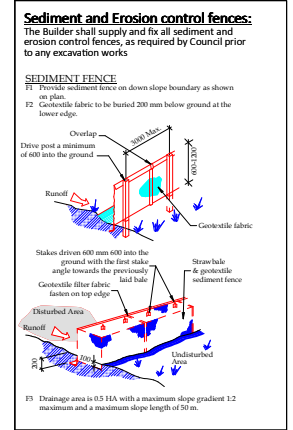


**ENCUMBRANCES NOTED ON TITLE FOLIO 2/E/2044**  
 1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS

- LEGEND**
- +26.23 Denotes spot height.
  - +25.37 TK Denotes height on top of kerb.
  - T-0.25/4 Denotes tree-diameter/spread/height.
  - Denotes overhead power wires.
  - Denotes Sydney Water Sewer.
  - (Plotted approx wide DBYD Sequence No. 818888231)
  - Denotes flow direction of roof waters.
  - 78.37 Denotes ridge and levels.
  - 74.26 Denotes gutter and levels.
  - 83.14 Denotes level on top of wall. All walls Rendered, unless noted otherwise.
  - 76.85, 75.42 Denotes window and levels.
  - 76.85, 75.42 Denotes door and levels.



**SITE RATIOS - EXISTING:**

<b>SITE AREA</b>	<b>619.7m<sup>2</sup></b>	
FOOTPRINT OF RESIDENCE	179m <sup>2</sup>	
AREAS LESS THAN 3m WIDE or 12m <sup>2</sup> DRIVEWAY	48m <sup>2</sup> 59m <sup>2</sup>	
<b>SUM TOTAL</b>	<b>286m<sup>2</sup></b>	
OPEN SPACE AREA	333.7m <sup>2</sup>	53.8%
(Minimum required)	340.8m <sup>2</sup>	55%
SWIMMING POOL & SURROUNDS PAVED AREAS & PATHWAYS	84m <sup>2</sup> 28m <sup>2</sup>	
HARD OPEN SPACE	112m <sup>2</sup>	
SOFT OPEN SPACE AREA	221.7m <sup>2</sup>	65%
(Minimum required 35% of 340.8m <sup>2</sup> )	119.3m <sup>2</sup>	

**SITE RATIOS - PROPOSED:**

<b>SITE AREA</b>	<b>619.7m<sup>2</sup></b>	
FOOTPRINT OF RESIDENCE	192.5m <sup>2</sup>	
AREAS LESS THAN 3m WIDE or 12m <sup>2</sup> DRIVEWAY	49m <sup>2</sup> 59m <sup>2</sup>	
<b>SUM TOTAL</b>	<b>300.5m<sup>2</sup></b>	
OPEN SPACE AREA	319.2m <sup>2</sup>	51.5%
(Minimum required)	340.8m <sup>2</sup>	55%
SWIMMING POOL & SURROUNDS PAVED AREAS & PATHWAYS	84m <sup>2</sup> 20m <sup>2</sup>	
HARD OPEN SPACE	104m <sup>2</sup>	
SOFT OPEN SPACE AREA	215.2m <sup>2</sup>	63.1%
(Minimum required 35% of 340.8m <sup>2</sup> )	119.3m <sup>2</sup>	

**NOTES:**  
 All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.  
 Finished ground levels on the plan are subject to the site conditions.  
 Do not scale from drawings: Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.  
 The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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**BASIX INFORMATION REQUIREMENTS:**  
**LIGHTING:**  
 A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or LED lamps  
**WATER COMMITMENTS:**  
 Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

**HOT WATER SYSTEM:**  
 The existing hot water system shall remain.  
**INSULATION REQUIREMENTS:**  
 Suspended Floor with enclosed sub floor: The suspended floor shall meet minimum R 1.30 (including construction)  
 Floor above existing dwelling or building: Nil  
 External walls: The external walls shall meet minimum R 1.70 (including construction)  
 Ceilings: The new ceilings shall meet minimum R 0.70 (up)  
 Roof: The roof shall have a foil backed blanket (75mm) and be of light colour (solar absorption < 0.475)

**WINDOWS & GLAZED DOORS:**  
 All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
 Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate  
 Shading devices: Shading devices shall be installed in accordance with the Basix certificate  
 Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

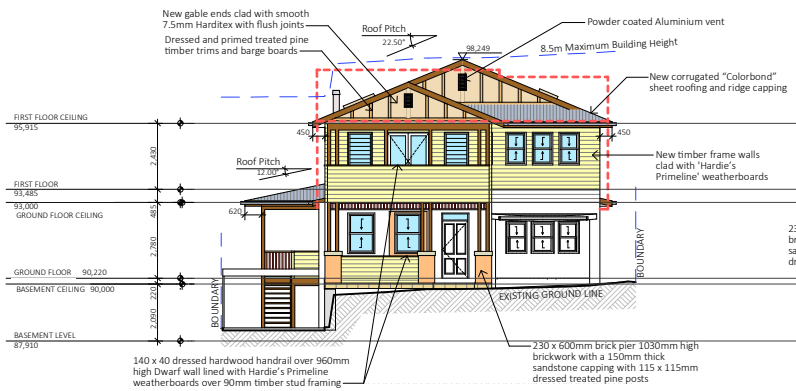
**SKYLIGHTS:**  
 All skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
 All new skylights shall meet the requirements of the Basix certificate



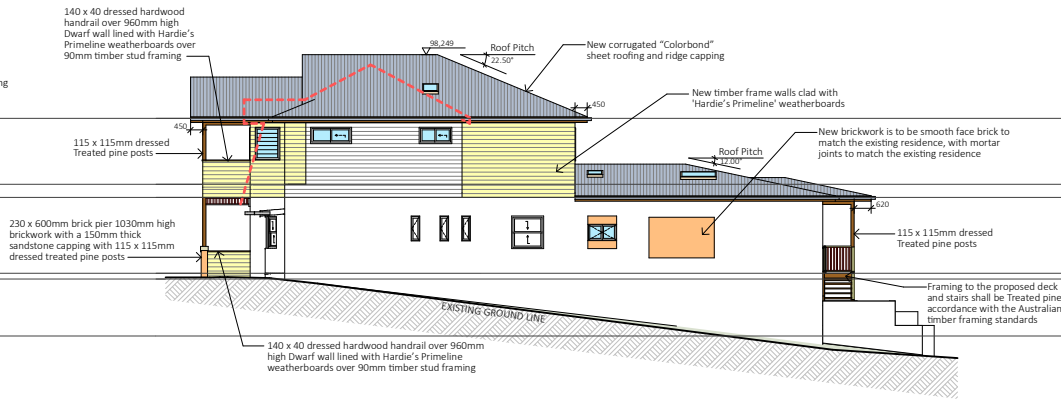
Client  
**MR & MRS DOWNEY**  
 Project Name  
**ALTERATIONS & ADDITIONS  
 1 KAREEMA STREET  
 LOT 2, SEC. E, D.P. 2044  
 BAGGOWLAH N.S.W. 2093**

Drawing Title:  
**SITE PLAN**

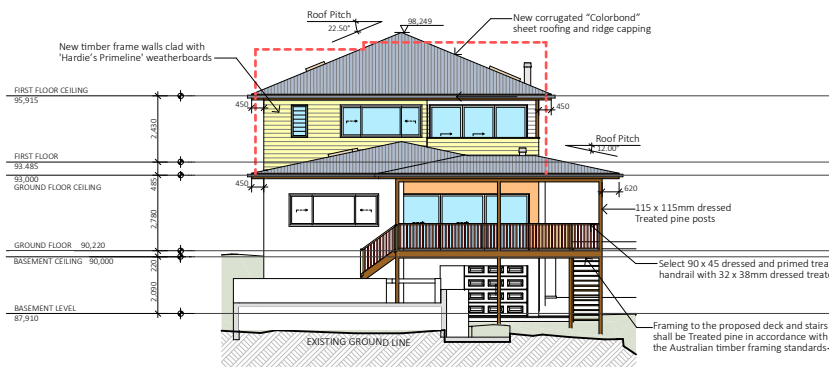
Scale: 1:100 (A1)	Date: DECEMBER 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: <b>1815</b>	Drawing No: <b>DA 01</b>
ANNEXURE "A"	Plot Date: 18/12/2019



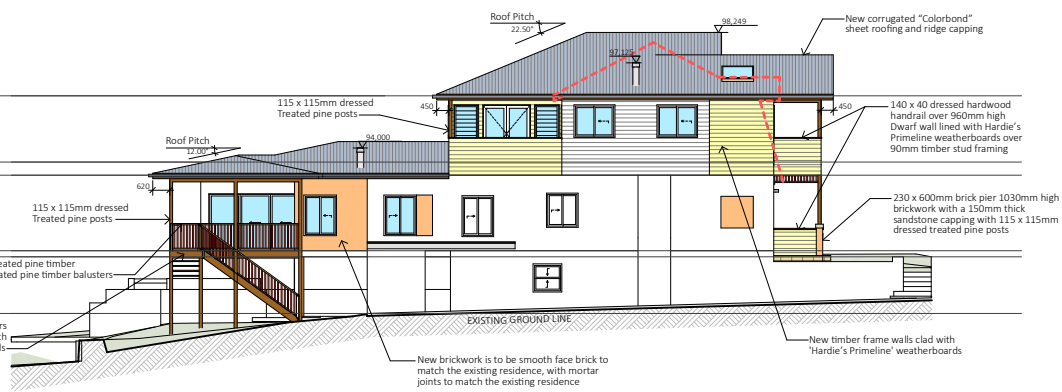
1 EAST ELEVATION 1:100



2 NORTH ELEVATION 1:100



3 WEST ELEVATION 1:100



4 SOUTH ELEVATION 1:100

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Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

**SKYLIGHTS:**  
All skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
All new skylights shall meet the requirements of the Basix certificate



Project North



Client  
**MR & MRS DOWNEY**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**1 KAREEMA STREET**  
**LOT 2, SEC. E, D.P. 2044**  
**BALGOWLAH N.S.W. 2093**

Drawing Title: <b>ELEVATIONS &amp; SECTIONS</b>	
Scale: 1:100	Date: DECEMBER 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: <b>1815</b>	Drawing No.: <b>DA 04</b>
ANNEXURE "A" Plot Date: 18/12/2019	