

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

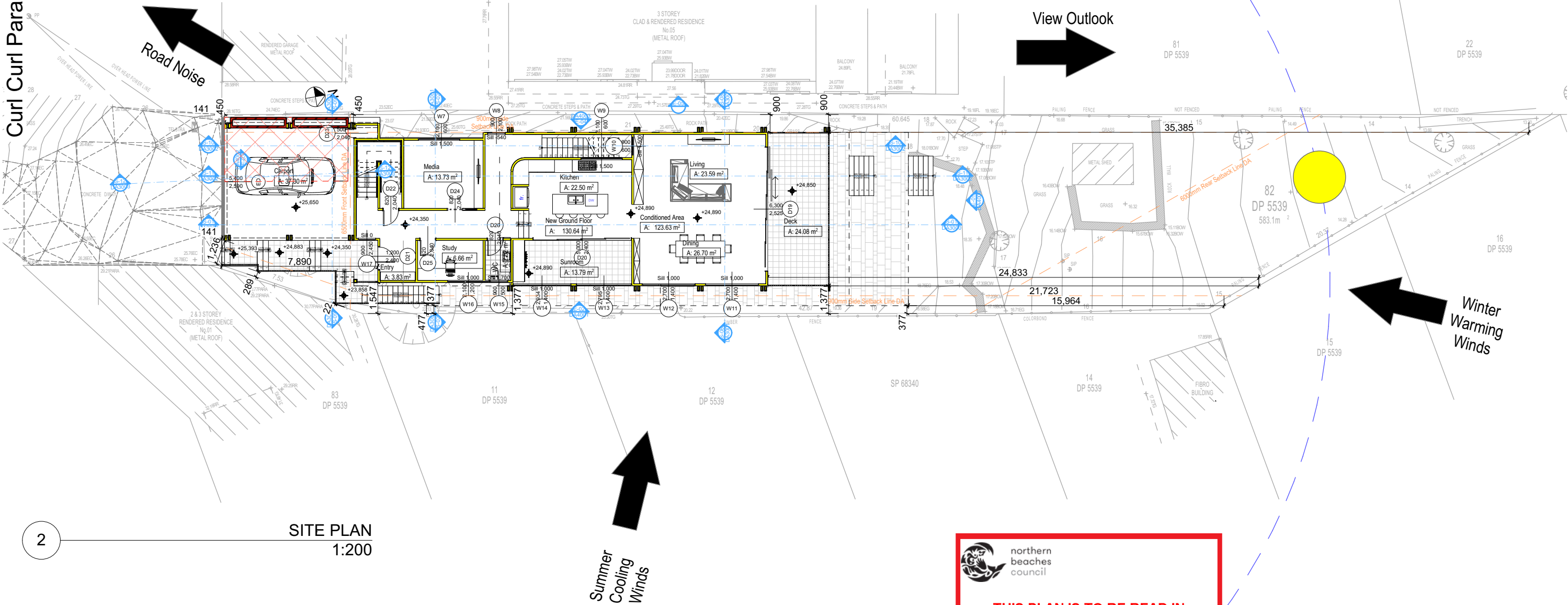
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 200 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (i.e. 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 140 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must configure the rainwater tank so that overflow is diverted to a stormwater tank.		✓	✓
Stormwater tank			
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric storage.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: 4.5 star (average zone).		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning. Energy rating: 4.5 star (average zone).		✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: 4.5 star (average zone).		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning. Energy rating: 4.5 star (average zone).		✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:		✓	✓
• at least 5 of the bedrooms / study.		✓	✓

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Demolished Item
- Denotes Existing Building Footprint To Be Demolished

Curl Curl Parade



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

3 Curl Curl Parade, Curl Curl 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
3 Curl Curl Parade, Curl Curl 2096 is not considered a heritage item.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction

Concrete & Timber Floors, Dintel & Stud Walls
Roof Sheet Metal to have R?? Insulation
Insulation to External Dintel & Stud Walls R??
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number XXX

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1755

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	1%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

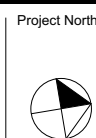


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Lot R2 D.P. 5539



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
13/04/2021
RP0220NIK
DA Rev5

Mike and Jess Nikotin
3 Curl Curl Parade, Curl Curl
2096

DRAWING TITLE :

SITE AND LOCATION
SITE PLAN

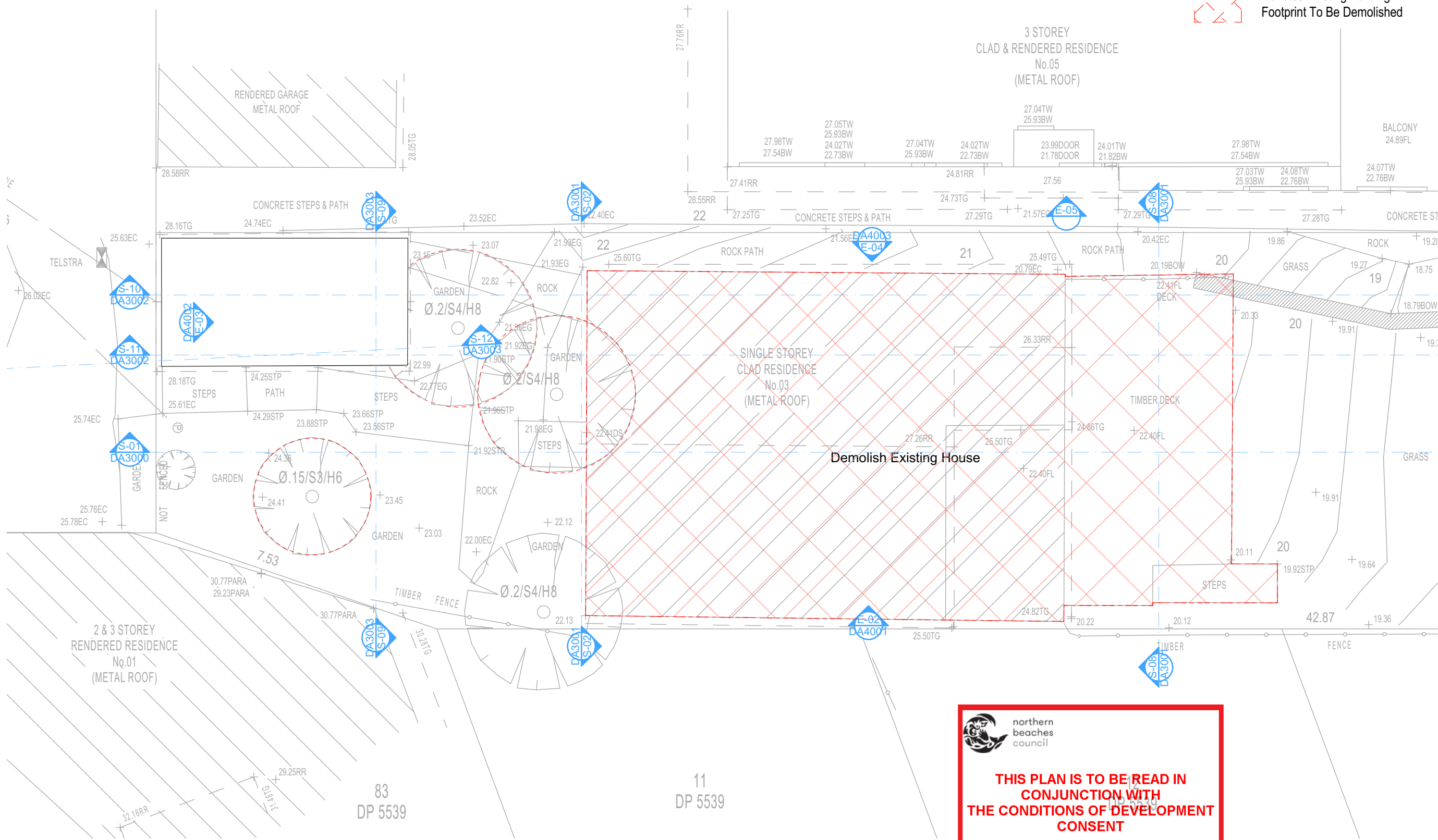
PROJECT NAME :

New Dwelling

REVISION NO.

DRAWING NO.

DA1003



Wall Legend

— Denotes Existing Wall

== Denotes Demolished Item

Denotes Existing Building Footprint To Be Demolished

Rapid Plans
Building Design and Architectural Drafting

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

3 Curt Curl Parade, Curt Curl 2096 is zoned R2-Low Density Residential

3 Curt Curl Parade, Curt Curl 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Concrete & Timber Floors, Driwall & Stud Walls

Roof Sheet Metal to have R7? Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1864

Termite Management to BCA and AS 3746

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3746

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Building Authority without the written permission of Rapid Plans or the supply of a valid Construction Certificate drawn by Rapid Plans

Basic Certificate Number XXX

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	583.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Var.
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Var.
Building envelope	5m@ 45Deg	Var.
% of landscape open space (40% min)	51%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	1m	Yes
Maximum depth of fill (m)	1.2m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 13/04/2021
Project NO.: RP02201K
Project Status DA Rev5

Client Mike and Jess Nikotin

Site: 3 Curt Curl Parade, Curt Curl 2096

DRAWING TITLE SITE AND LOCATION
Demolition Ground Floor Plan

PROJECT NAME:
New Dwelling

REVISION NO.

DRAWING NO.
DA1004

Plot Date: 13/04/2021
Sheet Size: A3

2 DEMOLITION GROUND FLOOR 1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1755

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Denotes Excavation Area

Denotes Fill Area

Approx. Excavation
Area=29m³

Approx. Fill Area=50m³

Approx. Fill
Area=21m³

EXCAVATION & FILL PLAN
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
3 Curl Curl Parade, Curl Curl 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
3 Curl Curl Parade, Curl Curl 2096 is not considered a heritage item.
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
Concrete & Timber Floors, Dintel & Stud Walls
Roof Sheet Metal to have R?? Insulation
Insulation to External Dintel & Stud Walls R??
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number XXX
All Plans to be read in conjunction with Basix Certificate.
The applicant must construct the new or altered construction (floor/s, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1755

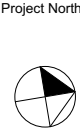
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	1%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Lot R2 D.P. 5539



Client
Site:
Sheet Size: A3

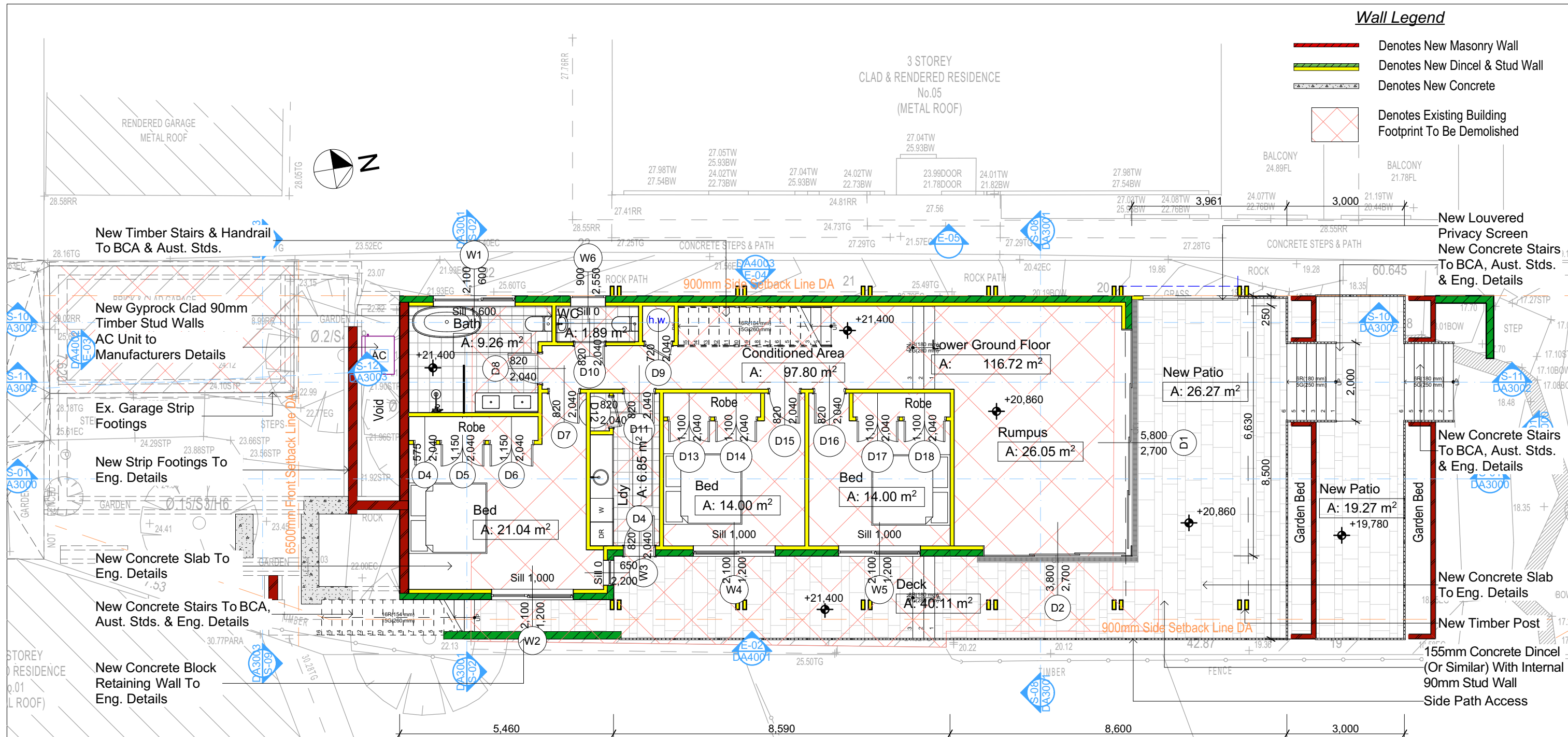
Checked
Plot Date:
Project NO.
Project Status

DRAWING TITLE :
SITE AND LOCATION
Excavation & Fill Plan
PROJECT NAME :
New Dwelling

REVISION NO.
DRAWING NO.
DA1005

Wall Legend

- Denotes New Masonry Wall
- Denotes New Dintel & Stud Wall
- Denotes New Concrete
- Denotes Existing Building Footprint To Be Demolished



1 LOWER GROUND FLOOR
1:100

Energy Commitments	
Hot water	✓
Cooling system	✓
Heating system	✓
Ventilation	✓
Artificial lighting	✓

Basis Certificate	
Basic Certificate Number XXX	
Applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:	
a) additional insulation is not required where the area of new construction is less than 2m²	
b) insulation specified is not required for parts of altered construction where insulation already exists.	
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.	

5.2
The more stars the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

63.2 MJ/m²

For more information on your dwelling's rating see: www.nathers.gov.au

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m²)	1	Yes	% of landscape open space (40% min)	1%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
3 Curl Curl Parade, Curl Curl 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basis Certificate.
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Construction
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Roof Sheet Metal to have R?? Insulation
Insulation to External Dintel & Stud Walls R??
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All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number XXX
All Plans to be read in conjunction with Basis Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North
Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

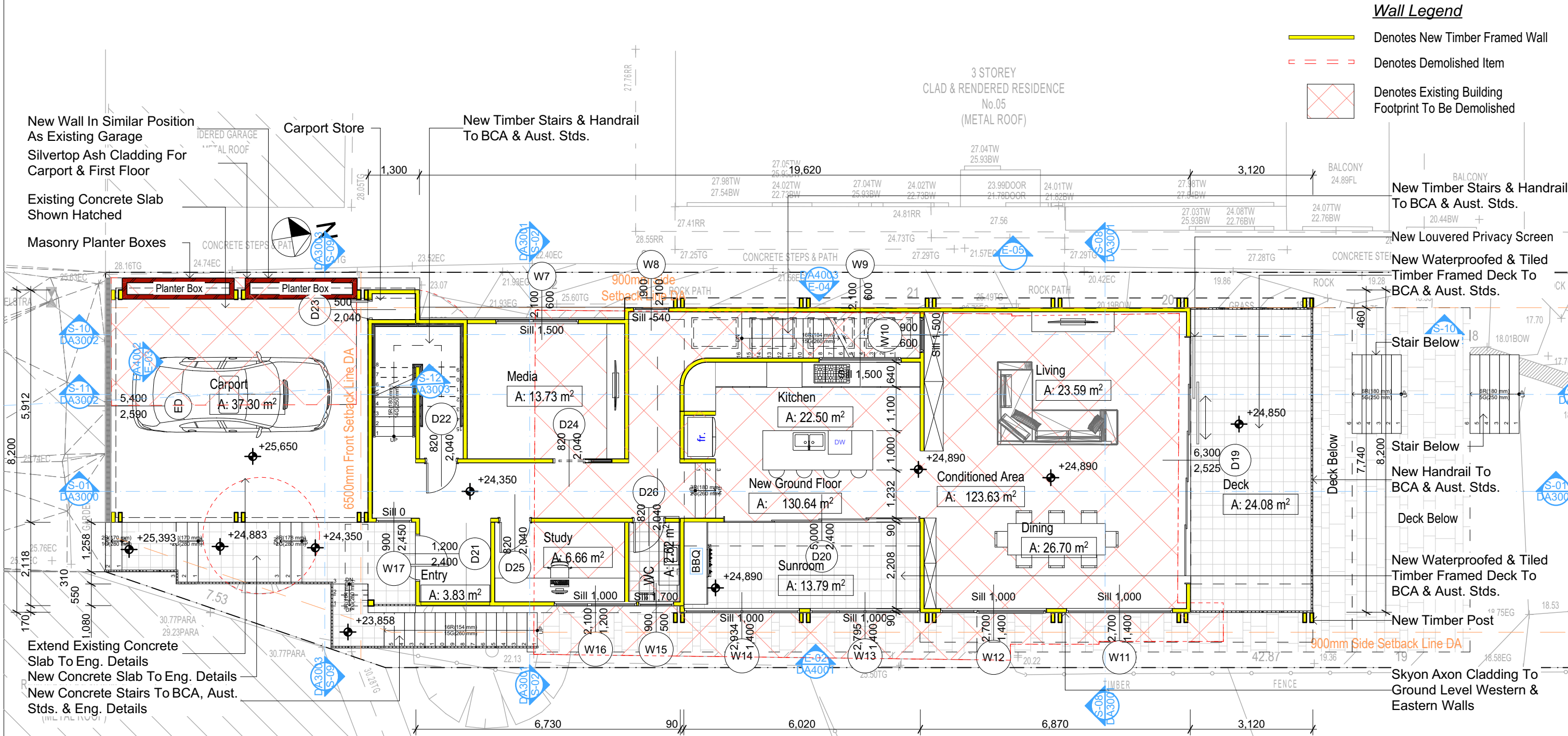
DRAWING TITLE :
**PLANS
LWR GROUND FLOOR**

PROJECT NAME :
New Dwelling

REVISION NO.
DRAWING NO.
DA2001

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Demolished Item
- Denotes Existing Building Footprint To Be Demolished



GROUND FLOOR
1:100

Energy Commitments	
Hot water	
The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage	
✓	
Cooling system	
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1-phase	
✓	
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase	
✓	
The cooling system must provide for daylight zoning between living areas and bedrooms.	
✓	
Heating system	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1-phase	
✓	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase	
✓	
The heating system must provide for daylight zoning between living areas and bedrooms.	
✓	
Ventilation	
The applicant must install the following exhaust system in the development:	
✓	
At least 1 Bathroom: individual fan, ducted to outside or roof. Operation control: manual switch on/off	
✓	
Kitchen: individual fan, ducted to outside or roof. Operation control: manual switch on/off	
✓	
Laundry: individual fan, ducted to outside or roof. Operation control: manual switch on/off	
✓	
Artificial lighting	
The applicant must ensure that the 'minimum type of artificial lighting' is fluorescent or LED lighting in each of the following rooms, and where the word 'indicated' appears, the fittings for those lights must only be capable of accepting fluorescent or LED lighting devices (LED lamps)	
✓	
At least 5 of the bedrooms 1 study	
✓	

BASIC PROJECT COMMITMENTS	
Project Name	3 Curl Curl Parade, Curl Curl 2096
Project Address	3 Curl Curl Parade, Curl Curl 2096
Project Status	DA Application
Project Date	13/04/2021
Project No.	RP0220NIK
Project Status	DA Rev5
Client Name	Mike and Jess Nikotin
Client Address	3 Curl Curl Parade, Curl Curl 2096
Client Phone	
Client Email	
Client Signature	
Client Stamp	
Client Date	
Client Signature	
Client Stamp	
Client Date	

5.2
The more stars the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

63.2 MJ/m²

For more information on your dwelling's rating see: www.nathers.gov.au

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m²)	1	Yes	% of landscape open space (40% min)	51%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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New Works to be constructed shown in Shaded/Blue
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Roof Sheet Metal to have R?? Insulation
Insulation to External Dintel & Stud Walls R??
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number XXX
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



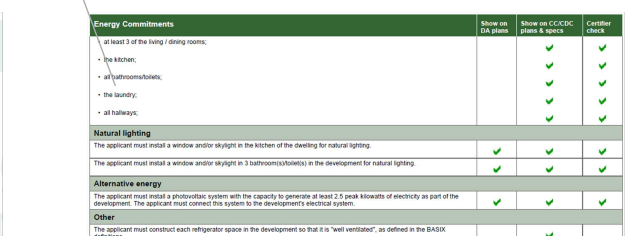
Checked Plot Date: 13/04/2021
Project NO: RP0220NIK
Project Status: DA Rev5
Client Site: Mike and Jess Nikotin
3 Curl Curl Parade, Curl Curl 2096
Sheet Size: A3

DRAWING TITLE :
**PLANS
GROUND FLOOR**
PROJECT NAME :
New Dwelling

REVISION NO.
DRAWING NO.
DA2002

Denotes Existing Building
Footprint To Be Demolished

Wet Areas To Be Waterproofed To
BCA & Aust. Stds.
New Skylight To
Manufacturers Details



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	1%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Basix
Basix Certificate Number XXX

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

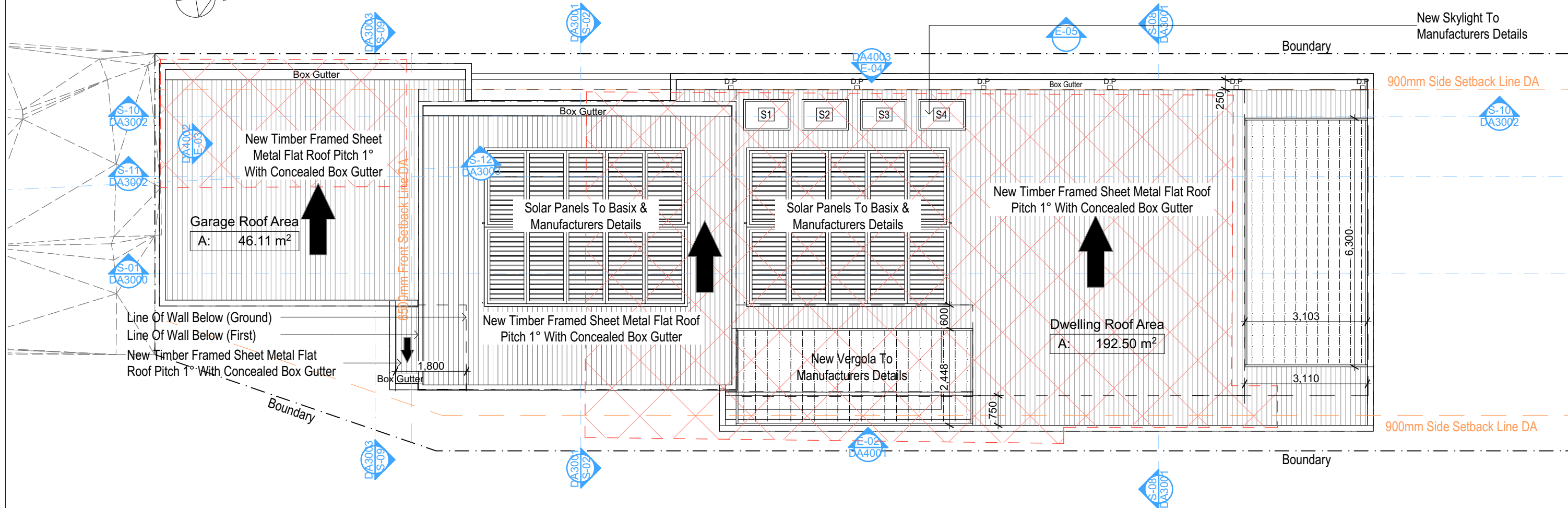
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

DRAWING NO.

DA2003



Denotes Existing Building Footprint To Be Demolished



4

Roof Plan
1:100

Thermal Comfort Commitments	Show on DA plans	Show on CCDC plans & specs	Compliance
Simulation Method The applicant must show the certificate referred to under 'Assessor Details' on the front page of the BASIX certificate (the 'Assessor Certificate') in the development application and construction certificate application for the proposed development or, if the applicant is applying for a complying development certificate for the proposed development, in that application. The applicant must also show the details of the proposed development on the Assessor Certificate in accordance with the details in the BASIX certificate. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in the BASIX certificate, including the cooling and heating loads shown on the front page of the certificate. The applicant must show on the plans accompanying the development application for the proposed development, or within which the Assessor Certificate is required to be shown on those plans, those plans must be a copy of the development from the Assessor Certificate or a copy of the development from the Assessor Certificate, and all aspects of the proposed development which are used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.			
Floor and wall construction Floor: concrete slab on ground Floor: suspended floor/ceiling system			1102 square metres 10.5 square metres

NOTES

3 Curl Curl Parade, Curl Curl 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
3 Curl Curl Parade, Curl Curl 2096 is not considered a heritage item.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

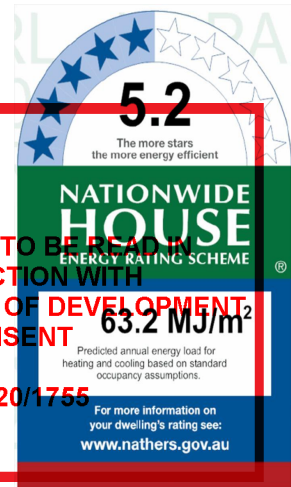
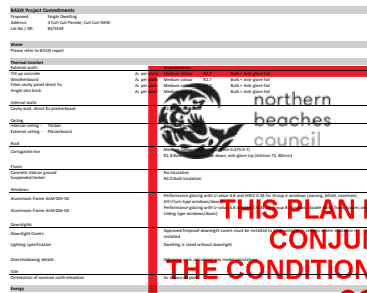
Construction

Concrete & Timber Floors, Dintel & Stud Walls
Roof Sheet Metal to have R?? Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number XXX
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor/s, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Compliance
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage. Hot water system The applicant must install the following hot water system, or a system with a higher energy rating, in at least 1 living area, 1-phase, electric storage, energy rating: 4.5 star (average zone). The applicant must install the following hot water system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase, electric storage, energy rating: 4.5 star (average zone). The cooling system must provide for daylight zoning between living areas and bedrooms.			
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1-phase, electric storage, energy rating: 4.5 star (average zone). The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase, electric storage, energy rating: 4.5 star (average zone). The cooling system must provide for daylight zoning between living areas and bedrooms.			
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1-phase, electric storage, energy rating: 4.5 star (average zone). The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase, electric storage, energy rating: 4.5 star (average zone). The heating system must provide for daylight zoning between living areas and bedrooms.			
Ventilation The applicant must install the following exhaust system in the development: At least 1 Bathroom: individual fan, ducted to outside or roof. Operation control: manual switch on/off. Kitchen: individual fan, ducted to outside or roof. Operation control: manual switch on/off. Laundry: individual fan, ducted to outside or roof. Operation control: manual switch on/off.			
Artificial lighting The applicant must ensure that the 'minimum type of artificial lighting' is fluorescent or LED lighting in each of the following rooms, and where the word 'dedicated' appears, the fittings for those lights must only be capable of accepting fluorescent or LED lighting (as per the table below): • at least 5 of the bedrooms 1 study.			



Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Compliance
Natural lighting The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 3 bedrooms/rooms in the development for natural lighting.			
Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 2.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.			
Other The applicant must construct each refrigerator space in the development so that it is 'well ventilated', as defined in the BASIX certificate.			

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m²)	1	Yes	% of landscape open space (40% min)	1%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.



Lot 82 D.P. 5539

Project North



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
13/04/2021
RP0220NIK
DA Rev5

Mike and Jess Nikotin
3 Curl Curl Parade, Curl Curl
2096

DRAWING TITLE :

PROJECT NAME :

PLANS
ROOF

New Dwelling

REVISION NO.

DRAWING NO.

DA2004



Energy Commitments	Show on OA plan	Show on CCCC plan & specs	
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage.			✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: 4.5 star (average panel).			✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning. Energy rating: 4.5 star (average panel).			✓
The cooling system must provide for daylight zoning between living areas and bedrooms.			✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: 4.5 star (average panel).			✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning. Energy rating: 4.5 star (average panel).			✓
The heating system must provide for daylight zoning between living areas and bedrooms.			✓
Ventilation			
The applicant must install the following exhaust system in the development:			
At least 1 Bathroom: individual fan, ducted to balcony or roof. Operation: control manual switch outside			✓
Kitchen: individual fan, ducted to balcony or roof. Operation: control manual switch outside			✓
Laundry: individual fan, ducted to balcony or roof. Operation: control manual switch outside			✓
Artificial lighting			
The applicant must ensure that the 'primary' type of artificial lighting is fluorescent or light emitting diode (LED) lighting in each of the following locations, and where the 'secondary' appliances, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedroom's 1 study			✓

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	51%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Basix
Basix Certificate Number XXXX

All Plans must be read in conjunction with Basix Certificate


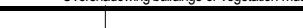


The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

 <p>Rapid Plans Building Design and Architectural Drafting</p>	<p>Rapid Plans www.rapidplans.com.au PO Box 6193, Francis Forest DC NSW 2096 Fax: (02) 9305-8866 Mobile: 0414-945-004 Email: info@rapidplans.com.au</p>	<p>Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request. The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p>	 <p>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</p>	 <p>ACCREDITED BUILDING DESIGNER</p>	<p>Lot 82 D.P. 5539</p> <p>Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans</p>	<p>Project North</p> 	<p>Checked Plot Date: Project NO. Project Status</p> <p>GBJ 13/04/2021 RP0220NIK DA Rev5</p>	<p>Client Site: Sheet Size: A3</p> <p>Mike and Jess Nikotin 3 Curl Curl Parade, Curl Curl 2096</p>	<p>DRAWING TITLE :</p> <p>SECTIONS SECTION 1</p>	<p>PROJECT NAME :</p> <p>New Dwelling</p>	<p>REVISION NO.</p> <p>DRAWING NO.</p> <p>DA3000</p>
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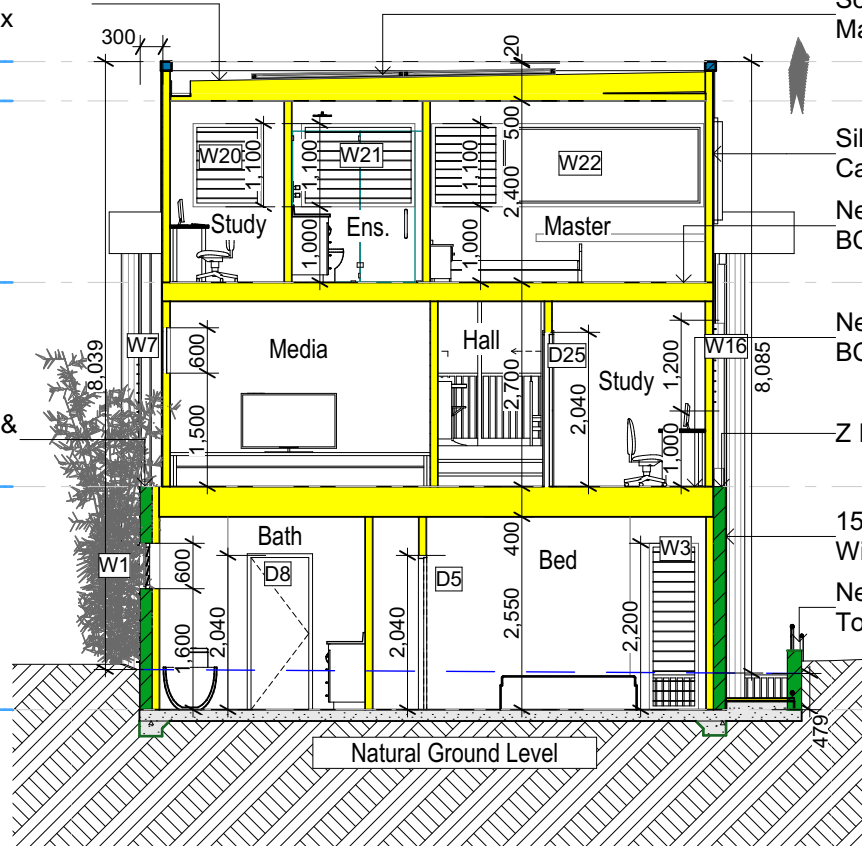
New Timber Framed Sheet
Metal Flat Roof Pitch 1°
With Concealed Box
Gutter

+29,970
5 ROOF
+29,450
4 FCL

+27,050
3 FIRST FLOOR

Z Flashing To BCA &
Aust. Stds.
+24,350
2 GND FLOOR

+21,400
LWR GND FLOOR



SECTION 2
1:100

Solar Panels To Basix &
Manufacturers Details

+29,970
5 ROOF
+29,450
4 FCL

Silvertop Ash Cladding For
Carport & First Floor

New Timber Floor Frame To
BCA & Aust. Stds.

+27,050
3 FIRST FLOOR

New Timber Floor Frame To
BCA & Aust. Stds.

Z Flashing To BCA & Aust. Stds.

+24,350
2 GND FLOOR

155mm Concrete Dintel (Or Similar)
With Internal 90mm Stud Wall

New Concrete Block Retaining Wall
To Eng. Details

+21,400
1 LWR GND FLOOR

Natural Ground Level

+29,970
5 ROOF
+29,450
4 FCL

Silvertop Ash Cladding For
Carport & First Floor

+27,050
3 FIRST FLOOR

Skyon Axon Cladding To Ground
Level Western & Eastern Walls

+24,350
2 GND FLOOR

New Concrete Stairs To BCA,
Aust. Stds. & Eng. Details

New Concrete Block
Retaining Wall To Eng. Details

New Handrail To BCA & Aust.
Stds.

+21,400
1 LWR GND FLOOR

New Concrete Slab To
Eng. Details

Natural Ground Level

New Timber Framed Sheet
Metal Flat Roof Pitch 1°
With Concealed Box Gutter

+29,970
5 ROOF
+29,450
4 FCL

New Timber Framed Sheet
Metal Flat Roof Pitch 1°
With Concealed Box Gutter

+27,050
3 FIRST FLOOR

New Timber Floor Frame To
BCA & Aust. Stds.

+24,890
UPPER GND FLOOR
+24,350
2 GND FLOOR

155mm Concrete Dintel (Or
Similar) With Internal 90mm
Stud Wall

New Timber Stairs & Handrail
To BCA & Aust. Stds.

+21,400
1 LWR GND FLOOR

New Timber Post

New Strip Footings To Eng.
Details

Natural Ground Level

S-02

S-08

SECTION 4
1:100

Wall Legend

- Denotes New Timber Framed Wall/Floor/Roof
- Denotes New Masonry Wall
- Denotes New Concrete Dintel Wall
- Denotes New Concrete

NOTES

3 Curl Curl Parade, Curl Curl 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
3 Curl Curl Parade, Curl Curl 2096 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

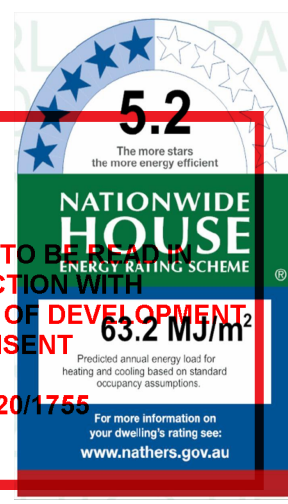
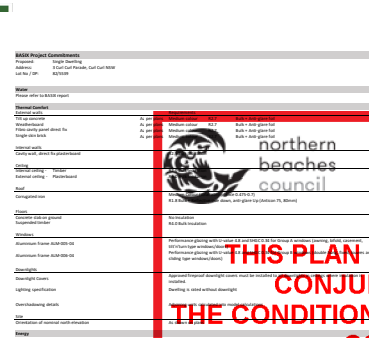
Construction

Concrete & Timber Floors, Dintel & Stud Walls
Roof Sheet Metal to have R?? Insulation
Insulation to External Dintel & Stud Walls R??
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number XXX
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Energy Commitments	Show on DA plan	Show on CC/DC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage			
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1-phase air conditioning, Energy rating: 4.5 star (average zone)			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase air conditioning, Energy rating: 4.5 star (average zone)			
The cooling system must provide for daylight zoning between living areas and bedrooms.			
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1-phase air conditioning, Energy rating: 4.5 star (average zone)			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase air conditioning, Energy rating: 4.5 star (average zone)			
The heating system must provide for daylight zoning between living areas and bedrooms.			
Ventilation			
The applicant must install the following exhaust system in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off			
Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off			
Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off			
Artificial lighting			
The applicant must ensure that the 'minimum type of artificial lighting' is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word 'dedicated' appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
at least 5 of the bedrooms 1 study			



Energy Commitments	Show on DA plan	Show on CC/DC plans & specs	Certifier check
at least 3 of the living / dining rooms,			
the kitchen,			
all bathroom/s, and,			
the laundry,			
all hallway/s,			
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			
The applicant must install a window and/or skylight in 3 bathroom/s/kitchen/s in the development for natural lighting.			
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 2.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.			
Other			
The applicant must construct each refrigerator space in the development so that it is 'well ventilated', as defined in the BASIX guidelines.			

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	1%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION
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NOT FOR CONSTRUCTION



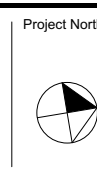
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

DRAWING TITLE :
SECTIONS
SECTION 2
PROJECT NAME :
New Dwelling

REVISION NO.
DRAWING NO.
DA3001

Site Information	Prop.	Comp.
Site Area	583.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Var.
Rear Setback (Min.)	6.0m	Yes
Min. side body setback (Min.)	0.9m	Var.
Building envelope	5m@ 45Deg	Var.
% of landscape open space (40% min)	51%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	1m	Yes
Maximum depth of fill (m)	1.2m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 13/04/2021
Project NO.: RP02201K
Project Status: DA Rev5

Client: Mike and Jess Nikotin

Site: 3 Curl Curl Parade, Curl Curl 2096

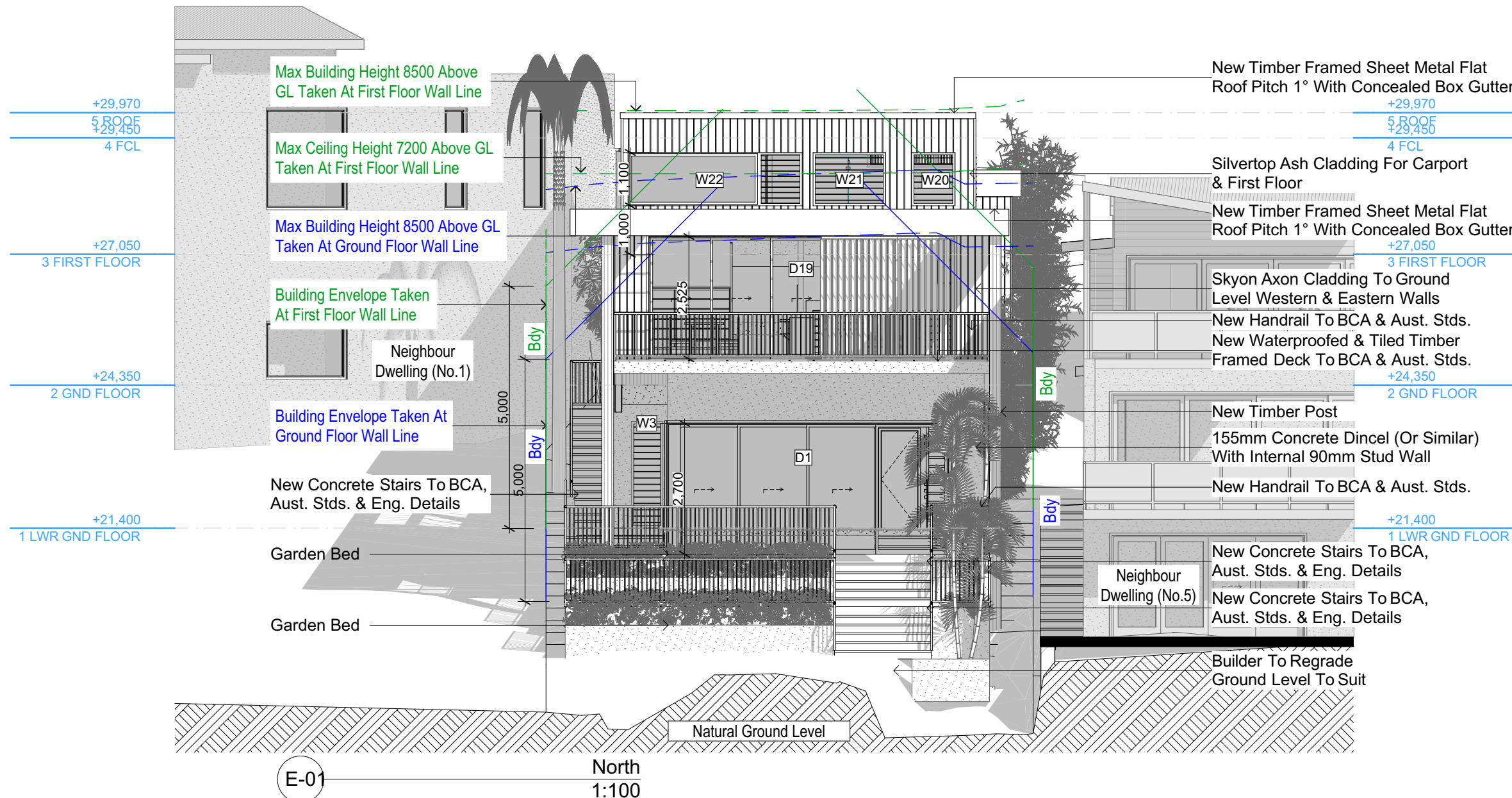
DRAWING TITLE: ELEVATIONS
ELEVATIONS 1

PROJECT NAME: New Dwelling

REVISION NO.

DRAWING NO. DA4000

Plot Date: 13/04/2021
Sheet Size: A3



Energy Commitments	Show on DA plans	Show on CC/DC plans & specs	Customer check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage. The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage. The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage.			
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The cooling system must provide for daylight zoning between living areas and bedrooms.			
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The heating system must provide for daylight zoning between living areas and bedrooms.			
Ventilation The applicant must install the following ventilation system in the development, or a system with a higher energy rating, in at least 1 living area, 1 phase mechanical ventilation. Energy rating 4.5 star (coverage zone). The applicant must install the following ventilation system in the development, or a system with a higher energy rating, in at least 1 bedroom, 1 phase mechanical ventilation. Energy rating 4.5 star (coverage zone). The ventilation system must provide for daylight zoning between living areas and bedrooms.			
Artificial lighting The applicant must install the following artificial lighting system in the development, or a system with a higher energy rating, in at least 1 living area, 1 phase artificial lighting. Energy rating 4.5 star (coverage zone). The applicant must install the following artificial lighting system in the development, or a system with a higher energy rating, in at least 1 bedroom, 1 phase artificial lighting. Energy rating 4.5 star (coverage zone). The artificial lighting system must provide for daylight zoning between living areas and bedrooms.			

Energy Commitments	Show on DA plans	Show on CC/DC plans & specs	Customer check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage. The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage. The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage.			
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The cooling system must provide for daylight zoning between living areas and bedrooms.			
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The heating system must provide for daylight zoning between living areas and bedrooms.			
Ventilation The applicant must install the following ventilation system in the development, or a system with a higher energy rating, in at least 1 living area, 1 phase mechanical ventilation. Energy rating 4.5 star (coverage zone). The applicant must install the following ventilation system in the development, or a system with a higher energy rating, in at least 1 bedroom, 1 phase mechanical ventilation. Energy rating 4.5 star (coverage zone). The ventilation system must provide for daylight zoning between living areas and bedrooms.			
Artificial lighting The applicant must install the following artificial lighting system in the development, or a system with a higher energy rating, in at least 1 living area, 1 phase artificial lighting. Energy rating 4.5 star (coverage zone). The applicant must install the following artificial lighting system in the development, or a system with a higher energy rating, in at least 1 bedroom, 1 phase artificial lighting. Energy rating 4.5 star (coverage zone). The artificial lighting system must provide for daylight zoning between living areas and bedrooms.			

Energy Commitments	Show on DA plans	Show on CC/DC plans & specs	Customer check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage. The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage. The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage.			
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1 phase air conditioning. Energy rating 4.5 star (coverage zone). The cooling system must provide for daylight zoning between living areas and bedrooms.			
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Artificial lighting The applicant must install the following artificial lighting system in the development, or a system with a higher energy rating, in at least 1 living area, 1 phase artificial lighting. Energy rating 4.5 star (coverage zone). The applicant must install the following artificial lighting system in the development, or a system with a higher energy rating, in at least 1 bedroom, 1 phase artificial lighting. Energy rating 4.5 star (coverage zone). The artificial lighting system must provide for daylight zoning between living areas and bedrooms.			

northern beaches council

5.2 the more energy efficient

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1755

NATIONWIDE HOUSE ENERGY RATING SCHEME

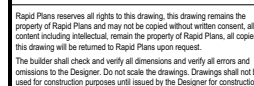
63.2 MJ/m²

Predicted annual energy load for heating and cooling based on standard

For more information on your dwelling's rating see: www.nathers.gov.au

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



NOTES
3 Curt Curt Parade, Curt Curt 2036 is zoned R2-Low Density Residential
3 Curt Curt Parade, Curt Curt 2036 is not conserved a heritage item
All work to be constructed shown in Shaded/Blue
Construction
Concrete & Timber Floors, Dinsel & Stud Walls
Roof Sheet Metal to have R7 Insulation
Insulation to External Dinsel & Stud Walls R??
Refer to Engineers drawings for structural details
All work to Engineers Standard and BCA
Timber framing to BCA and AS 1594
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2028-2004
Waterproofing to BCA and AS 3740
Floor Lighting to have minimum of 40% compact fluorescent lamp
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia...

Certifying
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction contract application. Application by the contractor for the construction contract must be supported by a separate set of approved construction contract drawings by Registered Professional Engineers (RPEs).

Basic
Basic Certificate Number XXXX
All Plans to be read in conjunction with Basic Certificate
The drawings shall be in accordance with the following or altered construction (i.e., walls, and ceiling/roofs) in accordance with the specifications listed in the table below, except that if additional insulation is not specified in the table below, then the minimum insulation specified is not required for parts of altered construction.

The Applicant must install the windows, glazed doors and shutters and devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

Overhangs shall be a minimum of millimetres, the leading edge of eaves, pergola, verandah, balcony or awning must be no more than 2450 mm above the ground level or the ground plane, and no more than 2450 mm above the sill.

Overhangs shall be a minimum of millimetres must be the height and distance from the centre and base of the window and glazed door.

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**

Drawn | Checked GBJ
Plot Date: 13/04/2021
Project NO. RP0220NIK
Project Status DA Rev5

Site: 3 Curl Curl Parade, Curl Curl 209










PROJECT NAME : **New Dwelling**

DRAWING NO.
DA4002

Plot Date: 13/04/2021
 Sheet Size: A3
 R:\Current Job\NICKTON Mike & Jo
 W\NICKTON Degr\Nikolai 02-0A Final
 Rev 5a.ppt

[illegible]

Energy Commitments	Show on DA plans	Show on CCCC plans & specs	Clarifier checkbox
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric storage.	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1-phase conditioning. Energy rating 4.5 star (average zone)	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase conditioning. Energy rating 4.5 star (average zone)	✓	✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area, 1-phase conditioning. Energy rating 4.5 star (average zone)	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom, 1-phase conditioning. Energy rating 4.5 star (average zone)	✓	✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
Ventilation The applicant must install the following exhaust system in the development: At least 1 Bathroom: individual fan, ducted to outside or roof. Operator control: manual switch coast Kitchen: individual fan, ducted to outside or roof. Operator control: manual switch coast Laundry: individual fan, ducted to outside or roof. Operator control: manual switch coast	✓	✓	✓
Artificial lighting The applicant must ensure that the "Energy Star of artificial lighting" is a business or light emitting diode (LED) lighting is used in all the living areas, and where the word "business" appears, the Energy Star logo must only consist of depicting the business or light emitting diode (LED) logo.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CCDC plans & specs
<ul style="list-style-type: none"> at least 3 of the living / dining rooms; the kitchen; all bathrooms/toilets; the laundry; all hallways; 		 
Natural lighting		
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		
The applicant must install a window and/or skylight in 3 bathroom/s/toilet(s) in the development for natural lighting.		
Alternative energy		
The applicant must install a photovoltaic system with the capacity to generate at least 2.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.		
Other		
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		

[illegible]

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Building Solutions Pty Ltd</p>	<p>DRAWING TITLE : ELEVATIONS</p> <p>ELEVATIONS 3</p>
	<p>PROJECT NAME : New Dwelling</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

13/04/2021
R:\Current Jobs\NKT0N Mike & Jo
ArchCAD Draw\NKT0N-22-0A Final
Rev5a.pln

Garden Bed

(E-04)

[illegible]

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m2	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40%) min	51%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA4003

Denotes Sheet Metal Roof (Typical).
Owner To Confirm Colour & Type



Denotes Tiled Deck (Typical).
Owner To Confirm Colour & Type

Denotes Scyon Axon Cladding (Typical).
Owner To Confirm Colour & Type



Denotes Silvertop Ash Cladding (Typical).
Owner To Confirm Colour & Type

Denotes Rendered Wall (Typical).
Owner To Confirm Colour & Type



Denotes Alloy Windows & Doors (Typical).
Owner To Confirm Colour & Type

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/1755

NOTES
3 Curl Curl Parade, Curl Curl 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
3 Curl Curl Parade, Curl Curl 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete & Timber Floors, Dintel & Stud Walls
Roof Sheet Metal to have R?? Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number XXX
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	583.1m ²	Yes	Building envelope	5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	51%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1m	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	1.2m	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



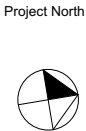
Rapid Plans
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PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Lot R2 D.P. 5539

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

GBJ
13/04/2021
RP0220NIK
DA Rev5
Mike and Jess Nikotin
3 Curl Curl Parade, Curl Curl
2096

DRAWING TITLE :
SHADOW PLANS
MATERIAL & COLOUR
SAMPLE BOARD
PROJECT NAME :
New Dwelling

REVISION NO.
DRAWING NO.
DA5001