

Note:
2340 high doors & SQ Sets to ground floor
2040 high doors to upper floor



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0207

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Icon Job Number: J/XXXXX

Client Approval:

Date:



Job:

Proposed Residence

LOT: 72 DP: 224441
114 Blackbutts Road, Frenches Forest

Drawing:

Ground Floor Plan

Scale:

1:100

Date:

28-02-20

Drawing No:

19093-14

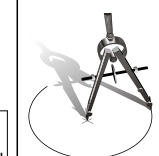
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3/12

Issue:

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House Design: Custom



Accurate

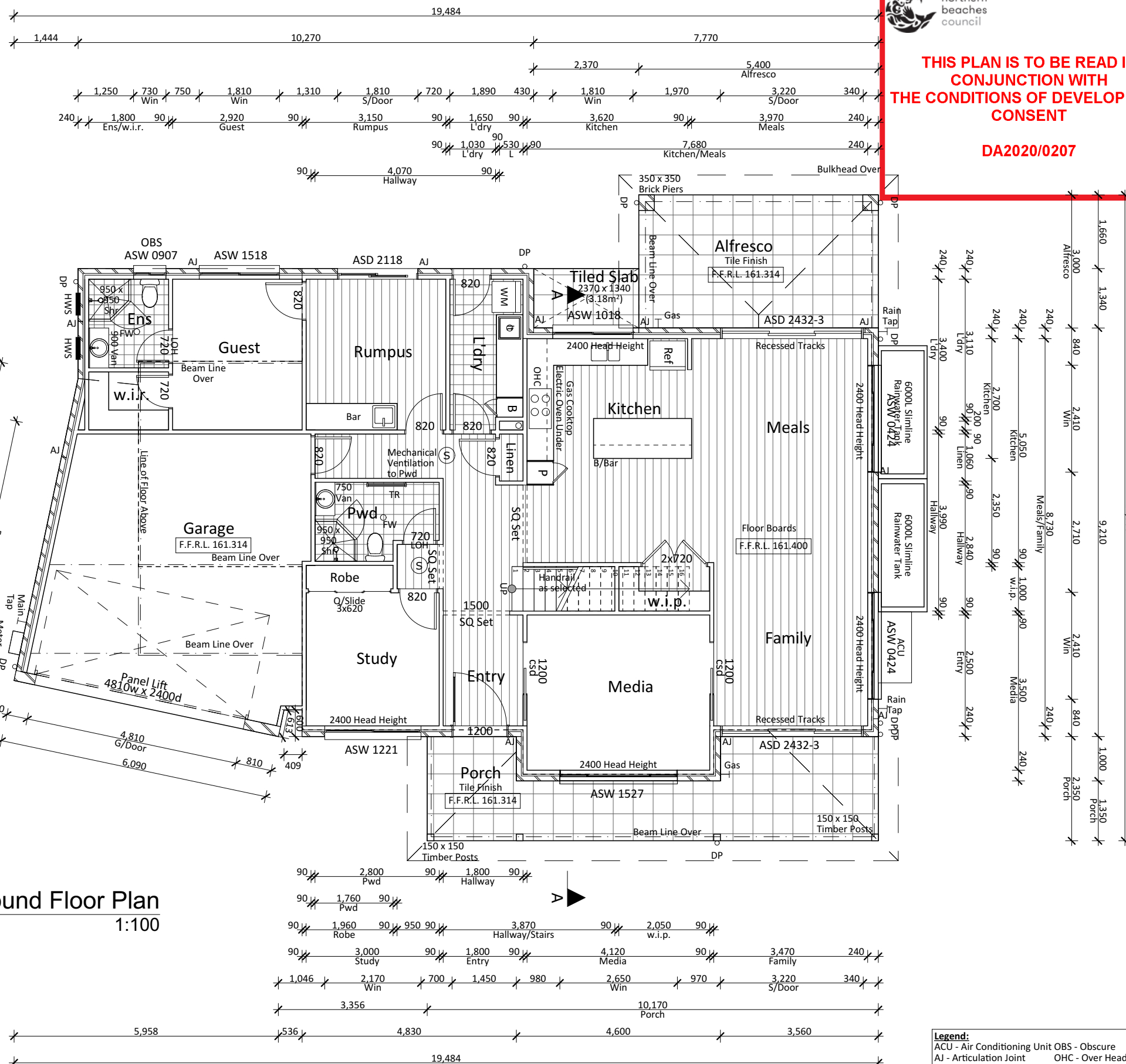
design and drafting

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Email: info@accuratedesign.com.au

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Ground Floor Plan
1:100

Floor Area (m2)	
Balcony	7.38
Alfresco	16.20
Porch	19.30
Garage	38.62
Upper Living	141.25
Ground Living	148.58
	371.33 m²



Legend:	
ACU - Air Conditioning Unit	OBS - Obscure
AJ - Articulation Joint	OHC - Over Head Cupboard
B/Bar - Breakfast Bar	P - Pantry
DP - Downpipe	R - Robe
DW - Dishwasher	RHS - Rolled Hollow Steel
Ens - Ensuite	S - Smoke Alarm
F/P - Fire Place	Shr - Shower
FW - Floor Waste	TR - Towel Rail
HWS - Hot Water System	Van - Vanity
L - Linen	w.i.l. - Walk in Linen
LC - Laundry Chute	w.i.r. - Walk in Robe
LOH - Lift off Hinge	w.i.p. - Walk in Pantry
LT - Laundry Tub	w.c. - Wash Closet
MH - Manhole	WM - Washing Machine
MW - Microwave Oven	

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Job:

Proposed Residence

LOT: 72 DP: 224441
114 Blackbutts Road, Frenches Forest

Drawing:

Upper Floor Plan

Scale:

1:100

Date:

28-02-20

Drawing No:

19093-14

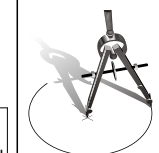
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Issue:

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House Design: Custom

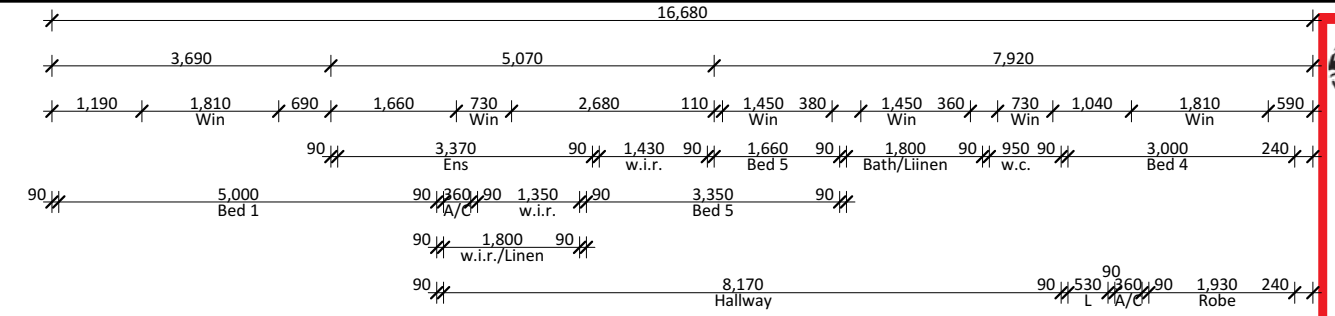


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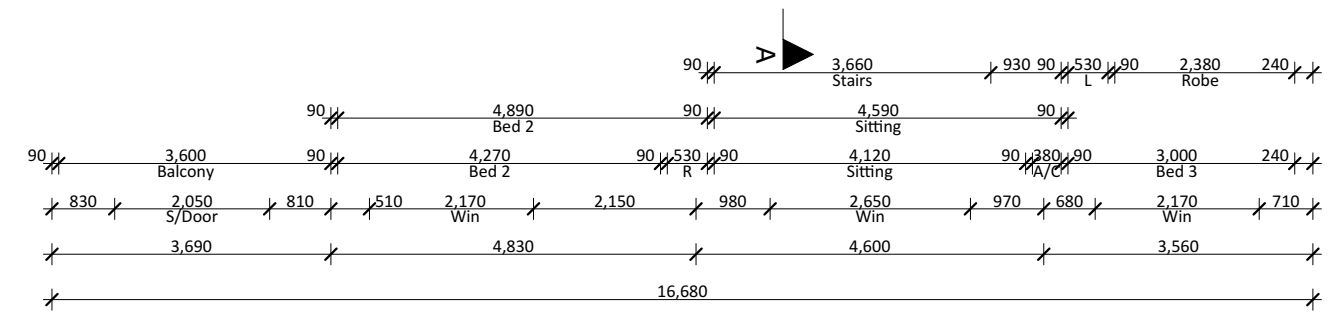
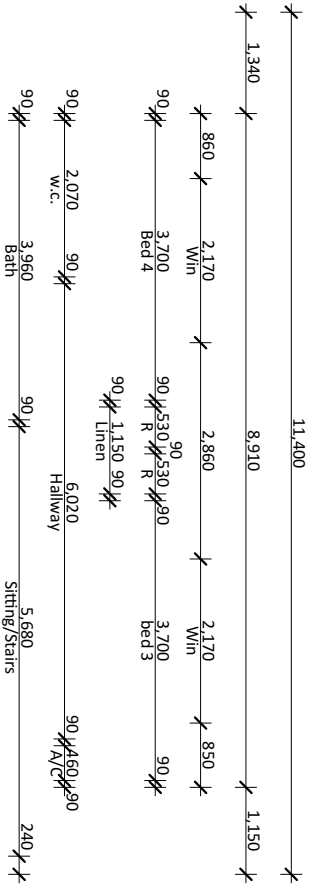
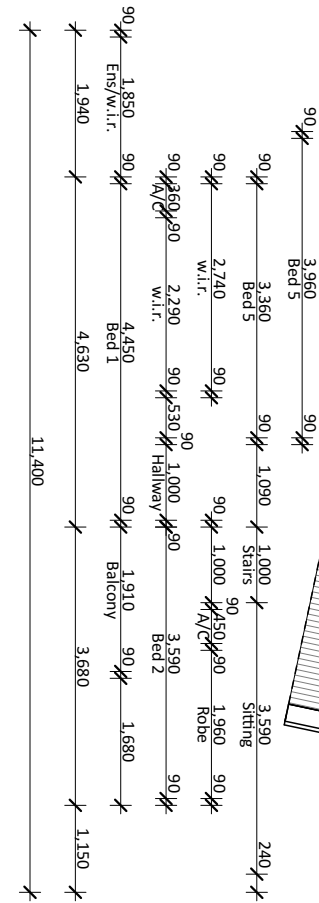
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Upper Floor Plan

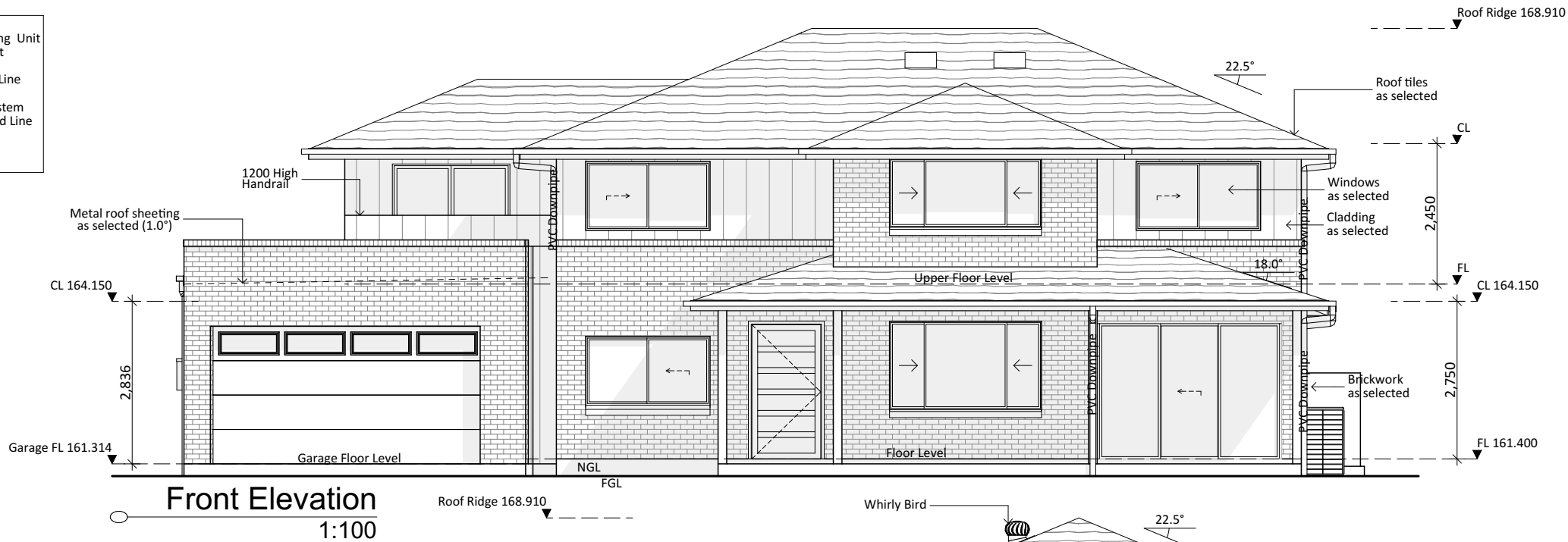
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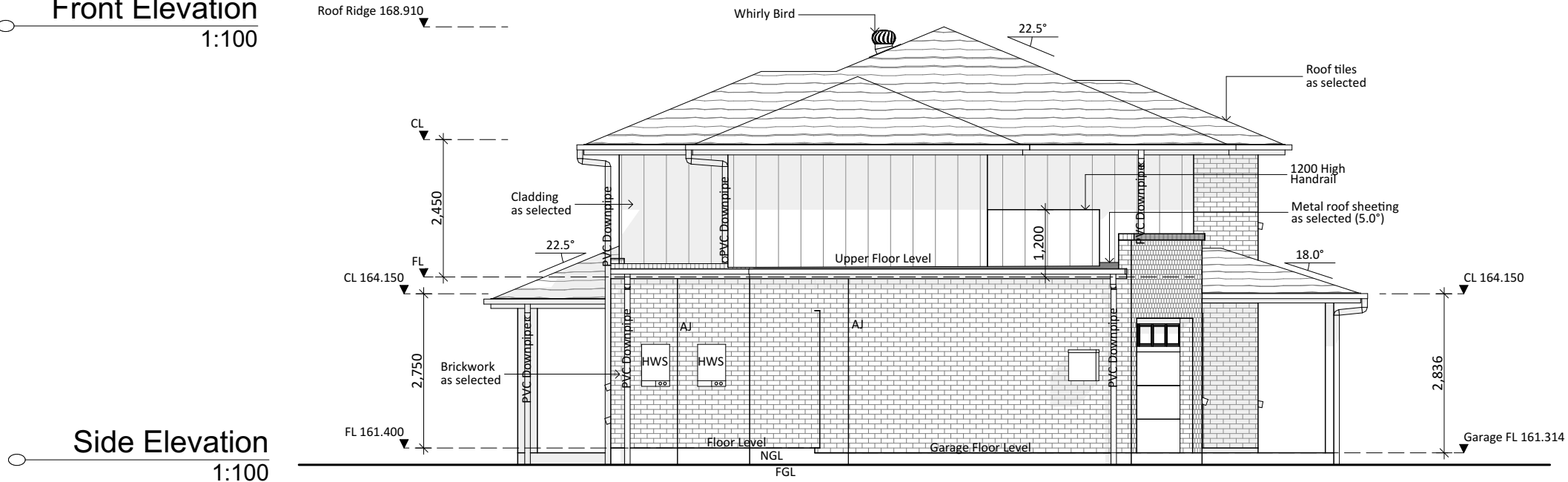
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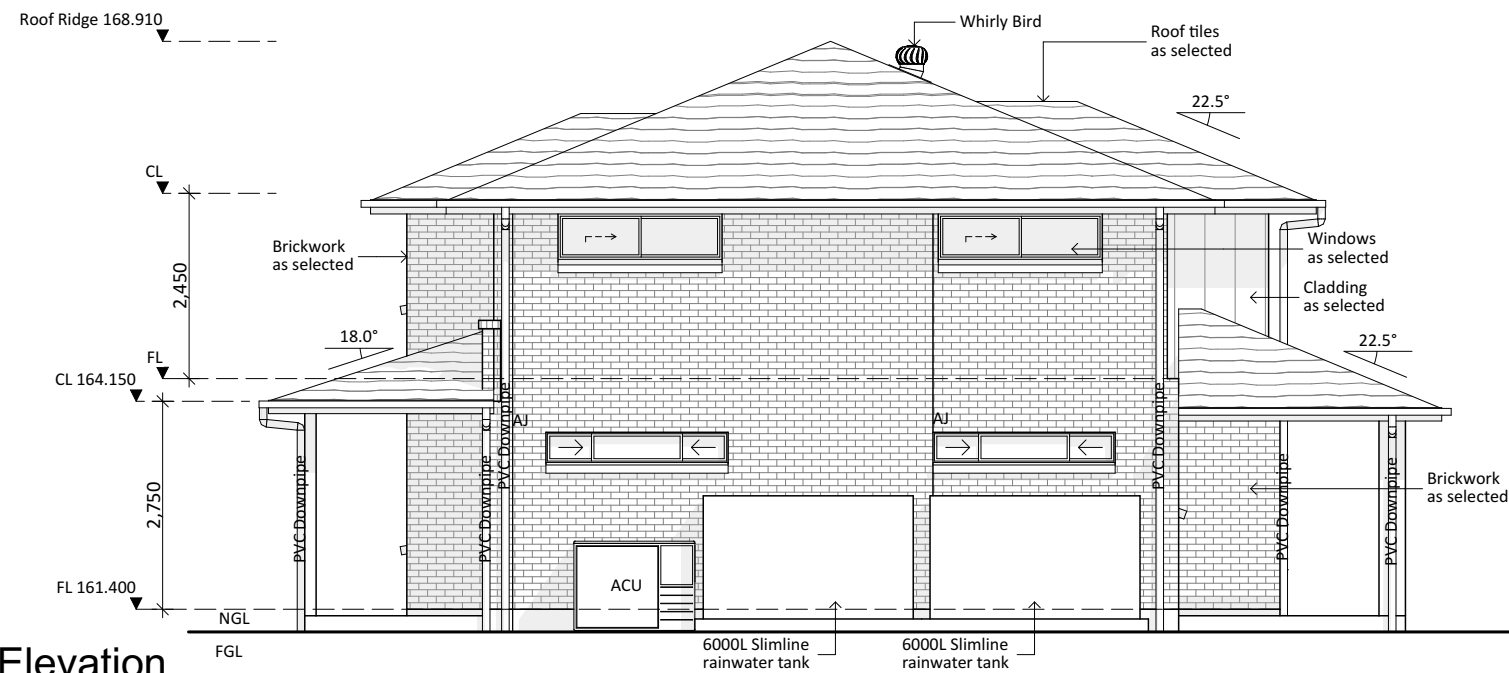
Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
OBS - Obscure
DP - Downpipe
RW - Retaining Wall



Front Elevation
1:100



Side Elevation
1:100



Side Elevation
1:100



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Icon Job Number: J/XXXXX

Client Approval: _____ Date: _____



Job:
Proposed Residence

LOT: 72 DP: 224441
114 Blackbutts Road, Frenches Forest

Drawing:
Elevations

Scale: **1:100** Date: **28-02-20**

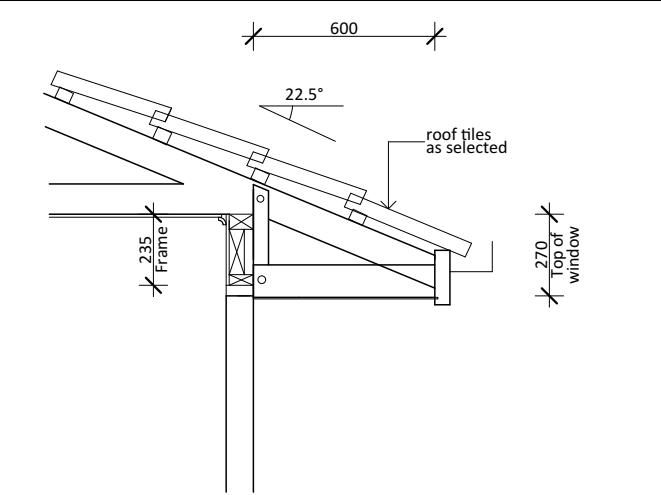
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House Design: Custom

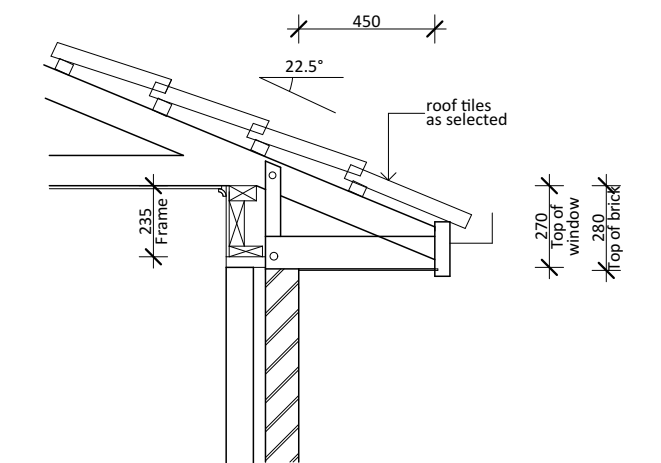
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Legend:
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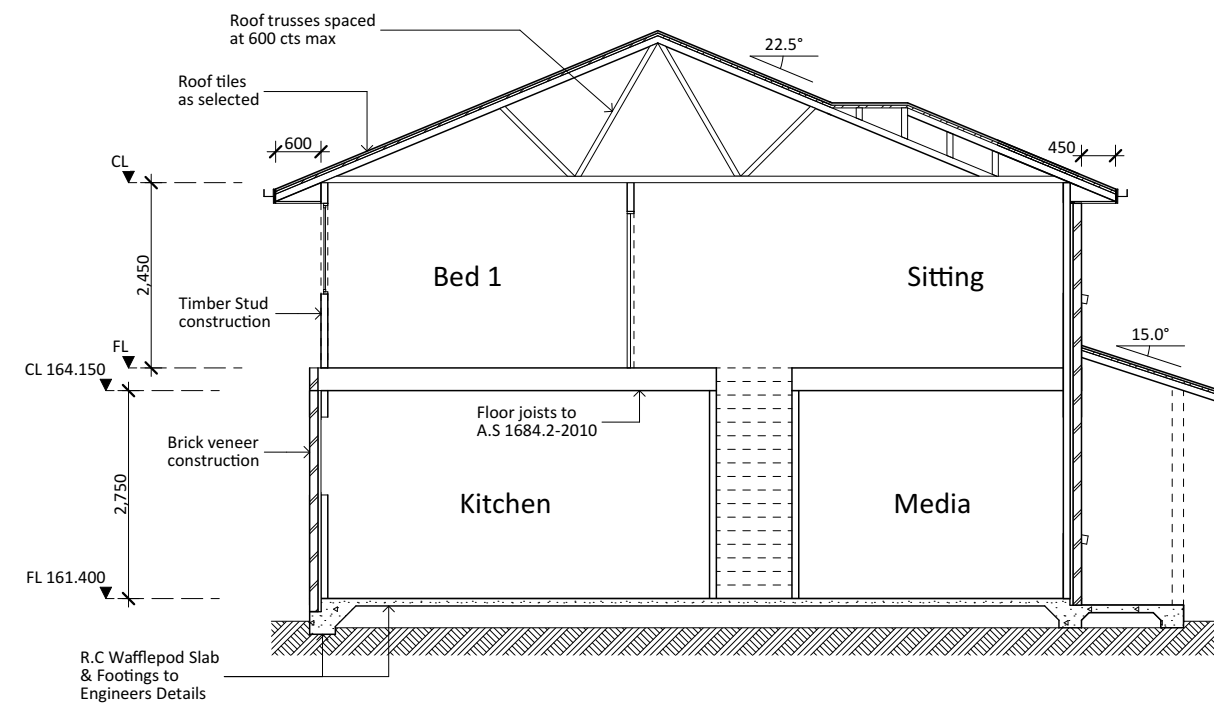


Eave Details
1:25



Eave Details
1:25

Rear Elevation
1:100



Section A-A
1:100

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Job:
Proposed Residence

LOT: 72 DP: 224441
114 Blackbutts Road, Frenches Forest

Drawing:
Elevation, Section & Details

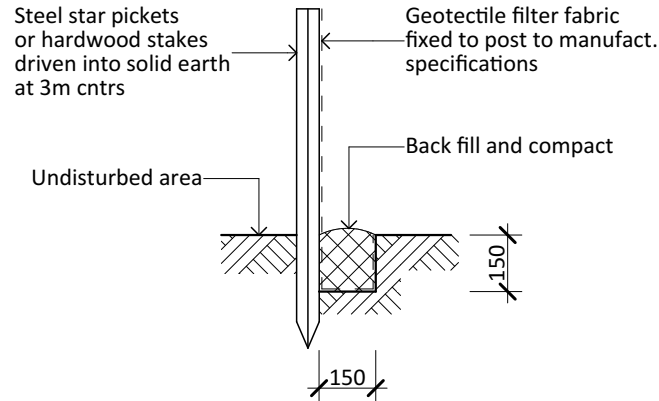
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Drawing No: **19093-14** Sheet: **6/12** Issue: **0**

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Soil Erosion and Sediment Control Fence
1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabalized, i.e. paved, landscaped or turfed
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Typical Silt Fence
1:20

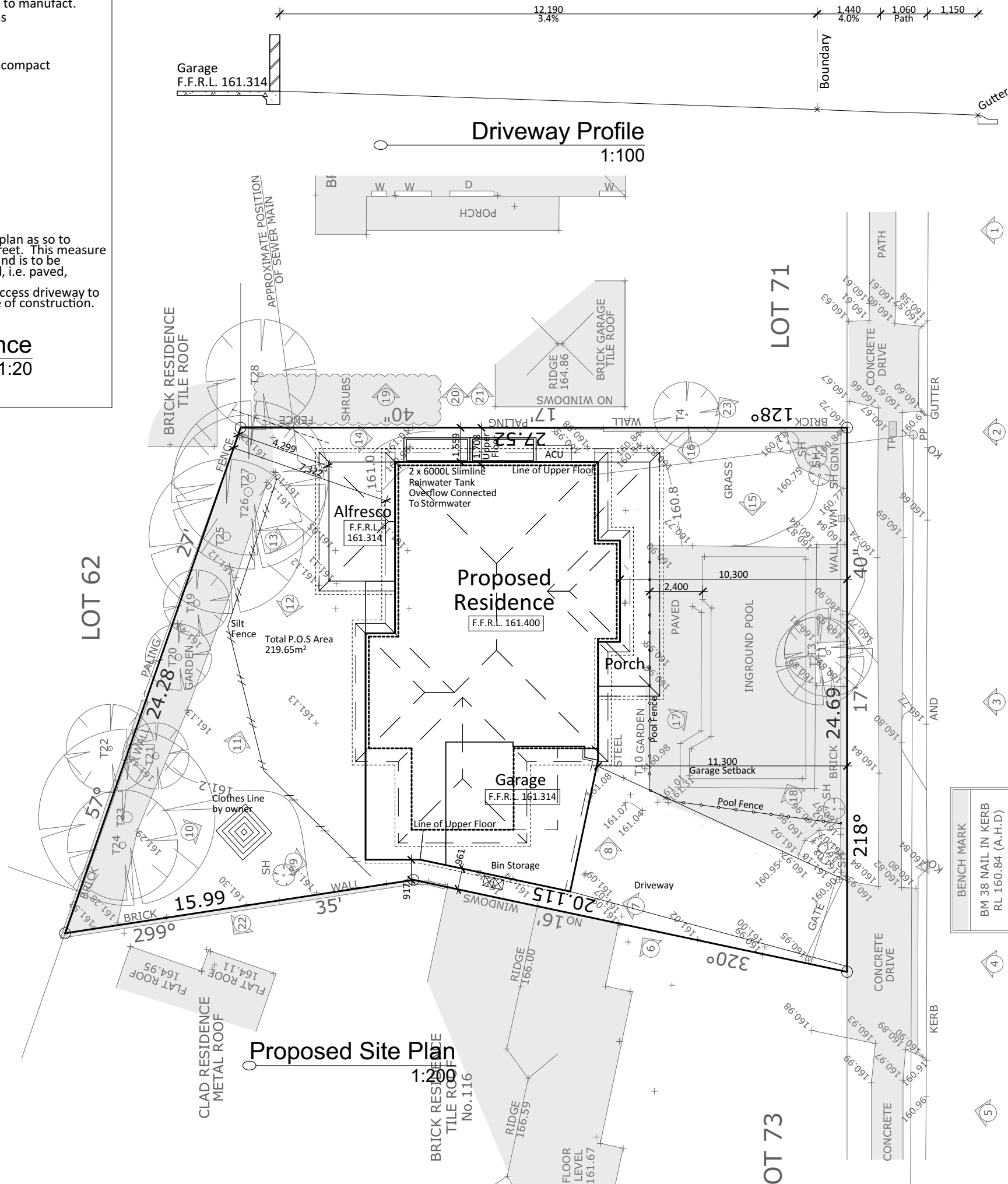
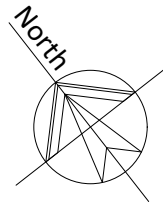
Note:
Private Open Space: 219.65m² (31.52%)
Landscape Area: 252.76m²



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DA2020/0207

Lot 72
696.90m²
DP: 224441



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Proposed Residence

LOT: 72 DP: 224441
114 Blackbutts Road, Frenches Forest

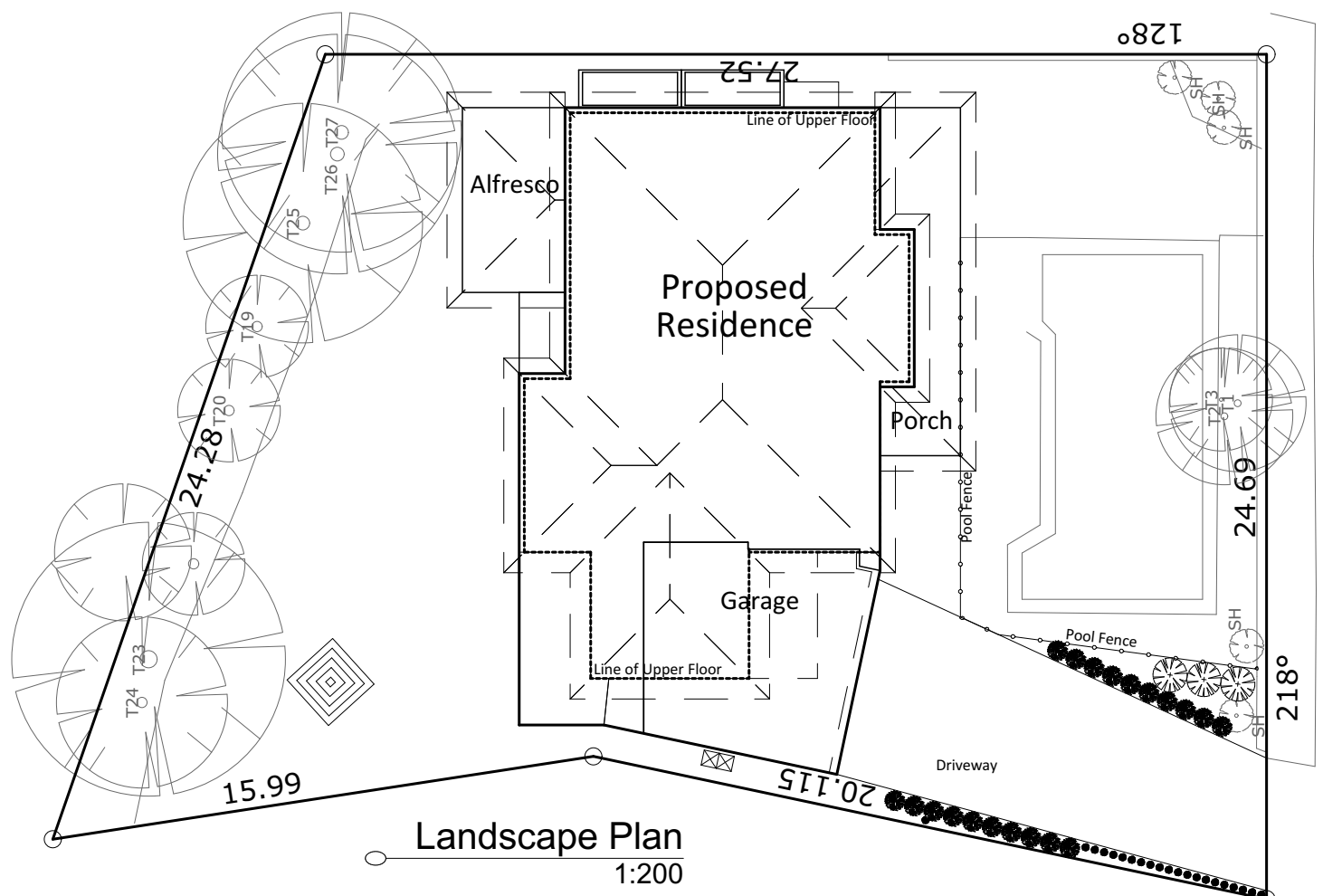
Drawing:
Proposed Site Plan

Scale: **1:200, 1:20** Date: **28-02-20**

Drawing No: **19093-14** Sheet: **8/12** Issue: **0**

House Design: Custom

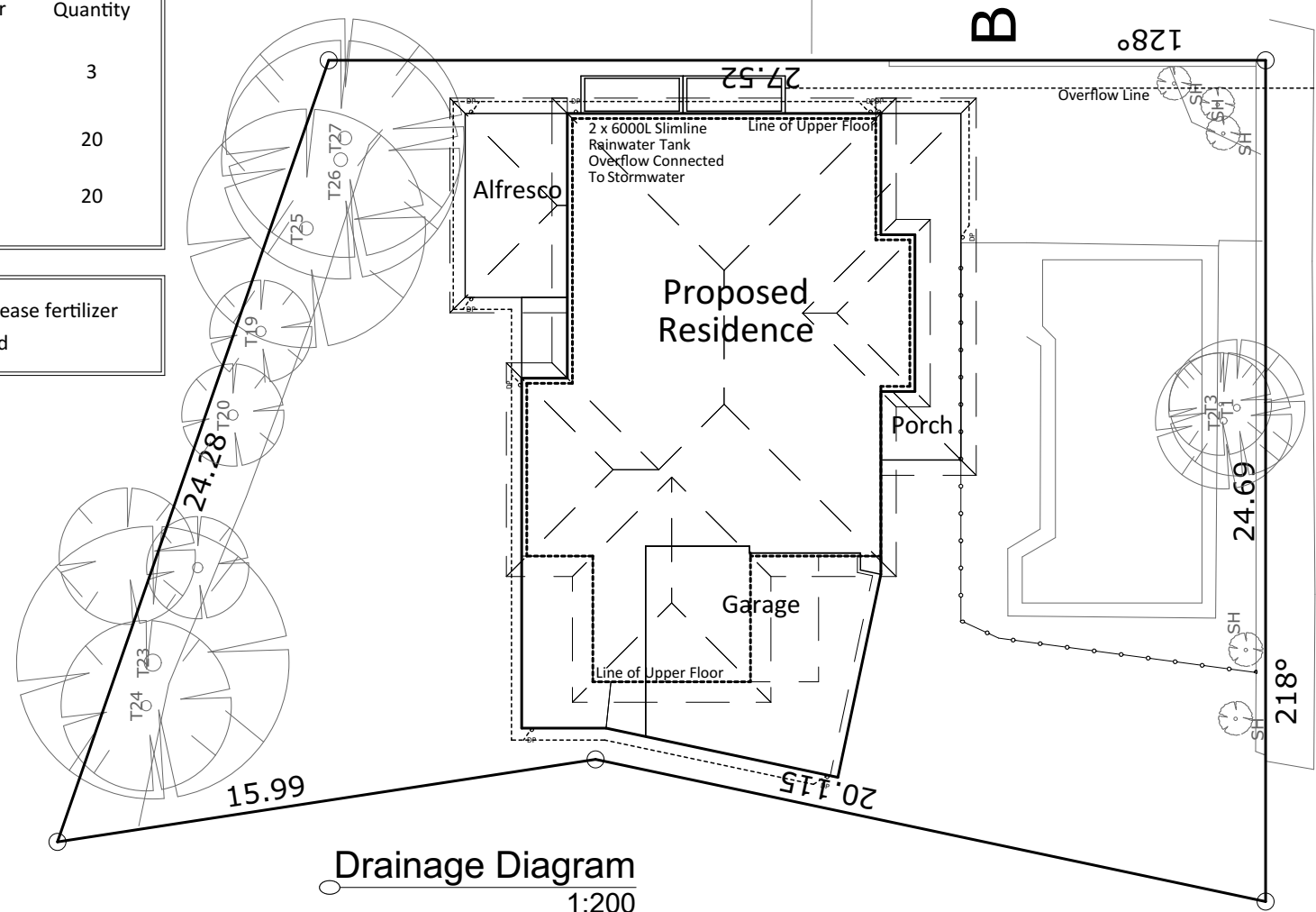
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Key	Species	Dimensions	Container	Quantity
	Corodyline	1.2m x 1.2m	200mm	3
	Buxus Microphylla	0.3m x 0.4m	200mm	20
	Convolvulus	0.5m x 1m	200mm	20

NOTES:
* All plants to be planted in premium garden mix and slow release fertilizer
* Gardens to be mulched with Eucalyptus Mulch
* Plants are to be maintained for 6 months or until established
* Any losses are to be replaced

Note:
Private Open Space: 219.65m² (31.52%)
Landscape Area: 252.76m²

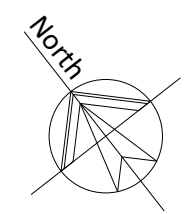


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Lot 72
696.90m²
DP: 224441



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Job:
Proposed Residence

LOT: 72 DP: 224441
114 Blackbutts Road, Frenches Forest

Drawing:
Landscape Plan & Drainage Diagram

Scale: **1:200** Date: **28-02-20**

Drawing No: **19093-14** Sheet: **9/12** Issue: **0**

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