

DRAWING LIST	
DRAWING NO.	DRAWING LIST
000	COVER PAGE
005	BASIX COMMITMENT
010	LOCATION PLAN
020	CUT&FILL PLAN
050	SITE ANALYSIS
120	LOW GROUND FLOOR PLAN
130	GROUND FLOOR PLAN
140	ROOF PLAN
200	ELEVATION
210	ELEVATION
300	SECTION
500	SHADOW DIAGRAM
510	SHADOW DIAGRAM
600	AREA CALCULATION
700	EXTERNAL FINISH SCHEDULE



DEVELOPMENT APPLICATION
PROPOSED DWELLING AT LOT 03,
10 FERN CREEK ROAD, WARRIEWOOD

PREPARED FOR

SKYCORP AUSTRALIA

BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
BASIX Certificate # 1266847S				
WATER		No hot water reticulation required		
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	3 Star(>4.5 But<=6L/Min)	4 star	5 star	5 star
Alternate water source				
Rain Water Tank	Type	Size	Roof area connected	Connections
	Individual RWT	2000L	100 m2	Outdoor tap for landscape only
Swimming pool			
	Volume	Heated	Cover	Shaded

ENERGY				
Hot water	Type	Rating		
	Individual, gas instantaneous	5 star		
Mech. Ventilation	System	Operation Control		
Bath	Indiv. fan, ducted to facade or roof	Manual Switch On/Off		
L'dry	Indiv. fan, ducted to facade or roof	Manual Switch On/Off		
Kitchen	Indiv. fan, ducted to facade or roof	Manual Switch On/Off		
Cooling System	Type	Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned	2.5 star (average zone)	2.5 star (average zone)	
Heating System	Type	Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned	2.5 star (average zone)	2.5star (average zone)	
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)			
	No. of Bed rms & study	No. of Living	Each Kitchen, Bath / Toilet	L'dry & Hallway
	All	All	Yes	Yes
Others	Indoor private Cloth Line		Not Required	
	Outdoor or sheltered Cloth Line		Yes	
	Well ventilated Fridge space		Yes	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
THERMAL	As per thermal simulation carried out by assessor			
(refer assessor's stamped drawings)	External Wall Insulation: R2.8			
	Ceiling Insulation: R4.5			
	Roof type / colour : Metal roof, Medium Colour (SA 0.475 - 0.7) + SS Foil (R1.3)			
	ALM-002-01 A: Aluminium B SG Clear / tint U=6.6 SHGC =0.441 - 0.539			
	All External doors & windows to be weather sealed			
	Eaves / shading as per drawings			



1 LOCATION PLAN



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Nominated Registered Architect, Peter Israel (Reg no 50964)
ABN 60 050 071 022

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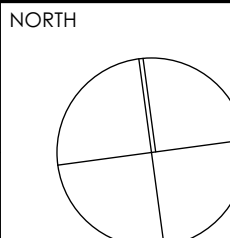
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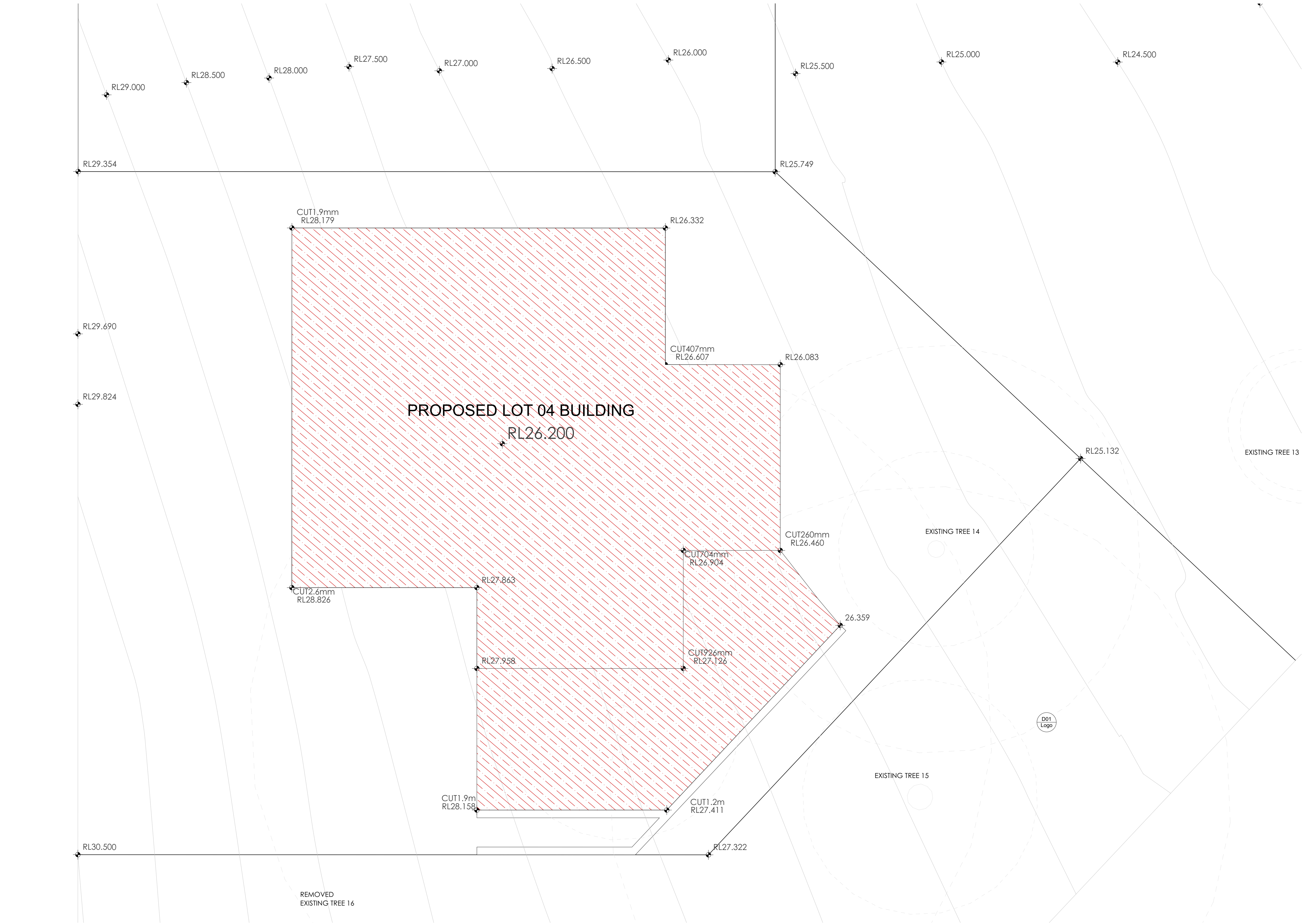
A	DEVELOPMENT APPLICATION	DL	KC/PI	08.11.21
B	SURVEY ISSUE	DL	GF/PI	11.11.21
REV	DESCRIPTION	BY	CHK	DATE

CLIENT
SKYCORP AUSTRALIA

PROJECT
LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD
DRAWING
LOCATION PLAN



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:1000@A1
B	DA 010 B
disc	stage
dwg no.	revision



1 CUT&FILL PLAN
1:50



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A
B

DEVELOPMENT APPLICATION
SURVEY ISSUE

DL
DL

KC/PI
GF/PI

08.11.21
11.11.21

CLIENT

SKYCORP AUSTRALIA

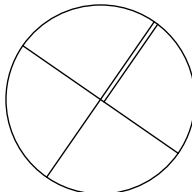
PROJECT

LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD

DRAWING

CUT&FILL PLAN

NORTH



DRAWN

DL, KC

PROJECT No
P563

B

DA

020

B

disc

stage

dwg no.

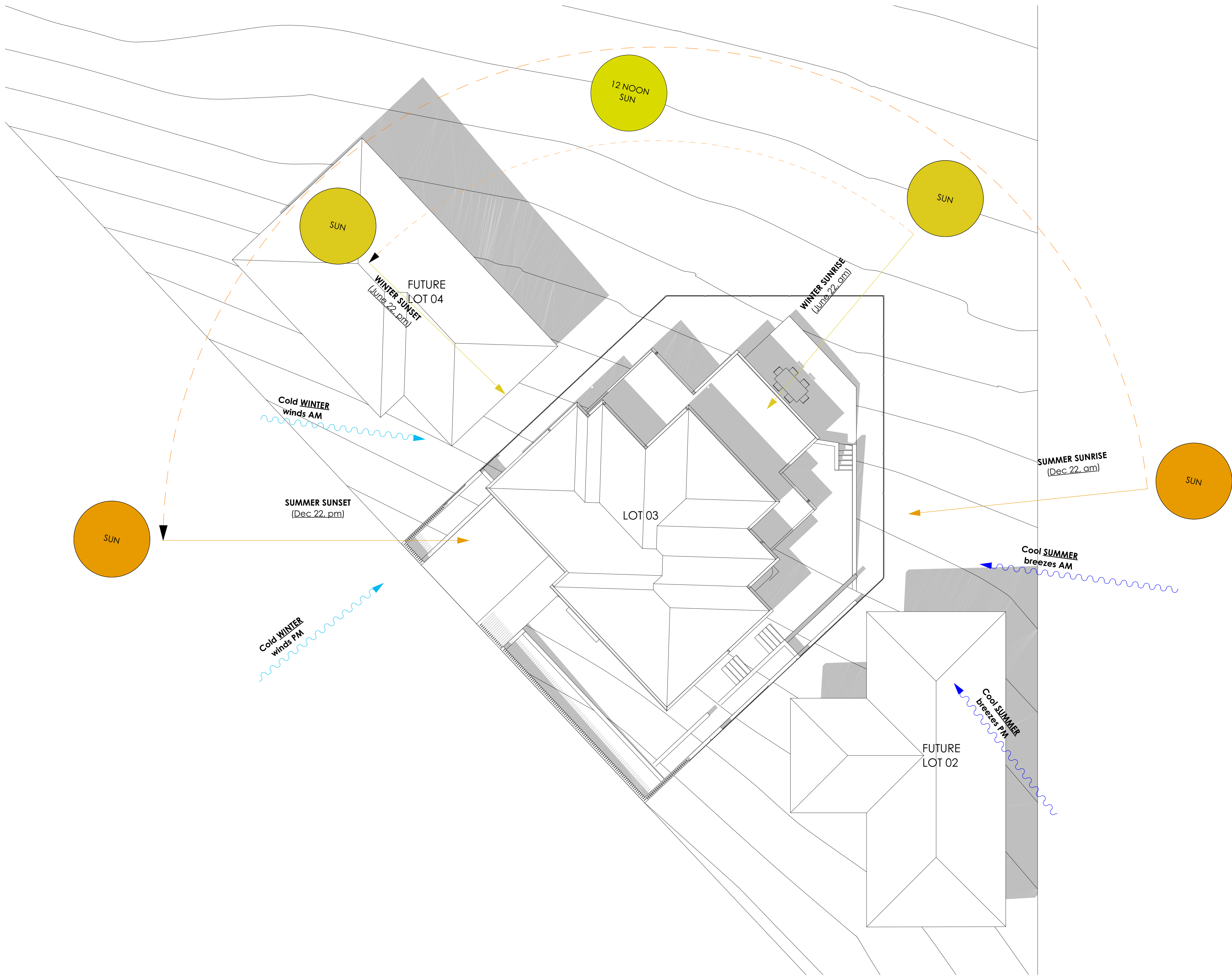
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CHECKED

PI / KC

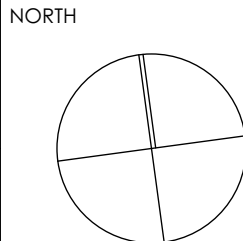
SCALE

1:50@A1

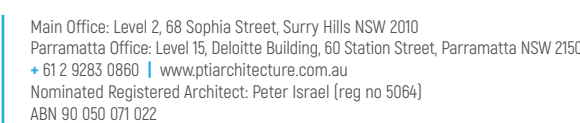


0 SITE ANALYSIS PLAN
1:100

					A B	DEVELOPMENT APPLICATION SURVEY ISSUE	DL DL	KC/PI GF/PI	08.11.21 11.11.21
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE



DRAWN		CHECKED	
DL, KC		PI / KC	
PROJECT No		SCALE	
P563		1:100@A1	
DRAWING			
B		DA 050 B	
disc	stage	dwg no.	revision



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PROJECT No P563		SCALE 1:50@A1	
B	DA	120	B
disc	stone	dwn no	revision

1 GROUND FLOOR PLAN
1:50



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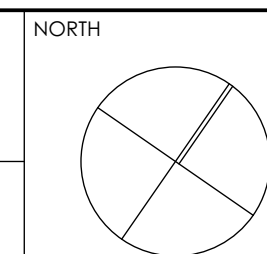
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DEVELOPMENT APPLICATION
SURVEY ISSUE

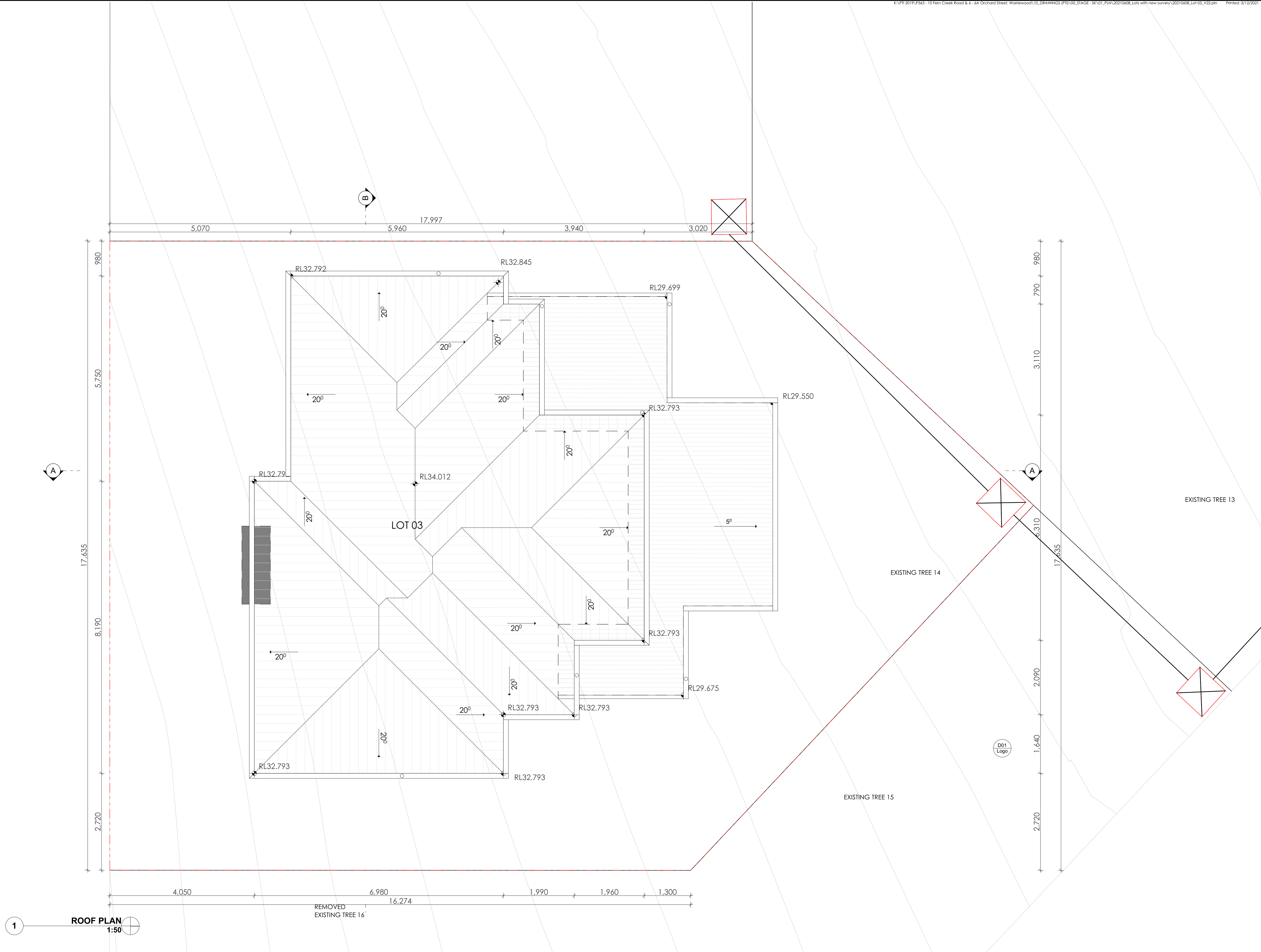
DL KC/PI 08.11.21
DL GF/PI 11.11.21

CLIENT
SKYCORP AUSTRALIA

PROJECT
LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD
DRAWING
GROUND FLOOR PLAN



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:50@A1
B	DA 130 B
dsc	stage, dwg no, revision



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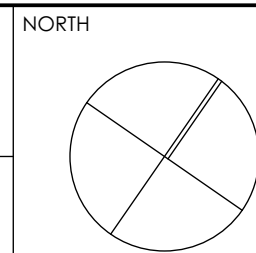
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REVISIONS				DEVELOPMENT APPLICATION SURVEY ISSUE			
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY

CLIENT
SKYCORP AUSTRALIA

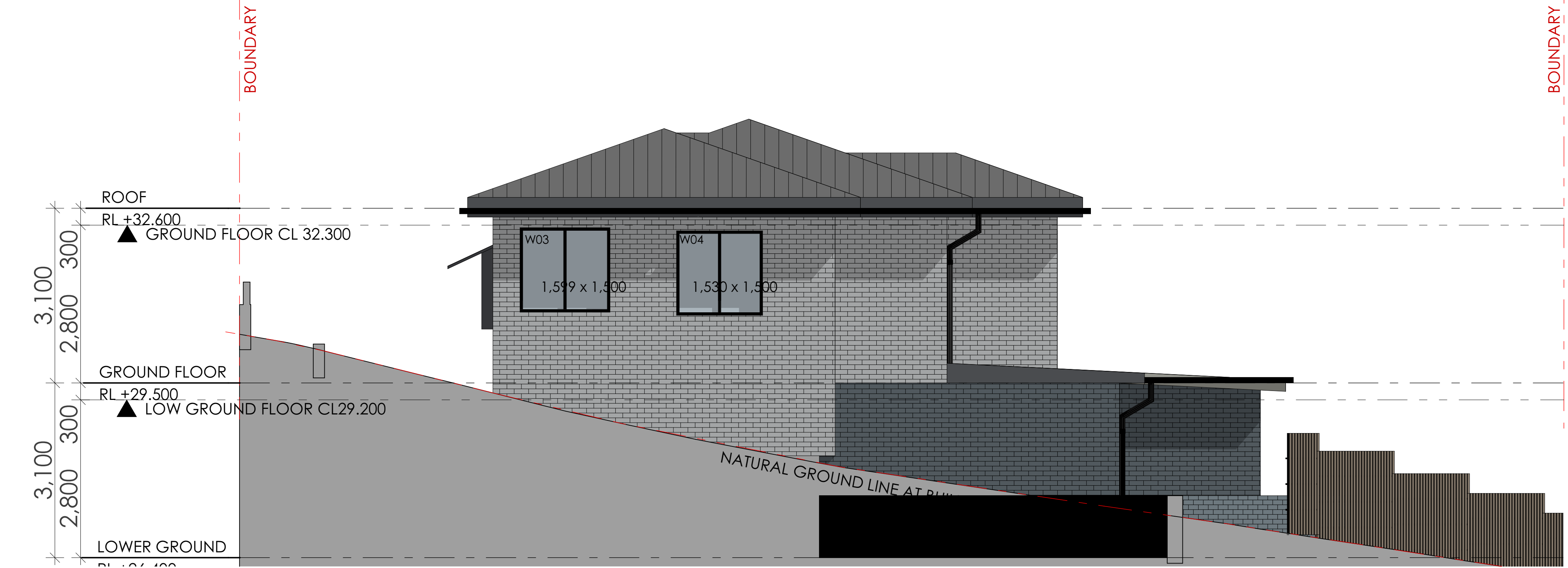
PROJECT
**LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD**
DRAWING
ROOF PLAN



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:50@A1
B	DA 140 B
disc	stage
dwg no.	revision

10.5m DCP MAX. HEIGHT OF BUILDING

K:\PTI 2019\P563 - 10 Fern Creek Road & 6A Orchard Street, Warriewood\10_DRAWINGS (PTI)\00_STAGE - SK\01_PLN\20210608_Lots with new survey\20210608_Lot 03_V22.pln Printed: 3/12/2021



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DEVELOPMENT APPLICATION
SURVEY ISSUE

A
B

DL
DL

KC/PI
GF/PI

08.11.21
11.11.21

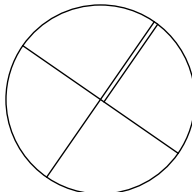
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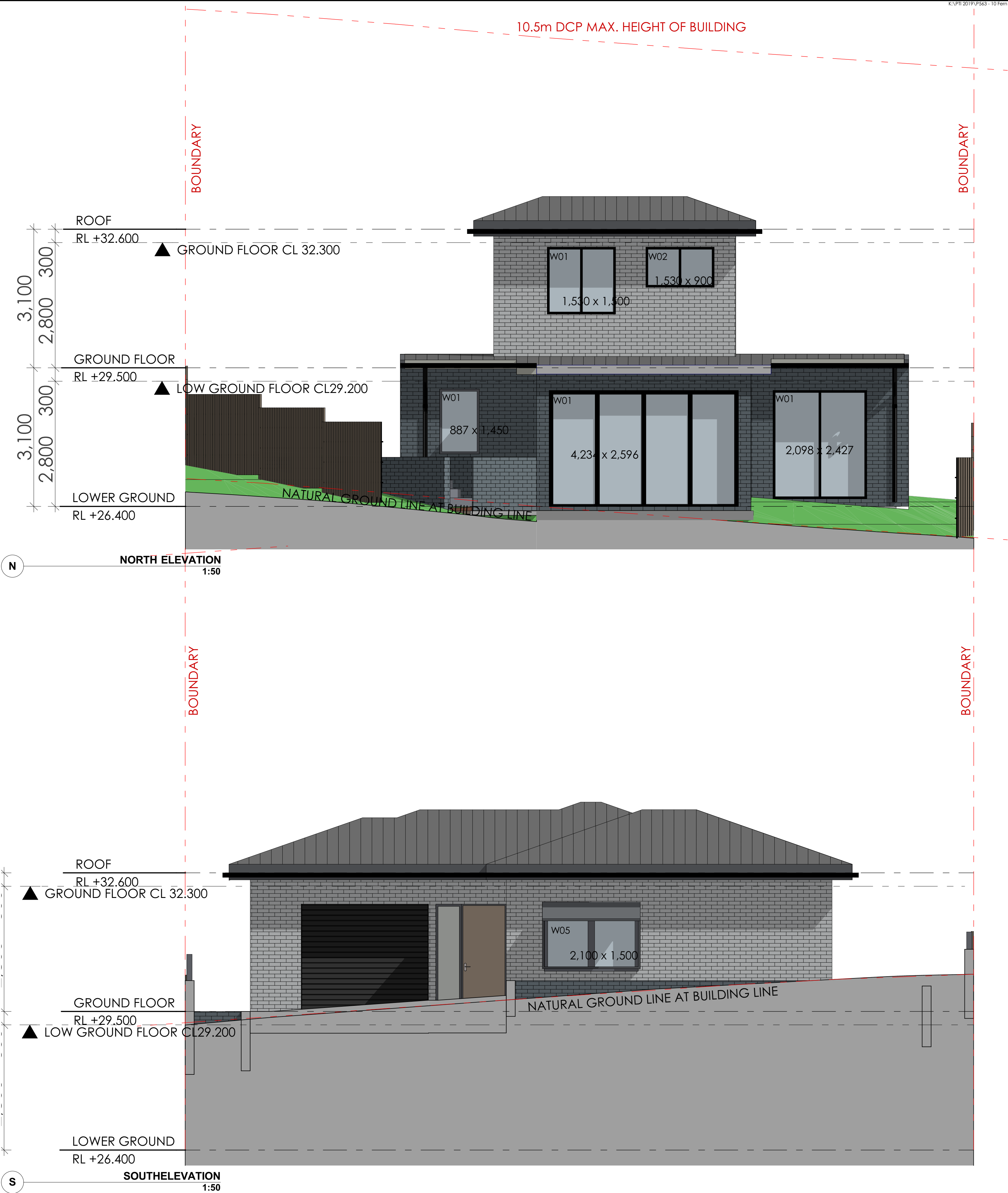
PROJECT
LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD

DRAWING
ELEVATION

NORTH



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:100@A1
B	DA 200 B
disc	stage
dwg no.	revision



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A
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DEVELOPMENT APPLICATION
SURVEY ISSUE

DL

KC/PI

08.11.21

CLIENT

SKYCORP AUSTRALIA

DL

GF/PI

11.11.21

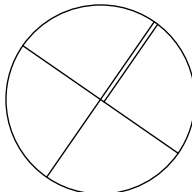
PROJECT

LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD

DRAWING

ELEVATION

NORTH



DRAWN

DL, KC

PROJECT No

P563

CHECKED

PI / KC

SCALE

1:100@A1

B

DA

210

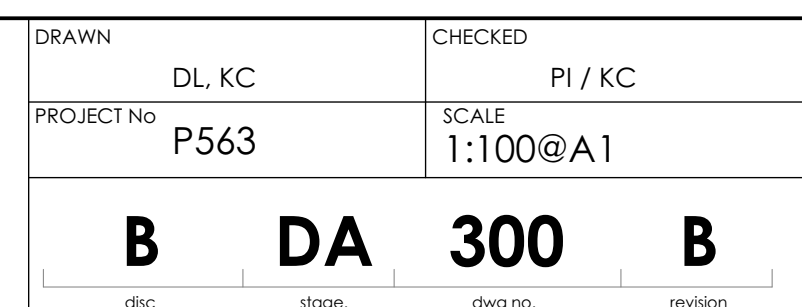
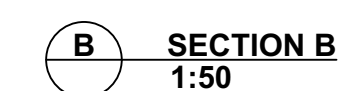
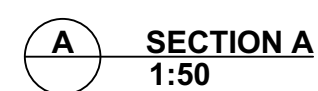
B

disc

stage

dwg no.

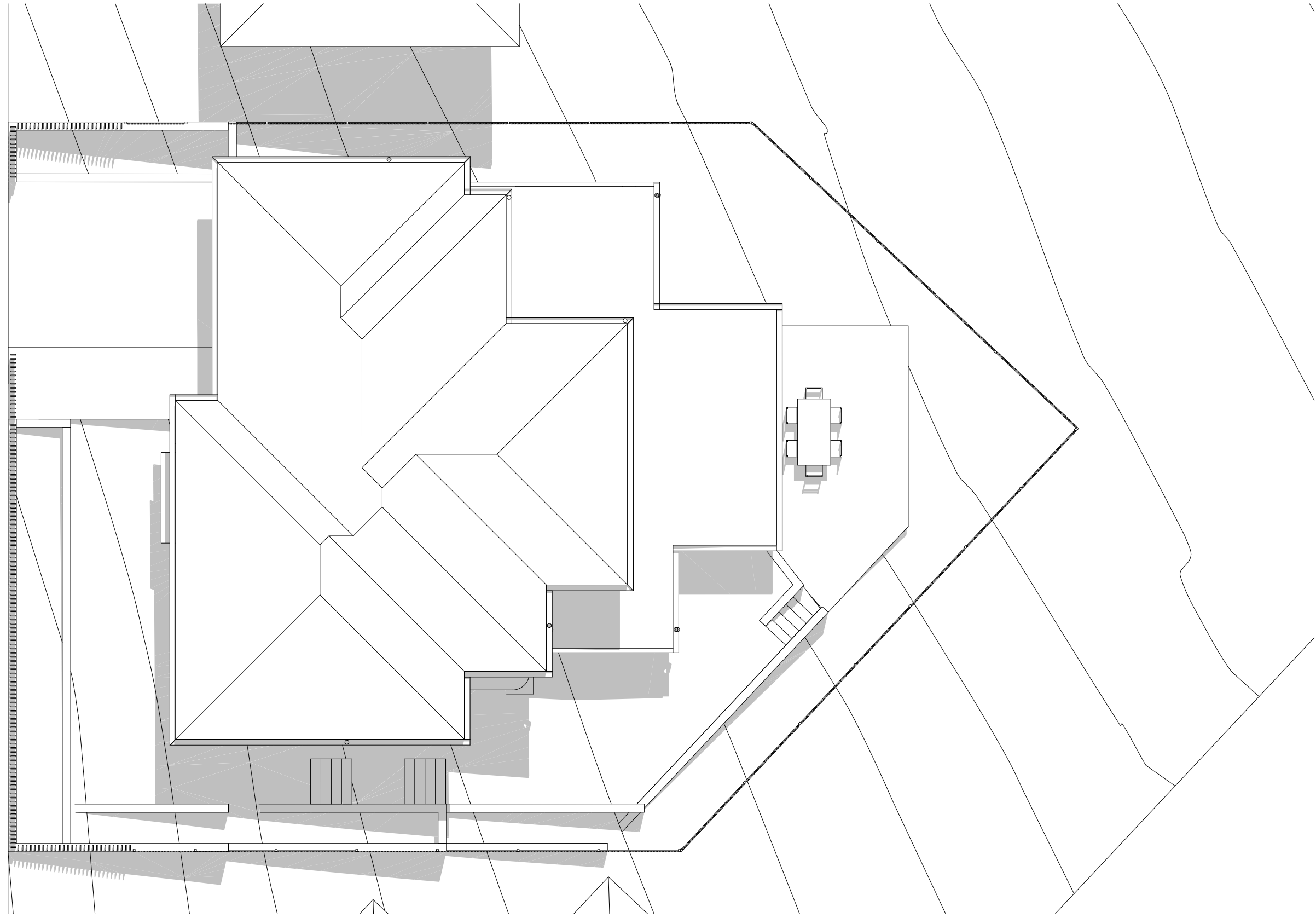
revision



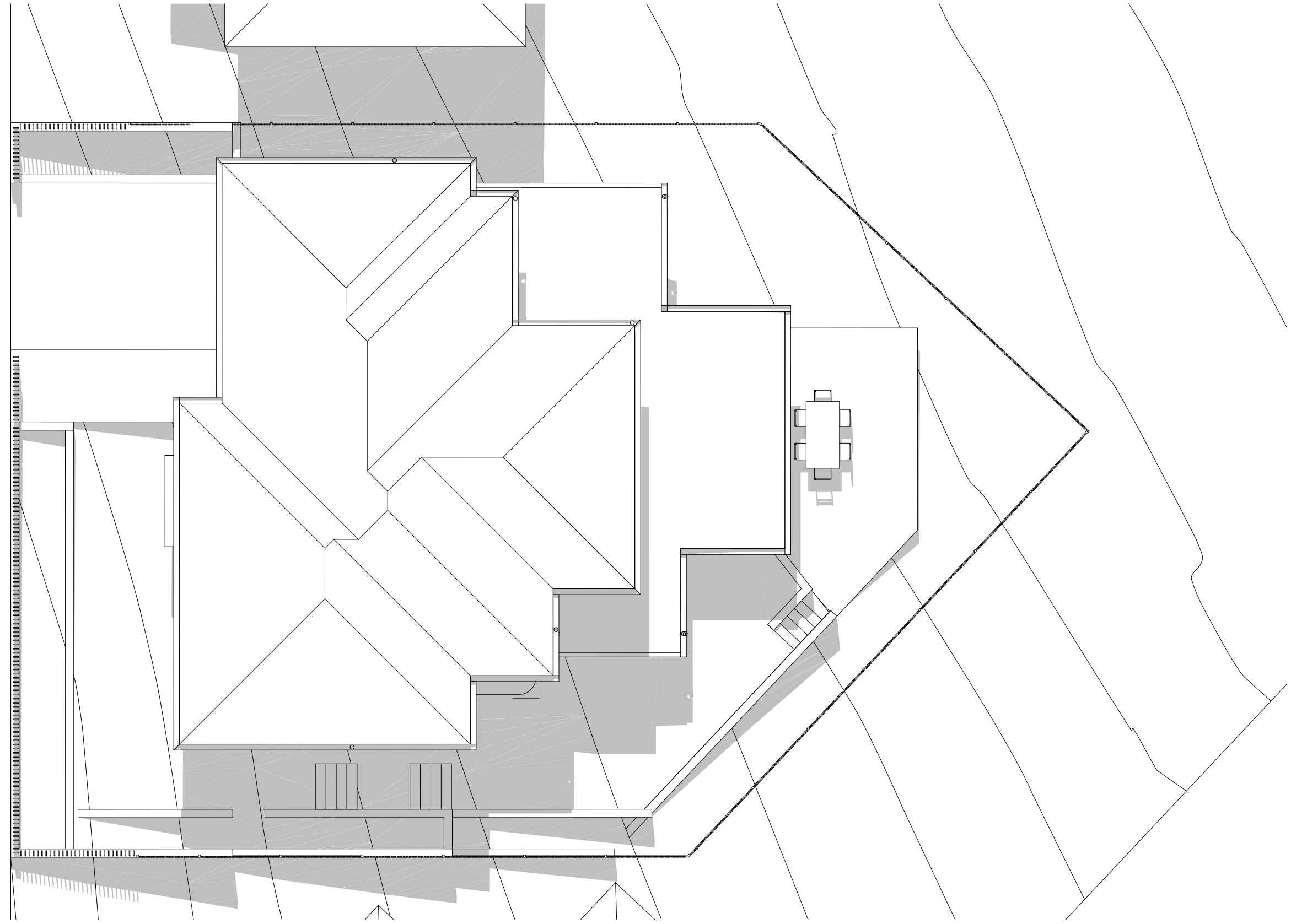
This is a detailed architectural section drawing of a building. The drawing shows the internal structure, including multiple levels, rooms, and a complex roofline with several gabled sections. A small table with four chairs is depicted in one of the rooms. The drawing is oriented vertically on the page, with the building's footprint extending from the top to the bottom. The style is a technical line drawing with some shading to indicate depth and structure.



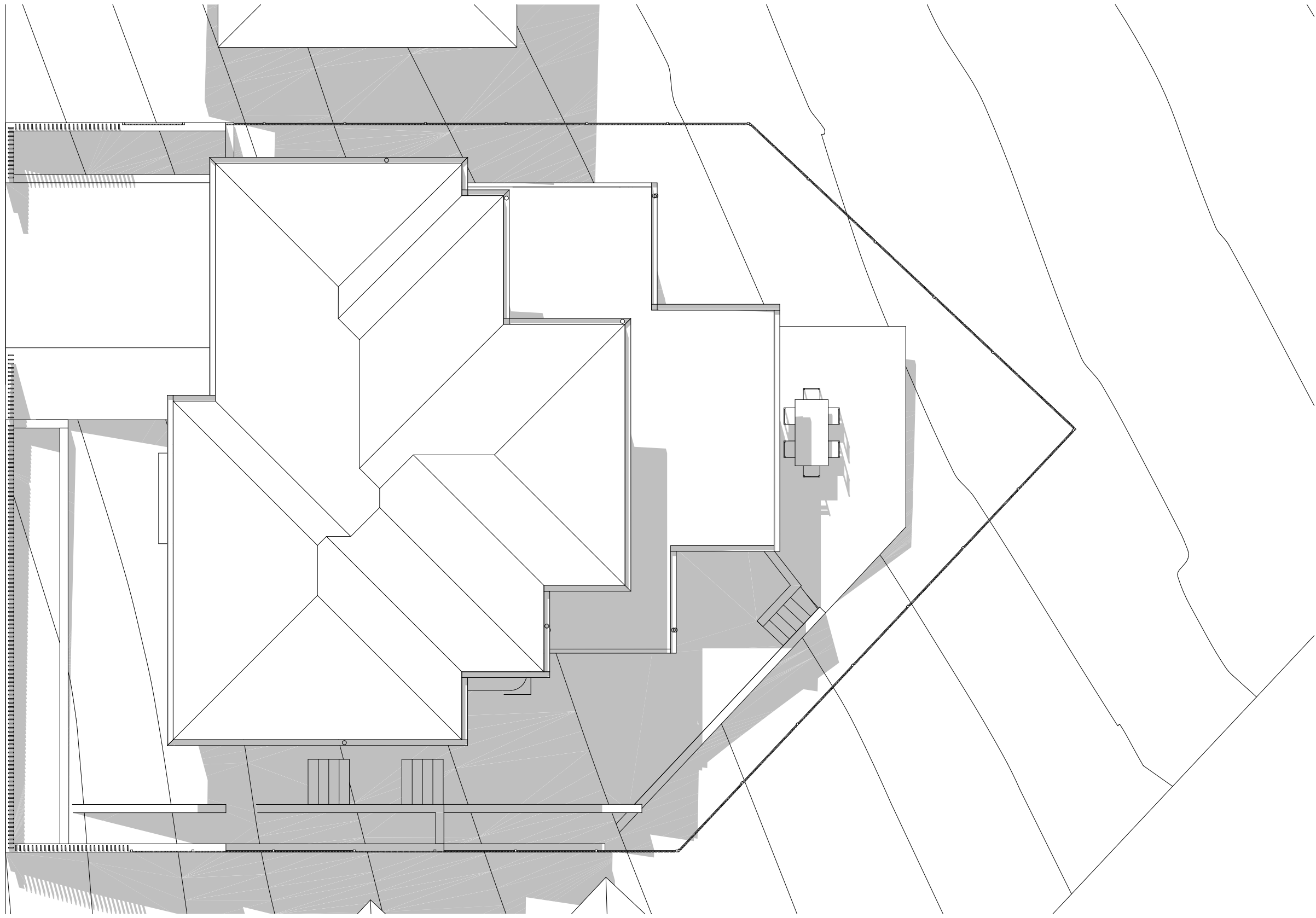
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PROJECT NO	P563	SCALE	1:100@A1
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5 SHADOW DIAGRAM JUNE 21 1PM
1:100



6 SHADOW DIAGRAM JUNE 21 2PM
1:100



7 SHADOW DIAGRAM JUNE 21 3PM
1:100

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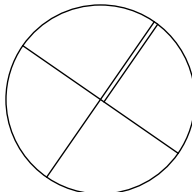
A
B
DEVELOPMENT APPLICATION
SURVEY ISSUE

DL
DL
KC/PI
GF/PI
08.11.21
11.11.21

CLIENT
SKYCORP AUSTRALIA

PROJECT
**LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD**
DRAWING
SHADOW DIAGRAM

NORTH



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:100@A1
B disc	DA stage
510 dwg no.	B revision

PROJECT INFORMATION - DEVELOPMENT APPLICATION		
SITE AREA (LOT 04) 378.1m ²	m/m ²	COMPLIANCE
PERMISSABLE GFA	N/A	Y
PROPOSED GFA	165.78m ²	
LOT WIDTH AT FRONT BUILDING LINE	17.6m	Y
LANDSCAPE		
REQUIRED LANDSCAPING AREA (45% OF SITE AREA)	170.1m ²	Y
PROPOSED LANDSCAPING TOTAL AREA	188.83m ²	
PROPOSED COMPLIANT LANDSCAPE AREA	157.28m ²	
PROPOSED NON COMPLIANT LANDSCAPE AREA	31.55m ²	
PRIVATE OPEN SPACE		
REQUIRED PRIVATE OPEN SPACE	24m ²	Y
PROPOSED PRIVATE OPEN SPACE	24.02m ²	



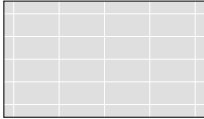
PROPOSED SITE AREA



PROPOSED GROSS FLOOR AREA



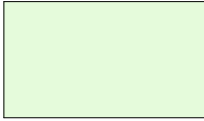
PROPOSED ARTICULATION ZONE



PROPOSED PRIVATE OPEN SPACE



PROPOSED COMPLIANT LANDSCAPE AREA



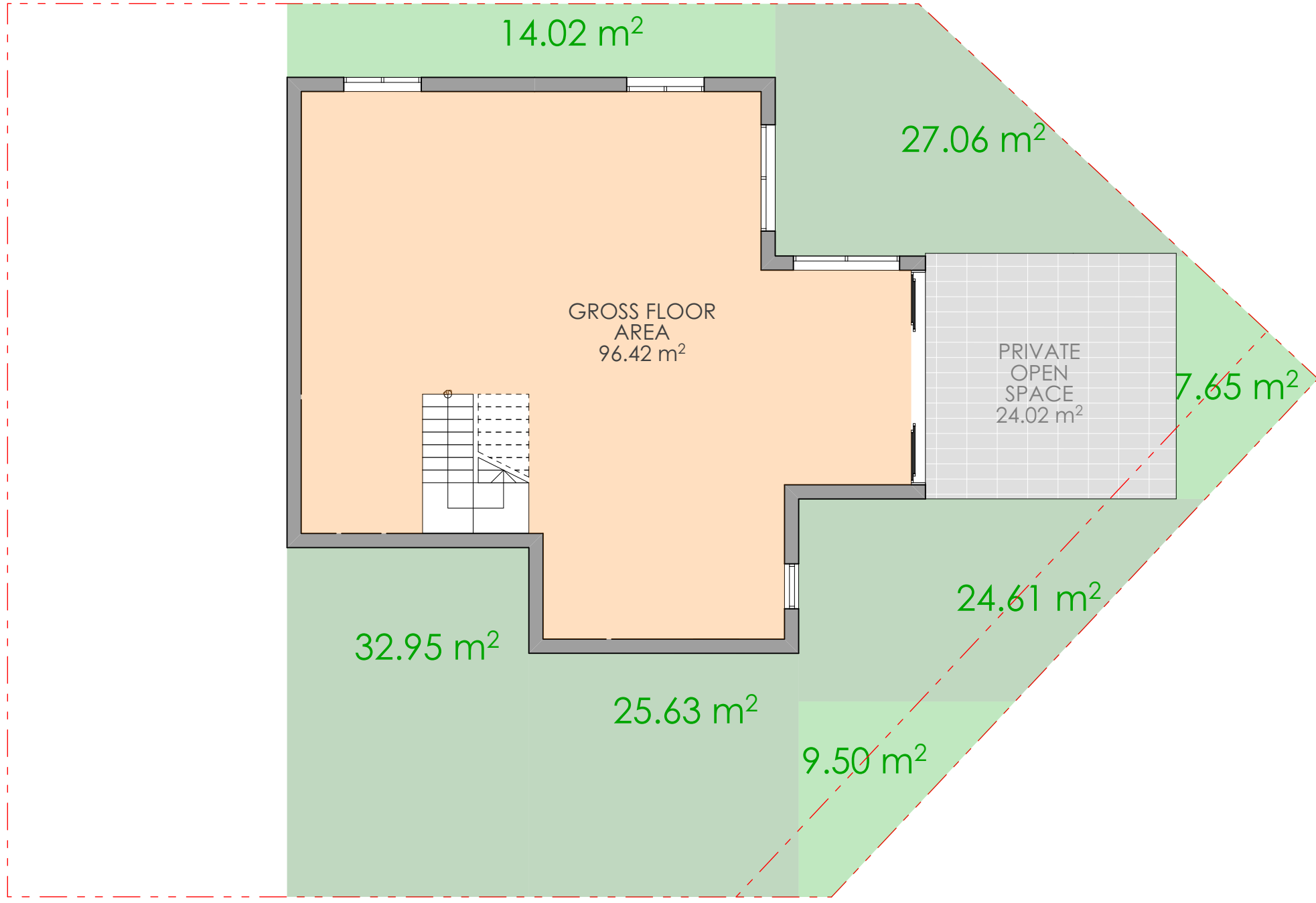
PROPOSED NON COMPLIANT LANDSCAPE AREA



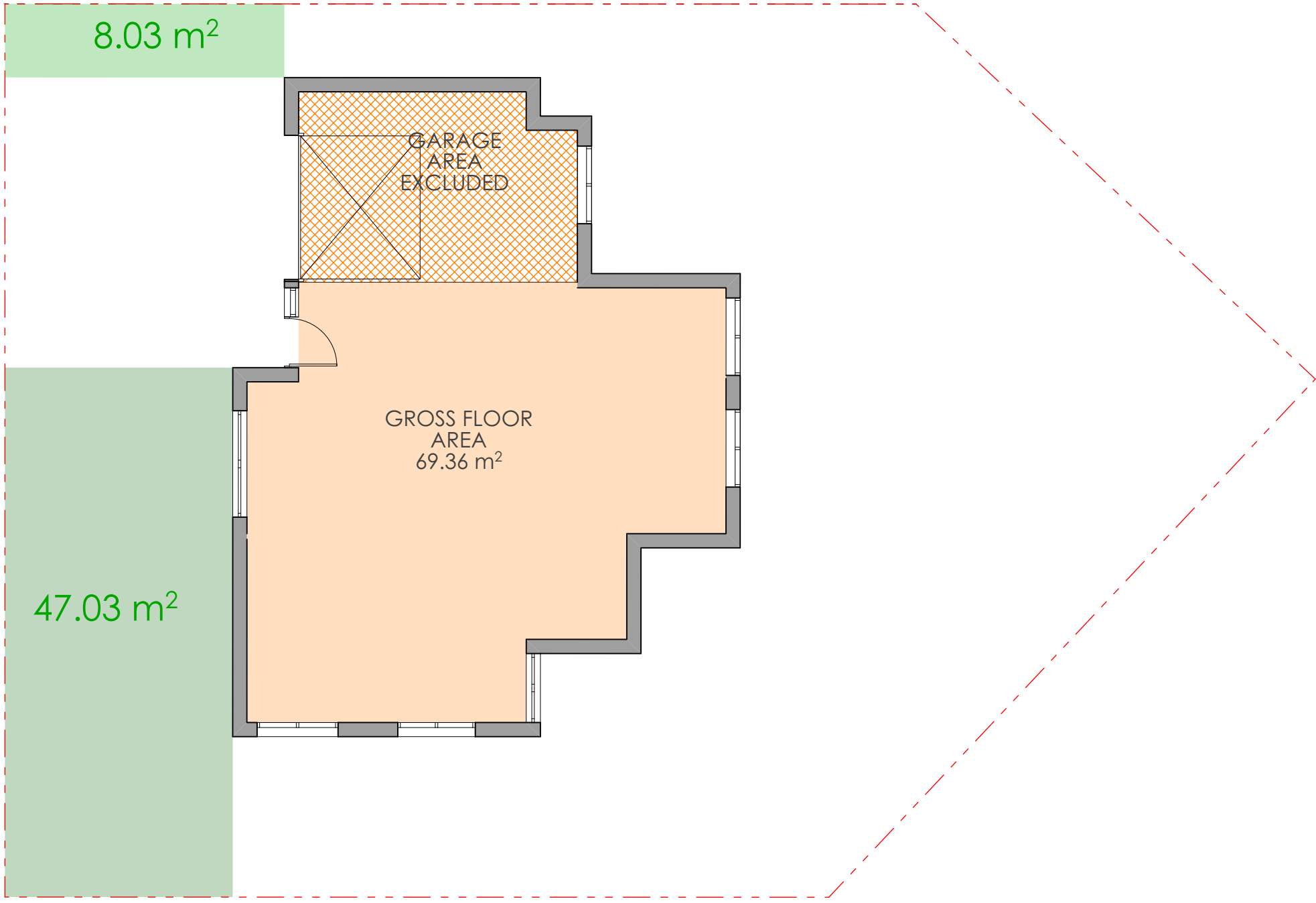
PROPOSED AREA EXCLUDED



0 SITE AREA PLAN
1:100



1 LOW GROUND FLOOR AREA PLAN
1:100



2 GROUND FLOOR AREA PLAN
1:100



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DEVELOPMENT APPLICATION
SURVEY ISSUE

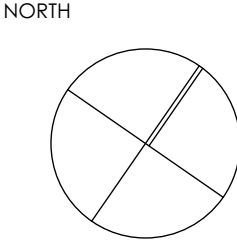
DL
DL

KC/PI
GF/PI

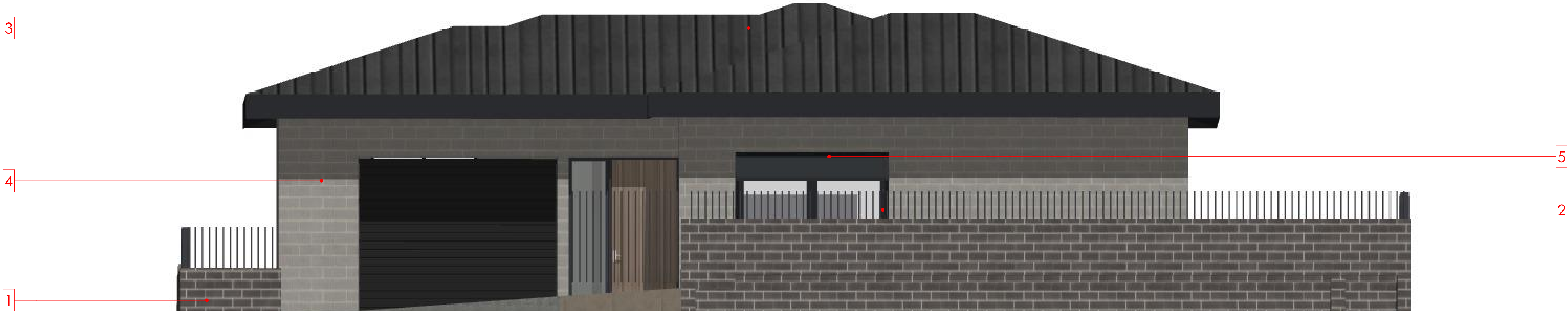
08.11.21
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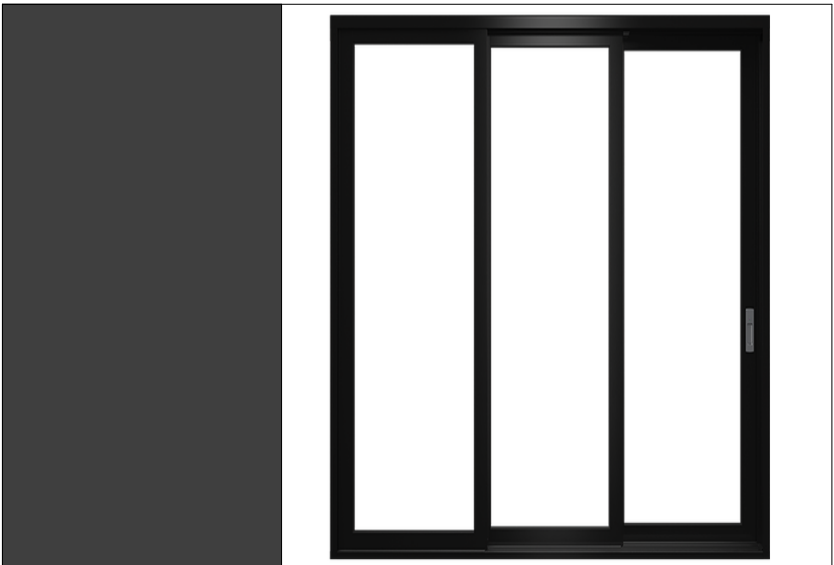
PROJECT
LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD
DRAWING
AREA CALCULATION



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:100@A1
B	DA
600	B
dsc	stage
dwg no.	revision



1. AUSTRAL BRICKS BRAHMA GRANITE



2. POWDER COATED ALUMINIUM FRAMED GLAZING



3. COLORBOND MONUMENT METAL ROOF



4. AUSTRAL BRICKS MAJESTIC GREY



5. RENDER & PAINT - DULUX WAYWARD GREY

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SKYCORP AUSTRALIA

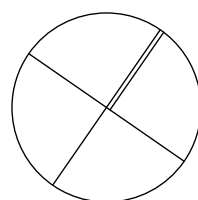
PROJECT

LOT03, 10 FERN CREEK ROAD,
WARRIEWOOD

DRAWING

EXTERNAL FINISH SCHEDULE

NORTH



DRAWN

DL, KC

PROJECT No
P563

B

dsc

DA

stage

700

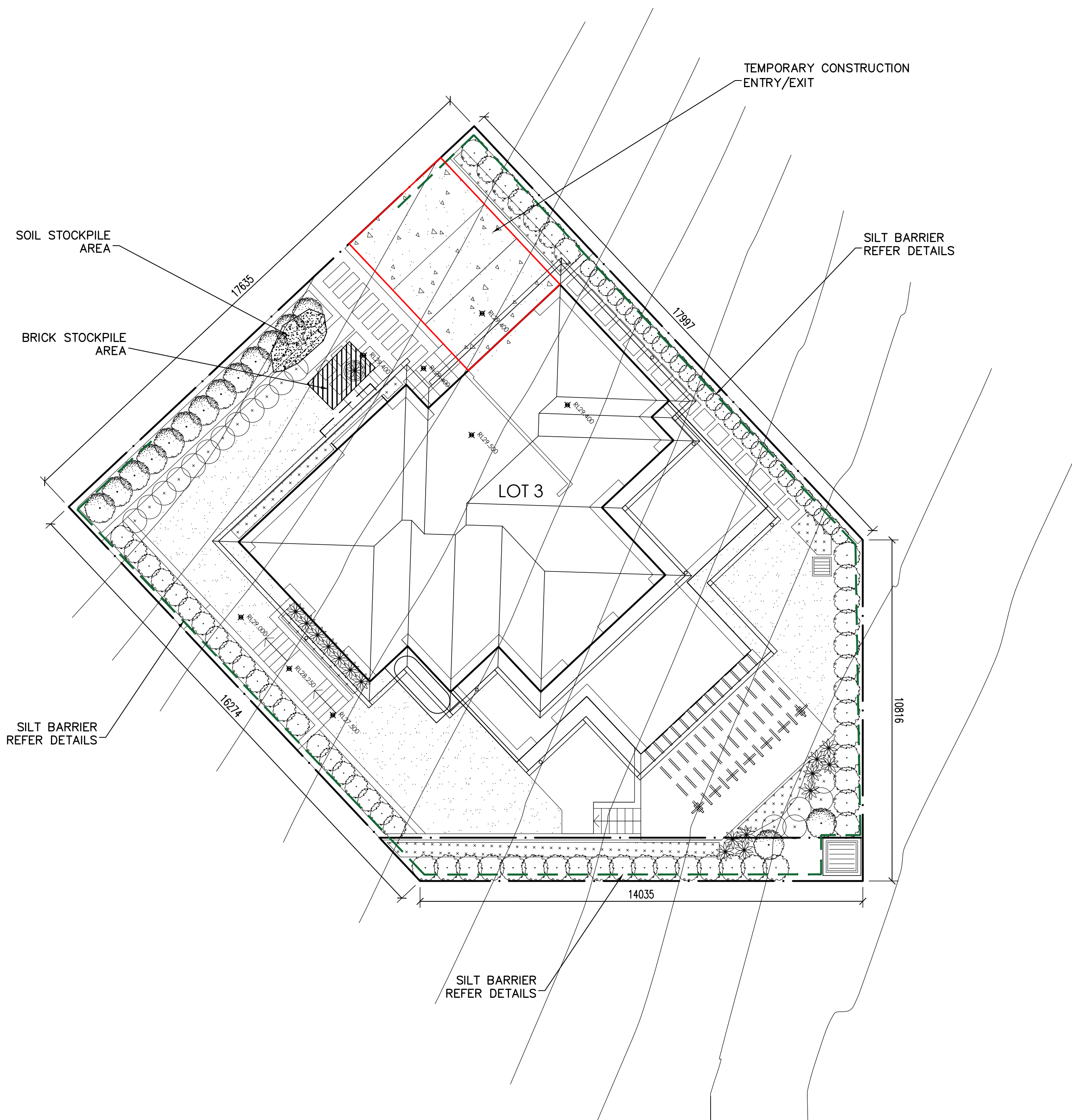
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B

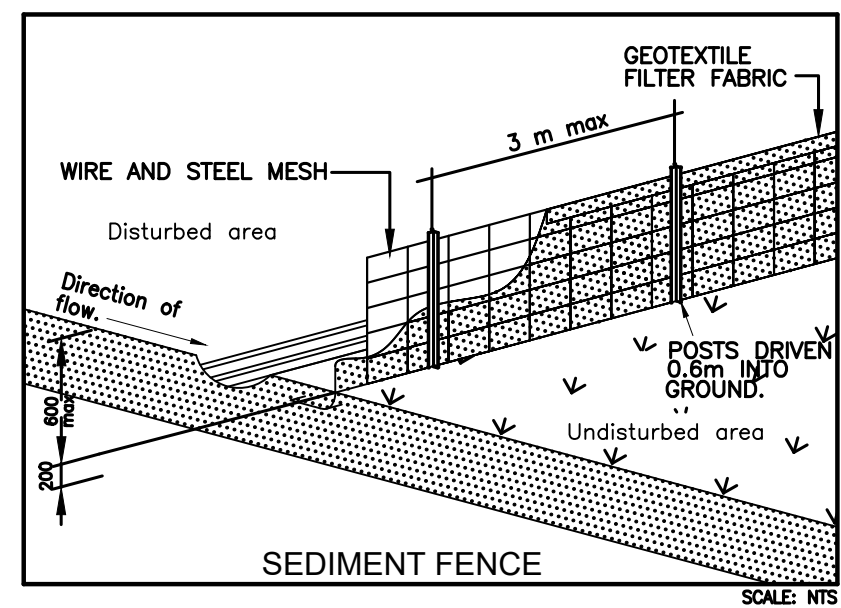
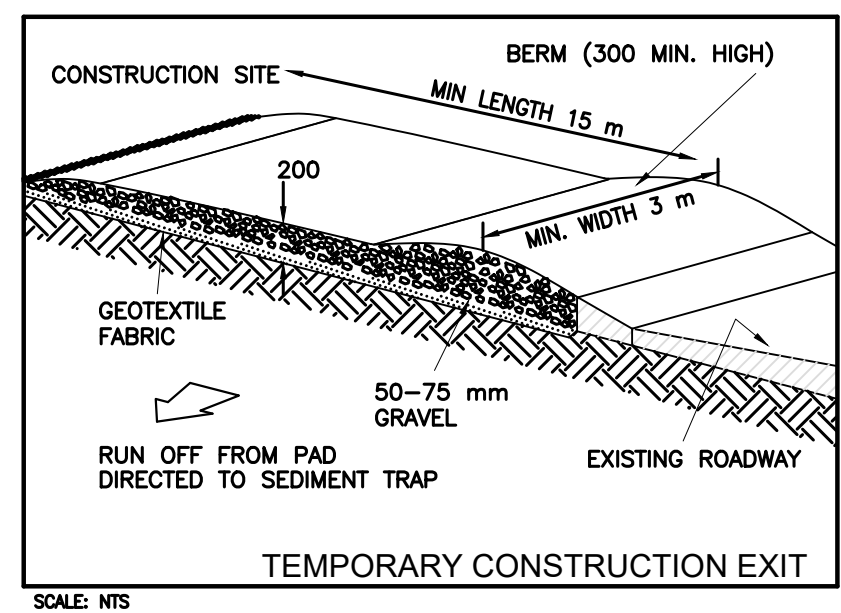
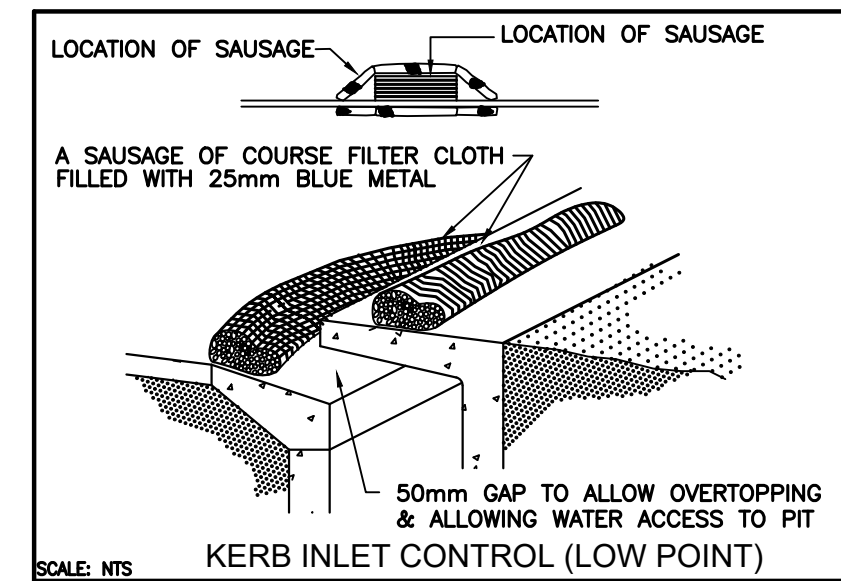
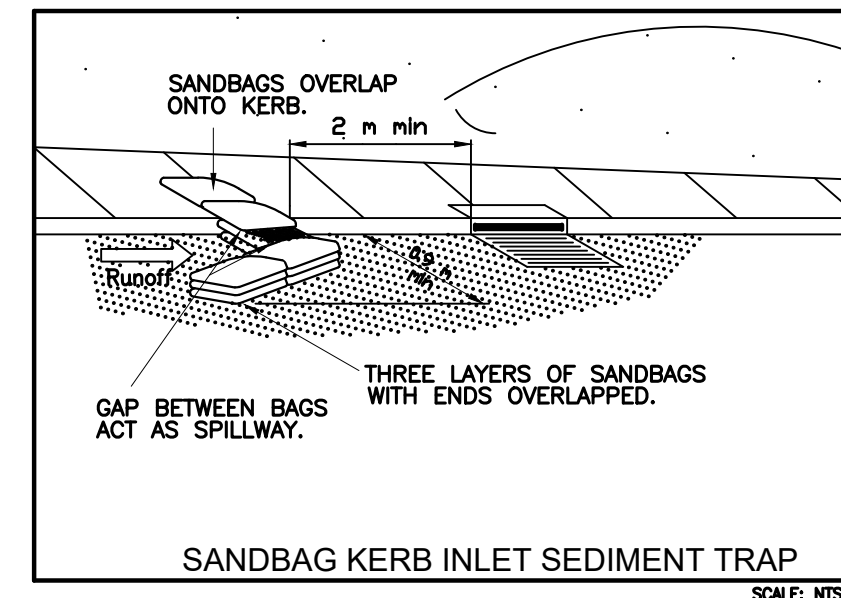
revision

CHECKED
PI / KC

SCALE
1:100, 1:500@A1



SM SOIL MANAGEMENT PLAN
SCALE : 1:100

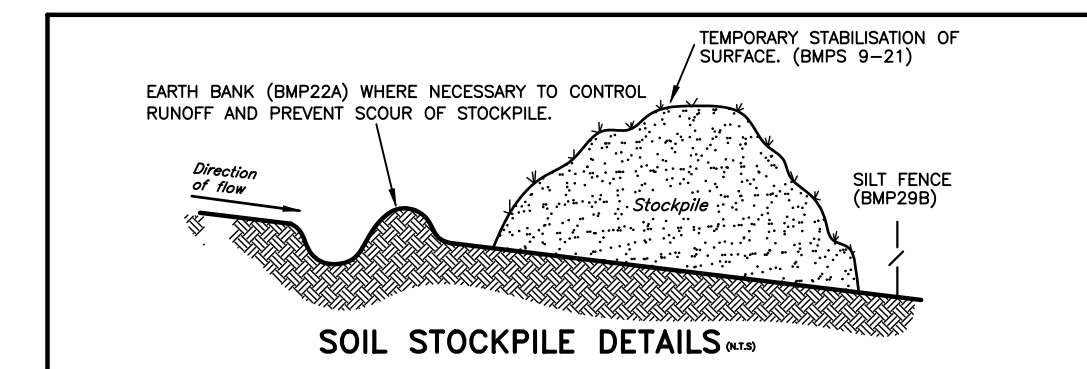


SOIL EROSION CONTROL INSTRUCTIONS

- EARTH BATTERS WILL BE CONSTRUCTED WITH AS LOW AS A GRADIENT AS PRACTICABLE BUT NO STEEPER, UNLESS OTHERWISE NTOED, THAN:
 - 2(H):1(V) WHERE SLOPE LENGTH LESS THAN 12 METRES
 - 2.5(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 & 16 METRES
 - 3(H):1(V) WHERE SLOPE LENGTH BETWEEN 16 & 20 METRES
 - 4(H):1(V) WHERE SLOPE LENGTH GREATER THAN 20 METRES
- ALL WATERWAYS, DRAINS, SPILLWAYS AND THEIR OUTLETS WILL BE CONSTRUCTED TO BE STABLE IN AT LEAST THE 1:20 YEAR ARI, TIME OF CONCENTRATION STORM EVENT.
- WATERWAYS AND OTHER AREAS SUBJECT TO CONCENTRATED FLOWS AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.05 (70% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION. FLOW VELOCITIES ARE TO BE LIMITED TO THOSE SHOWN IN TABLE 5-1 OF "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION DEPT OF HOUSING 1998 (BLUE BOOK). FOOT AND VEHICULAR TRAFFIC WILL BE PROHIBITED IN THESE AREAS.
- STOCKPILES AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.1 (60% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION.
- ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.15 (50% GROUND COVER) WITHIN 20 WORKING DAYS FROM INACTIVITY EVEN THOUGH WORKS MAY CONTINUE LATER.
- FOR AREAS OF SHEET FLOW USE THE FOLLOWING GROUND COVER PLANT SPECIES FOR TEMPORARY COVER: JAPANESE MILLET 20KG/HA AND OATS.
- PERMANENT REHABILITATION OF LANDS AFTER CONSTRUCTION WILL ACHIEVE A GROUND COVER C-FACTOR OF LESS THAN 0.1 AND LESS THAN 0.05 WITHIN 60 DAYS. NEWLY PLANTED LANDS WILL BE WATERED REGULARLY UNTIL AN EFFECTIVE COVER IS ESTABLISHED AND PLANTS ARE GROWING VIGOROUSLY. FOLLOW-UP SEED AND FERTILISER WILL BE APPLIED AS 20KG/HA.
- REVEGETATION SHOULD BE AIMED AT RE-ESTABLISHING NATURAL SPECIES. NATURAL SURFACE SOILS SHOULD BE REPLACED AND NON-PERSISTANT ANNUAL COVER CROPS SHOULD BE USED.

DUST CONTROL INSTRUCTIONS

- ALL STOCKPILED MATERIAL OR SEDIMENT COLLECTION TO BE SPRAYED BY LIGHTLY WIDE ANGLED WATER
- THIS TEMPORARY MECHANICAL METHOD CONFINES AND SETTLES THE DUST FROM THE AIR BY DUST AND WATER PARTICLE ADHESION. WATER IS SPRAYED THROUGH NOZZELS OVER THE PROBLEM AREA.



B	ISSUED FOR DA APPROVAL	16/12/2021			
A	PRELIMINARY DESIGN	21/09/2021			
REVISION	AMENDMENT	ISSUE DATE	ISSUE	ISSUED TO	ISSUE DATE



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PROJECT
PROPOSED DEVELOPMENT
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WORRIEWOOD, NSW
CLIENT
SKYCORP
ARCHITECT / PROJECT MANAGER
KAE CHAN

DRAWING TITLE SOIL MANAGEMENT PLAN			
SCALES A1 - 1:100	DESIGNED A.C.	DRAFTED M.W.	
DRAWING NO. C21187-SW02	APPROVED A.C.	REVISION B	