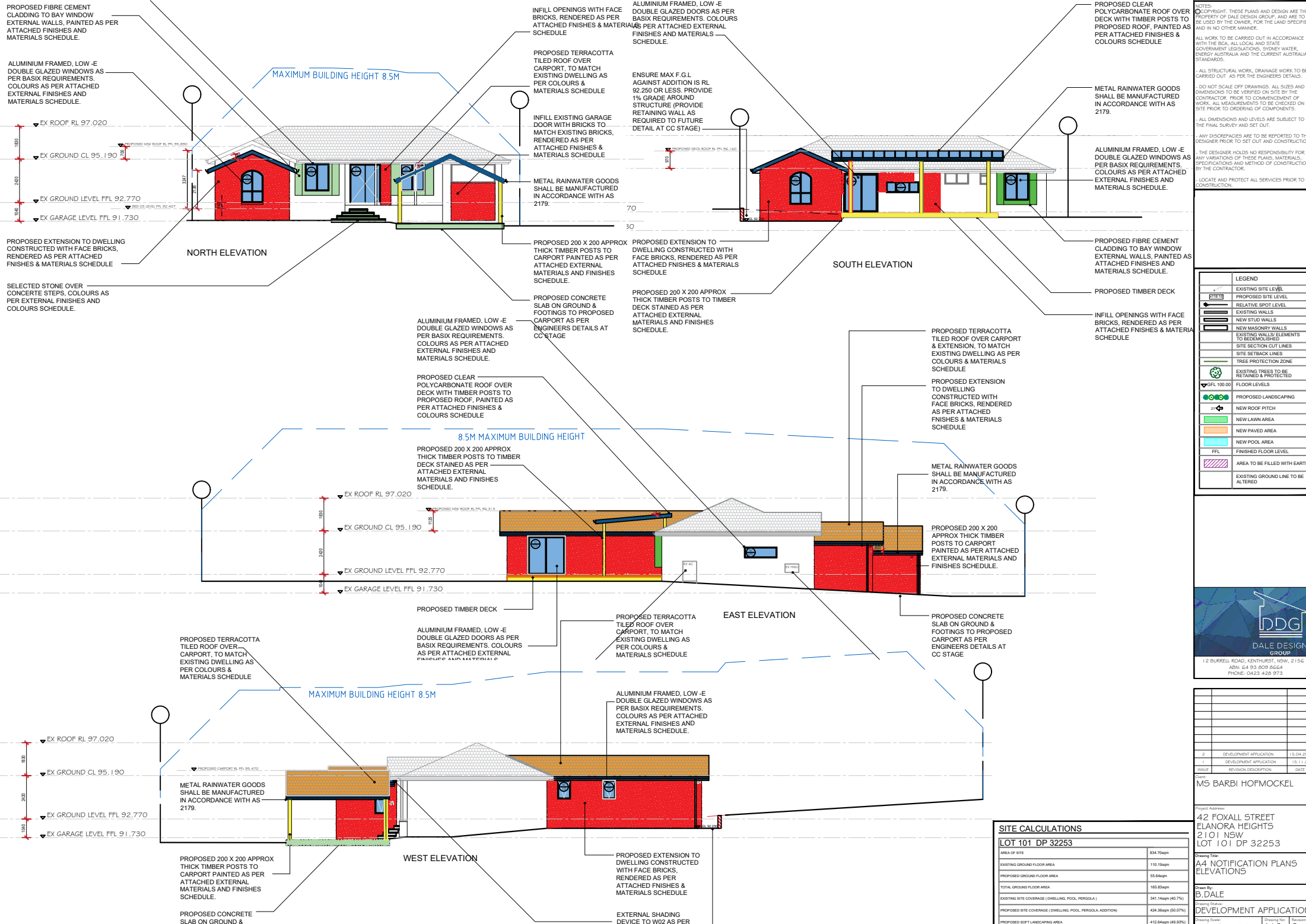
Client:
M5 BARBI HOFMOCKEL

Project Address:
42 FOXALL STREET
ELANORA HEIGHTS
2101 NSW
LOT 101 DP 32253

Drawing Title:
A4 NOTIFICATION PLANS
SITE PLAN

Drawn By:
B DALE
Drawing Status:
DEVELOPMENT APPLICATION
Drawing Scale:
1:250 @ A4
Drawing No:
A17
Revision:
02

SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.75sqm
EXISTING GROUND FLOOR AREA	110.15sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	434.36sqm (50.7%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)



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- LOCATE AND PROTECT ALL SERVICES PRIOR TO CONSTRUCTION.

LEGEND	
	EXISTING SITE LEVEL
	PROPOSED SITE LEVEL
	RELATIVE SPOT LEVEL
	EXISTING WALLS
	NEW STUD WALLS
	NEW MASONRY WALLS
	EXISTING WALL/ELEMENTS TO BE REMOVED
	SITE SECTION CUT LINES
	SITE SETBACK LINES
	TREE PROTECTION ZONE
	EXISTING TREES TO BE RETAINED & PROTECTED
	FLOOR LEVELS
	PROPOSED LANDSCAPING
	NEW ROOF PITCH
	NEW LAWN AREA
	NEW PAVED AREA
	NEW POOL AREA
	FINISHED FLOOR LEVEL
	AREA TO BE FILLED WITH EARTH
	EXISTING GROUND LINE TO BE ALTERED

DALE DESIGN GROUP
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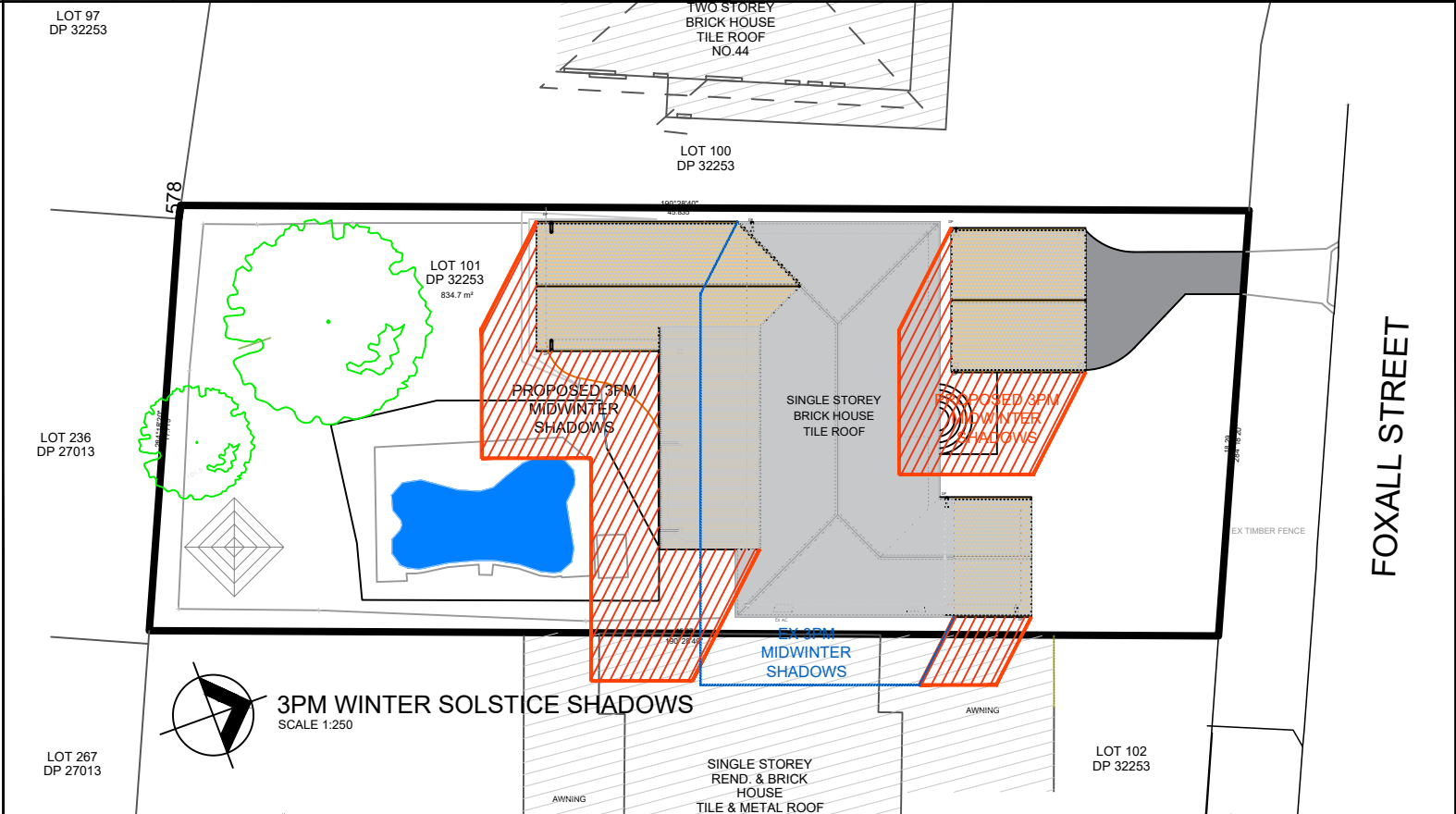
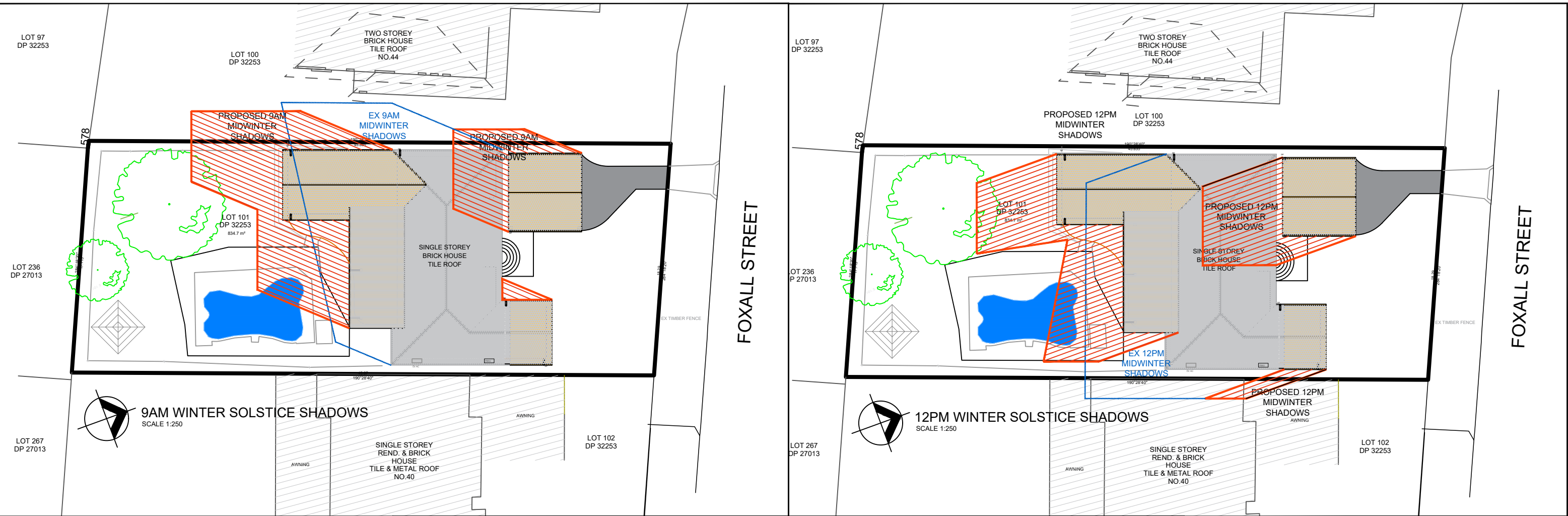
REV	DESCRIPTION	DATE
1	DEVELOPMENT APPLICATION	15.04.25
2	DEVELOPMENT APPLICATION	15.11.24
3	REVISION DESCRIPTION	DATE


Client: M5 BARBI HOFMÖCKEL

Project Address:
42 FOXALL STREET
ELANORA HEIGHTS
2101 NSW
LOT 101 DP 32253












Drawing No: **B DALE**
Drawing Status: **DEVELOPMENT APPLICATION**
Drawing Scale: **1:250 @ A4**
Drawing No: **A18**
Revision: **2**










SITE CALCULATIONS	
LOT 101 DP 32253	
AREA OF SITE	834.70sqm
EXISTING GROUND FLOOR AREA	110.19sqm
PROPOSED GROUND FLOOR AREA	55.64sqm
TOTAL GROUND FLOOR AREA	165.83sqm
EXISTING SITE COVERAGE (DWELLING, POOL, PERGOLA)	341.14sqm (40.7%)
PROPOSED SITE COVERAGE (DWELLING, POOL, PERGOLA, ADDITION)	424.36sqm (50.8%)
PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.82%)



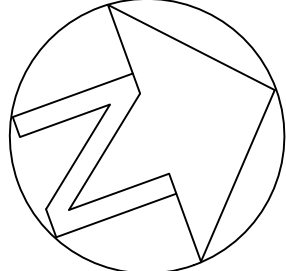


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BUILDING DESIGNER

LEGEND	
	EXISTING SITE LEVEL
	PROPOSED SITE LEVEL
	RELATIVE SPOT LEVEL
	EXISTING WALLS
	NEW STUD WALLS
	NEW MASONRY WALLS
	EXISTING WALLS/ELEMENTS TO BE DEMOLISHED
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	SITE SETBACK LINES
	TREE PROTECTION ZONE
	EXISTING TREES TO BE RETAINED & PROTECTED

FLOOR LEVELS	
	GFL 100.00
	PROPOSED LANDSCAPING
	NEW ROOF PITCH
	NEW LAWN AREA
	NEW PAVED AREA
	NEW POOL AREA
	FINISHED FLOOR LEVEL
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PROPOSED SOFT LANDSCAPING AREA	412.64sqm (49.93%)



ISSUE	
1	DEVELOPMENT APPLICATION
2	REVISION DESCRIPTION
3	DATE

Client: MS BARBI HOFMOCKEL

Project Address: 42 FOXALL STREET ELANORA HEIGHTS 2101 NSW LOT 101 DP 32253

Drawing Title: 9AM, 12PM, 3PM MIDWINTER SHADOW DIAGRAMS


Drawn By: B. DALE

Drawing Status: DEVELOPMENT APPLICATION

Drawing Scale: 1:300 @ A3

Drawing No: A19

Revision: 01



DALE DESIGN GROUP

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